

TRAVERSE CITY PLANNING COMMISSION REGULAR MEETING

WEDNESDAY, September 3, 2014

7:30 P.M.

Training Room
Governmental Center, 2nd Floor
400 Boardman Avenue
Traverse City, Michigan 49684

Posted: 8/29/14

AGENDA

The City of Traverse City does not discriminate on the basis of disability in the admission or access to or treatment or employment in, its programs or activities. Penny Hill, Assistant City Manager, 400 Boardman Avenue, Traverse City, Michigan 49684, 922-4440, T.D.D., 922-4766, has been designated to coordinate compliance with the non-discrimination requirements. If you are planning to attend and you have a disability requiring any special assistance at the meeting and/or if you have any concerns, please immediately notify the ADA Coordinator.

Planning Commission
c/o Russell Soyring, Planning Director
400 Boardman Avenue, Traverse City, MI 49684
231-922-4778

1. **CALL MEETING TO ORDER**
2. **ROLL CALL**
3. **ANNOUNCEMENTS**
4. **APPROVAL OF MINUTES**
 - A. August 5, 2014 Regular Meeting minutes (Approval recommended)
5. **OLD BUSINESS**
 - A. Public Hearing to consider an alley vacation request initiated by Bonnie Adams, of 441 Fair Street, to vacate a portion of an unimproved alley in the 1400 block of Eighth Street (Action requested)
 - B. 2015 Street Projects (Plainview and State Street)- Review for consistency with Master Plan- (Action requested)
 - C. West Front Street- Review for consistency with Master Plan- (Action requested)

6. NEW BUSINESS

- A. Special Land Use Permit request and Site Plan Review request by W. Keith Owen of Owen Architects Collaborative, LLC on behalf of Federated Properties, LLC to allow for a taller building at 124 W. Front Street (For introduction and possibly scheduling a Public Hearing)
- B. Grand Traverse County Outstanding Development Planning Award Nominations (Action Requested)

7. CORRESPONDENCE

- A. Capital Improvement Program Quarterly Project Update August 2014

8. REPORTS

- A. City Commission- Commissioners Easterday and Werner
- B. Board of Zoning Appeals- Commissioner Bergman
- C. Grand Traverse Commons Joint Planning Commission- Commissioners Serratelli and Warren
- D. Planning Commission
 - 1. Housing Building Committee— Commissioner Bergman
 - 2. Active Transportation Committee—Commissioner Werner
 - 3. Master Plan Review Committee—Commissioners Bergman, Dow and Twietmeyer
 - 4. Parking Regulation Committee- Commissioner Serratelli
- E. Planning Department—Mr. Soyring
 - 1. Capital Improvement Program—Mrs. Luick

9. PUBLIC COMMENT

10. ADJOURNMENT

MINUTES

TRAVERSE CITY PLANNING COMMISSION

TUESDAY, August 5, 2014

7:30 P.M.

Commission Chambers
Governmental Center, 2nd Floor
400 Boardman Avenue
Traverse City, Michigan 49684

PRESENT: Vice-Chairperson Jody Bergman, Commissioners Michael Dow, Jeanine Easterday, Janet Fleshman, Cecil McNally, Chairperson John Serratelli, Bill Twietmeyer, Janice Warren and Tim Werner

ABSENT: None.

STAFF PRESENT: Russ Soyring, Planning Director; Missy Luick, Planning and Engineering Assistant; Tim Lodge, City Engineer

1. **CALL MEETING TO ORDER-** Chairperson Serratelli called the meeting to order at 7:30 p.m.

2. **ROLL CALL**

3. **ANNOUNCEMENTS**

Chairperson Serratelli announced that West Front Street will be discussed at the September 3rd Planning Commission meeting. Seventh Street has been removed from the 2015 Street Project list and will not be discussed. Also, a portion of Eleventh Street (between Union and Cass) has been removed from the 2015 Street Project list.

Finally, Chairperson Serratelli announced that the August 19, 2014 study session will be cancelled.

4. **APPROVAL OF MINUTES**

A. July 1, 2014 Regular Meeting and July 15, 2014 Study Session minutes (Approval recommended)

Motion by Commissioner Warren, second by Commissioner McNally that the July 1, 2014 Regular Meeting and July 15, 2014 Study Session minutes be approved.

Motion carried 9-0.

5. **OLD BUSINESS**

A. Consideration of an amended request by Bonnie Adams, of 441 Fair Street, to vacate a portion of an alley located north of the 1400 block of Eighth Street (Action Requested)

Mr. Soyring summarized his August 1, 2014 memo to the Commission and reminded the Commission that they can choose to set a Public Hearing if they desire, approve the request or deny the request.

Commission discussion.

Mr. Lodge addressed the Commission.

Motion by Commissioner Easterday, second by Commissioner Dow that the request from Bonnie Adams, of 441 Fair Street, to vacate a portion of an east/west alley north of the 1400 block of 8th Street be introduced and scheduled for a Public Hearing on September 3, 2014.

The following made public comment on the topic:

- Kathy Taylor, 437 Fair Street, supports the request
- Leane Zaleski, 440 Cochlin Street, supports the request
- Cindy Elliott, city resident, supports the request
- Leo Bugo, 400 Cochlin Street, supports the request
- Mike Stimac, Garfield Township resident, city property owner, made general comments
- Bonnie Adams, 441 Fair Street, supports the request

Motion carried 9-0.

- B.** Public Hearing to consider an amendment to the Traverse City Code of Ordinances Sections 1320.07, *Definitions*; 1328.01 Open Space (OS) District *Uses Allowed*; 1338.01 Hotel Resort (HR) District *Uses Allowed*; 1340.01 Office Service (C-1) District *Uses Allowed*; 1344.01 Community Center (C-3) District *Uses Allowed*; 1350.01 Government/Public (GP) District *Uses Allowed*; and 1358.01 Hospital (H) Districts *Uses Allowed*; regarding recreational facilities.

Mrs. Luick summarized the August 1, 2014 memo to the Commission that explained the proposed zoning code amendment.

Commission discussion.

Mrs. Luick responded to Commission questions.

A Public Hearing was opened. The following individuals made public comment during the Public Hearing:

- Ed Roy, non-city resident, city business owner at 412 S. Union Street, made comments in support of the amendment

The Public Hearing was closed.

Motion by Commissioner Bergman, second by Commissioner Warren, that an amendment to the Traverse City Code of Ordinances Sections 1320.07, *Definitions*; 1328.01 Open Space (OS) District *Uses Allowed*; 1338.01 Hotel Resort (HR) District *Uses Allowed*; 1340.01 Office Service (C-1) District *Uses Allowed*; 1344.01 Community Center (C-3) District *Uses Allowed*; 1350.01 Government/Public (GP) District *Uses Allowed*; and 1358.01 Hospital (H) Districts *Uses Allowed*; regarding recreational facilities be recommended by the Planning Commission and such recommendation be forwarded to the City Commission for their consideration.

Motion carried 9-0.

C. 2015 Street Projects- Review for consistency with Master Plan- (Action requested)

Mr. Soyring explained his July 31, 2014 memo to the Commission that outlined staff recommendations for the 2014-15 Street Projects and further explained that there was a budget shortfall for street reconstruction projects that required two street sections to be removed from the 2014-15 Street Project list. The streets identified for reconstruction are: **State Street** between Boardman and Railroad; **Franklin Street** between Front and Washington; **Ninth Street** between Union and Pine; **Eleventh Street** between Cass and Lake; **Union Street** between Sixteenth and Boughey and; **Plainview** entire length.

Commission discussion.

Mr. Soyring responded to Commission questions.

Commission discussion.

Mr. Lodge responded to Commission questions.

The following made public comment on the topic:

- John Scudato, 422 State Street, made general comments
- Tammy Evans, city property owner, made comments in support of the Union Street project
- Mike Stimack, Garfield Township resident, city property owner, made general comments

Commission discussion. Commission consensus was to approve 4 of the 6 streets for consistency with the Master Plan, but need more information on State Street and Plainview to take action.

Motion by Commissioner Dow, second by Commissioner Easterday, that the following 2015 Street Projects- Franklin, Ninth, Eleventh and Union Streets as described and recommended in the memo dated July 31, 2014 are consistent with the City Master Plan in terms of extent, location and character.

Motion carried 8-1 (Commissioner Fleshman opposed).

6. NEW BUSINESS

A. 808 Carver- possible rezoning request- letter from Turning Leaf Inc. (Discussion)

Mr. Soyring explained that the July 16, 2014 letter in the packet was to gauge Commission interest in a potential rezoning request for 808 Carver Street.

Commission discussion.

Commission consensus was that it does not make sense to single out one lot for a rezoning and instead would like to look at a larger geographic area for rezoning.

B. Housing and Building Committee proposed recommended changes to Accessory Dwelling Overlay Ordinance (Discussion)

Commissioner Bergman explained that the Committee has come up with recommendations to recommend Accessory Dwelling Units city-wide with conditions and wanted to bring it back to the full Commission for input.

Commission discussion.

Commission consensus was to have the Housing and Building Committee discuss the feedback from the Commission and bring it back at a future meeting for further discussion and possible action.

The following made public comment on the topic:

- Adrienne Rossi, 312 W 7th Street, made general comments
- Luke Schwartz, 537 W 11th Street, made general comments

C. Possible establishment of a Parking Regulation Committee (Action Requested)

Mr. Soyring summarized the August 1, 2014 memo to the Commission on the subject and further explained that developments are coming in with less parking.

Commission discussion included adding a DDA Board member to the committee.

Commission consensus to ensure that the Parking Regulation Committee consider recommendations in both the Transportation Element and the Active Transportation Plan and that Commissioner Serratelli serve as the Planning Commission representative.

Motion by Commissioner Bergman, second by Commissioner McNally, that the Parking Regulation Committee, a committee of the Planning Commission, be established to deliver a comprehensive parking plan with recommendations to the planning commission.

Motion carried 9-0.

7. CORRESPONDENCE

- A. Boardman River Watershed Collective Impact Plan invitation
 - B. Seventh Street handouts from Adrienne Rossi
- The following made public comment on the topic:
- Adrienne Rossi, 312 W 7th Street, made general comments

8. REPORTS

- A. City Commission- Commissioner Werner reported.
- B. Board of Zoning Appeals- Commissioner Bergman reported
- C. Grand Traverse Commons Joint Planning Commission- No report.
- D. Planning Commission
 - 1. Housing Building Committee— Reported previously in the meeting
 - 2. Active Transportation Committee—No report.
 - 3. Master Plan Review Committee—Mr. Soyring reported.
- E. Planning Department—No report.
 - 1. Capital Improvement Program—Mrs. Luick reported that the committee will meet in 2 weeks.

9. PUBLIC COMMENT- None.

10. ADJOURNMENT- Meeting was adjourned at 9:45 p.m.

Respectfully submitted,

Date: _____

Jan Warren, Secretary



Communication to the Planning Commission

FOR THE MEETING OF: September 3, 2014

FROM: Russ Soyring, Planning Director

SUBJECT: Public Hearing to consider a request from Bonnie Adams to vacate a portion of an unimproved alley on the 1400 Block of Eighth Street

DATE: August 28, 2014

In November 2013, the Planning Commission considered a request by Bonnie Adams, 441 Fair Street, to vacate a portion of unimproved alley near the corner of 8th and Fair Streets. The alley requested to be vacated provides vehicular access to 449 Fair Street and could provide formal access to 1409 East Eighth Street. 1409 East Eighth Street is served by a driveway on East Eighth Street. The alley falls within a TC-3 Traditional Neighborhood.

Last year, City Departments reviewed the request and were supportive provided that utility easements are provided on the vacated portion of the alley. The Planning Department was supportive of the request provided an ingress/egress easements are recorded for 449 Fair Street and 1409 East Eighth Street. However, due to the difficulty providing access for 449 Fair and 1409 8th St by vacating the entire alley, Ms. Adams, upon consultation with Russ Soyring and Lauren Tribble-Laucht, has amended her alley vacation request to be only the northern ½ of the alley (see attached map), thus ingress/egress for 449 Fair and 1409 E. Eighth Street are still provided by the remaining southern ½ of the alley.

City Departments reviewed the amended request and are supportive provided that utility easements are provided on the vacated portion of the alley.

At the July 1, 2014 Planning Commission meeting staff was asked to verify how the vacated alley would be divided and to provide a better map depicting the subject city alleyway. After conferring with Lauren Tribble-Laucht, City Attorney if the alley is vacated as shown in the highlighted area on the attached map, the vacated portion of the alleyway would go entirely to the parcel addressed 441 Fair Street. Staff was also able to determine that should a person access property at 1409 East Eighth Street via the alley, it is theoretically possible to turn a full size vehicle with a 20-foot boat on a trailer around in the rear yard. This assumes any trees or other obstructions are removed.

The Michigan Municipal Planning Act states that a master plan shall include those subjects that reasonably can be considered as pertinent to the future development of the planning jurisdiction. Included in the list of subjects is the vacating or extension of streets. The Traverse City Master Plan mentions alleys as part of the infrastructure that is characteristic of a TC-3 Neighborhood. Although, formal review by the Planning Commission is not required, as a

matter of practice, the Planning Commission has reviewed street and alley vacations since it impacts land use and circulation patterns. According to the Planning Commission Rules and Procedures, the “(Planning) Commission may hold a public hearing as is deemed advisable for public street and alley vacations and openings.” The City Commission is the body that formally makes a decision by resolution after holding a public hearing. At the August 5, 2014 meeting, the Planning Commission set a Public Hearing on the subject for September 3, 2014. The Planning Department has received 8 letters in response to the Public Notice mailing, all in favor of the vacation request.

If the Planning Commission is interested in approving or denying the request, appropriate motions are outlined below.

Approval:

I move that the request from Bonnie Adams, of 441 Fair Street, to vacate a portion of an east/west alley north of the 1400 block of East 8th Street provided utility easements are provided be hereby approved by the Planning Commission and such recommendation be forwarded to the City Commission for their consideration.

Denial:

I move that the request from Bonnie Adams, of 441 Fair Street, to vacate a portion of an east/west alley north of the 1400 block of East 8th Street be hereby denied by the Planning Commission and such recommendation be forwarded to the City Commission for their consideration.

Attachment: Map of Area, correspondence

RAS/mlI

ALLEY
VACATION
REQUEST

Bonne Adams
946.1893

 SUBJECT
ALLEY

50'
SCALE

Legend

Road Names
Parcels



1 inch = 50 feet

This map is based on digital databases from the City of Traverse City. Traverse City cannot accept any responsibility for errors, omissions or positional accuracy. There are no warranties expressed or implied.



August 20, 2014

I am in favor of Bonnie Adams
being able to purchase the vacant
piece of property on an unimproved alley
in the 1400 block of Eighth Street. Bonnie
has maintained this property for many years.

Will the city keep this property up if this
is not allowed to be purchased?

Thanks for your consideration,

E. Louise Bars

418 Cochlin St

Traverse City, MI 49686

RECEIVED

AUG 21 2014

PLANNING DEPT
CITY OF
TRAVERSE CITY

Aug 26, 2014

RECEIVED

Planning Commission
400 Boardman Avenue
Traverse City MI 49684

AUG 28 2014

PLANNING DEPT
CITY OF
TRAVERSE CITY

Dear Planning Commission:

I approve Bonnie Adams to buy the unimproved alley in the 1400 block of Eighth Street. She has been caring for this property for 25 years. There will be space provided for 1409 8th Street access. It is her desire to keep this area properly maintained. Please approve Bonnie Adams to have this alley vacated to her care.

Sincerely,

Shelby Coffin
Shelby COFFIN
217 Fair Street
Traverse City MI 49686

The City of Traverse City

Planning Department

Governmental Center
400 Boardman Ave
Traverse City MI 49684
(231) 922-4778
www.traversecitymi.gov



August 12, 2014

**NOTICE OF PUBLIC HEARING
ALLEY VACATION REQUEST
TRAVERSE CITY PLANNING COMMISSION**

Please take notice that the Traverse City Planning Commission has scheduled a Public Hearing for 7:30 p.m. on **Wednesday, September 3, 2014** in the Training Room on the second floor of the Governmental Center, 400 Boardman Avenue, Traverse City, Michigan, to consider an alley vacation request initiated by Bonnie Adams, of 441 Fair Street, to vacate a portion of an unimproved alley in the 1400 block of Eighth Street.

The alley vacation request is on file in the Planning Department and is available to the public for viewing. Our office hours are Monday-Friday from 8:00 a.m.- 12:00 p.m. and 1:00 p.m.-5:00 p.m. A map of the proposed alley vacation area is included for your reference on the back of this notice.

You are hereby invited to voice your opinion by attending the public hearing or by sending comments to the Planning Commission, 400 Boardman Avenue, Traverse City, Michigan 49684, stating your reasons for approval or disapproval.

Sincerely,

Jan Warren, Secretary
Traverse City Planning Commission

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I see no problem with vacating.

Pat Roland 8/15/14

my property at 1305 E 8th St

RECEIVED

AUG 26 2014

PLANNING DEPT
CITY OF
TRAVERSE CITY

8-28-14

*

to wttom if MAY
CONCERN.

I HAVE NO PROBLEM
WITH BONNIE BUYING
THIS LOT.

Let Her Buy it
THANK-YOU

Dennis Butler

425 FAIR ST
TRAVERSE CITY, MI

Barbara Staron
119 Fair Street #5
Traverse City, MI 49686

The Planning Commission
400 Boardman Avenue
Traverse City, MI 49684

Aug. 26, 2014

The Planning Commission:

I approve Bonnie Adams of 441 Fair Street to buy a portion of the dead end alley adjacent to her property, which she has improved and maintained for the last 25 years. The other portion will be adequate for rear entry of 1409 8th Street. This property is a rental and at times the renters have driven across Bonnie's property, which was conformed by the owner of 1409 8th Street. To keep this area looking good and property values up, this action should be taken. It would benefit all three rentals that line up on 8th Street.

The above action would also be a safety factor for children playing in Bonnie's backyard. I would think this a major concern!

Please consider vacating this alley.

Barbara Staron (condo owner)

RECEIVED

AUG 26 2014

PLANNING DEPT
CITY OF
TRAVERSE CITY

The City of Traverse City

Planning Department

Governmental Center
400 Boardman Ave
Traverse City MI 49684
(231) 922-4778
www.traversecitymi.gov



RECEIVED

August 12, 2014

AUG 28 2014

**NOTICE OF PUBLIC HEARING
ALLEY VACATION REQUEST
TRAVERSE CITY PLANNING COMMISSION**

PLANNING DEPT
CITY OF
TRAVERSE CITY

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Jan Warren, Secretary
Traverse City Planning Commission

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I have no issue with Bonnie Adams vacation request. @ 1400 block of Eighth Street.

Thank you.

Chris Hathaway

*441 Fair St
Traverse City, MI 49686*

August 27, 2014

Kathy Taylor
437 Fair St.
Traverse City, MI 49686

RECEIVED

AUG 28 2014

PLANNING DEPT
CITY OF
TRAVERSE CITY

Dear Planning Commission,

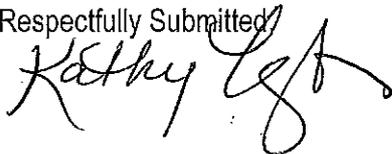
Please accept this letter in support of the city vacating the unimproved alley in the 1400 block of Eighth Street per request of Bonnie Adams.

My reasoning for requesting that you approve this is that this area, historically, has been a mess, a dumping ground for renters that live along that stretch of 8th St. Bonnie cleaned it up and maintains it which benefits all of us with alley access. Also, the people who currently live at 1409 8th Street will still have access to their home but with a smaller access driveway once that parcel is given to Bonnie.

Bonnie is a great neighbor and keeps her yard immaculate and is always a willing neighbor to help others with their yards. This helps us all with our property values.

Thank-you for considering this request. If you have any questions, please call me at 231.392.6224.

Respectfully Submitted,



Kathy Taylor

August 25, 2014

RECEIVED

AUG 28 2014

PLANNING DEPT
CITY OF
TRAVERSE CITY

Ted & Kelly Stiglich
451 Fair St.
Traverse City, Michigan 49686

Planning Commission
The City of Traverse City Planning Department
Governmental Center
400 Boardman Ave.
Traverse City, Michigan 49684

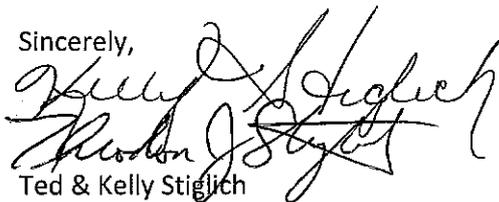
Attn: Jan Warren, Secretary

Dear Ms. Warren,

Thank you for bringing to our attention the alley vacation request by Bonnie Adams, of 441 Fair Street to vacate a portion of the alley on the 1400 block of Eighth St.

We as home owners and neighbors of Bonnie for the past 7 years would approve of Bonnie vacating a portion of the alley. She has been such a wonderful influence in our neighborhood. I personally feel it is her who quietly sets a beautiful example of taking pride of your home and yard. Bonnie has often come over to offer a lending hand with removal of leaves and sticks each season and always full of smiles as she works diligently in her yard. I have to say I'm actually motivated by the appearance of her yard to keep mine up too even though she has never complained, only offered help when she sees me outside raking, mowing, or gathering broken sticks due to weather changes. It has been such a joy to witness her thoughtfulness and gracious demeanor. She even walks our neighbor, Dan's dog when he works long hours at the hospital and she doesn't even have pets. My goodness, she even has full size candy bars at Halloween.....WE say YES allow Bonnie to vacate a portion of the alley. She will care for it well.

Sincerely,



Ted & Kelly Stiglich



Communication to the Planning Commission

FOR THE MEETING OF: September 3, 2014

FROM: Russ Soyring, Planning Director

SUBJECT: 2014/15 Street Projects (State Street and Plainview)

DATE: August 28, 2014

The purpose of reviewing the street projects is for the Planning Commission to provide early input. Your guidance for reviewing the projects is the City Master Plan. The Commission initially reviewed the proposed projects at the May 20, 2014 and August 5, 2014 meetings.

Following the Planning Commission's review, notices with project information were mailed to the residents and occupants along these streets. Staff reviewed the input from the public and the approved budget allocations for the streets. Staff also has made recommendations regarding the streets in terms of street widths, sidewalks, etc. The Planning Commission is now being asked to determine if the proposed street projects are consistent with the Master Plan in terms of location, extent and character.

The streets identified for reconstruction are:

State Street between Boardman and Railroad and **Plainview** entire length



State Street

The section of street proposed for reconstruction falls within the Master Plan's Traditional (TC-3) neighborhood where more formal streets with sidewalks are typical.

Initially, a 32-foot wide street was proposed to maintain its current width. New 8" sanitary sewer will be installed in the 400 block. Stormwater catch basins and castings will be replaced. Three handicap sidewalk ramps will be replaced to meet current standards. Poor sections of the six-foot sidewalk will be replaced.

The street carries 1785 vehicles per day. Traffic island at the western end is to remain. Just east of the project area, the 24-hour traffic count in July 2013 was 1387.

13 feedback forms were received from owners/occupants, 10 support the project, 2 do not support, and 1 could not answer because they had questions. 4 responses supported street narrowing, 1 did not support narrowing, and 3 responses requested bike lanes.

Staff reviewed the draft Bicycle Comfort Map that is included in the draft Active Transportation Plan documents and determined that this portion of State Street is a “green street” meaning that it is comfortable for bicycling and does not necessitate additional bicycle infrastructure. In addition, staff consulted the Traffic Calming Program. The street carries 1785 vehicles per day, and meets the Traffic Calming criteria of at least 1000 vehicles per day. A speed study has not been conducted to determine if at least 15% of the vehicles travel at least 5 mph over the speed limit. This section of State Street is not a framework street.

Some concepts for traffic calming include narrowing the street width as well as traffic circles at Wellington and Franklin streets similar to the traffic circles on Webster. The traffic calming conceptual drawings (attached) depicted a concept for a neck down with rain garden, but upon a cursory staff review, State Street drains away from that location and the water on Railroad Avenue is already routed through a stormwater water quality device near the Holiday Inn. A rain garden in that location would not be functional.

Recommendation: Proposal as described, except for rebuilding the street at a width of 30’ instead of 32’ and the addition of traffic calming measures. No bike lanes are planned.

Plainview Street



The dead-end street has 17 homes fronting the street and is within the Master Plan's (TC-4) Corridor Neighborhood. According to the Traverse City Master Plan this neighborhood type is envisioned to have a network of sidewalks and trails are envisioned.



The proposal is to pave the 26-foot wide gravel street with asphalt 24 feet wide. No utility work is planned. The existing sanitary sewer and water main are old, but in good condition. No sidewalks or curbing are proposed. There are two Chinese Elm trees at 1212 Plainview that are very close to the street and may need to be removed. Another Chinese Elm tree at the east end of Plainview by the airport fence may also need to be removed.

From the initial correspondence to owners/occupants, 6 feedback forms were received, all in support of the project, 2 specifically opposed sidewalks. An additional correspondence was sent to all owners/occupants on Plainview on August 7, specifically asking if they support or oppose sidewalks on one or both sides of the street. We received 5 responses, 4 opposing sidewalks, 1 in support.

This street is included as part of the effort to pave all gravel streets within the City. The Plainview Street neighborhood is less formal with gravel driveways and significant landscaping and overhead utilities along the street in the right-of-way. Residents use part of the right-of-way for off street parking perpendicular to the street. The location is not identified on the 2014 map for sidewalk infill and extensions as a priority. Sidewalks could be installed, but may be blocked by parked cars in driveways, be subject to flooding from street run-off and accumulate sand and gravel from the unpaved

driveways. Existing underground utilities are in good condition and are not scheduled for replacement. Although the Master Plan identifies this location for a more formal street with curbs and sidewalks, the existing character is less formal. Thus, staff is recommending a less formal street without sidewalks. The low volume and dead-end nature allow the proposed street to be shared by all users and separate infrastructure is not required.

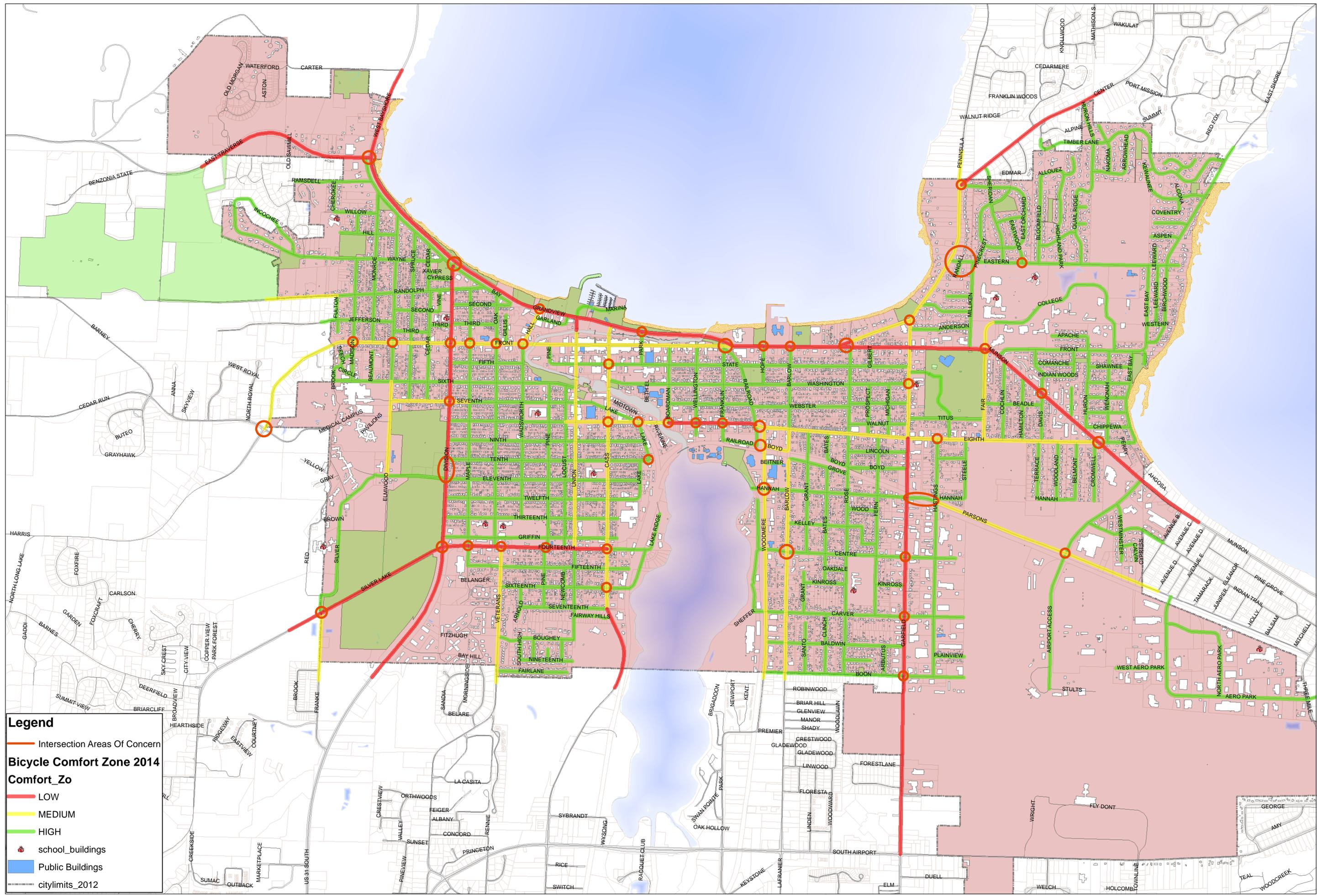
Recommendation: Proposal as described above (no sidewalks or curbs), except for the addition of a hammerhead turn around at the end (“T” shape) to facilitate turning around a snow plow truck or grader at the east end of the street.

If you find the Street projects to be consistent with the City Master Plan in terms of extent, location and character, the following motion would be appropriate:

I move that the 2015 Street Projects- State Street and Plainview Street as described and recommended in this memo dated August 28, 2014 are consistent with the City Master Plan in terms of extent, location and character.

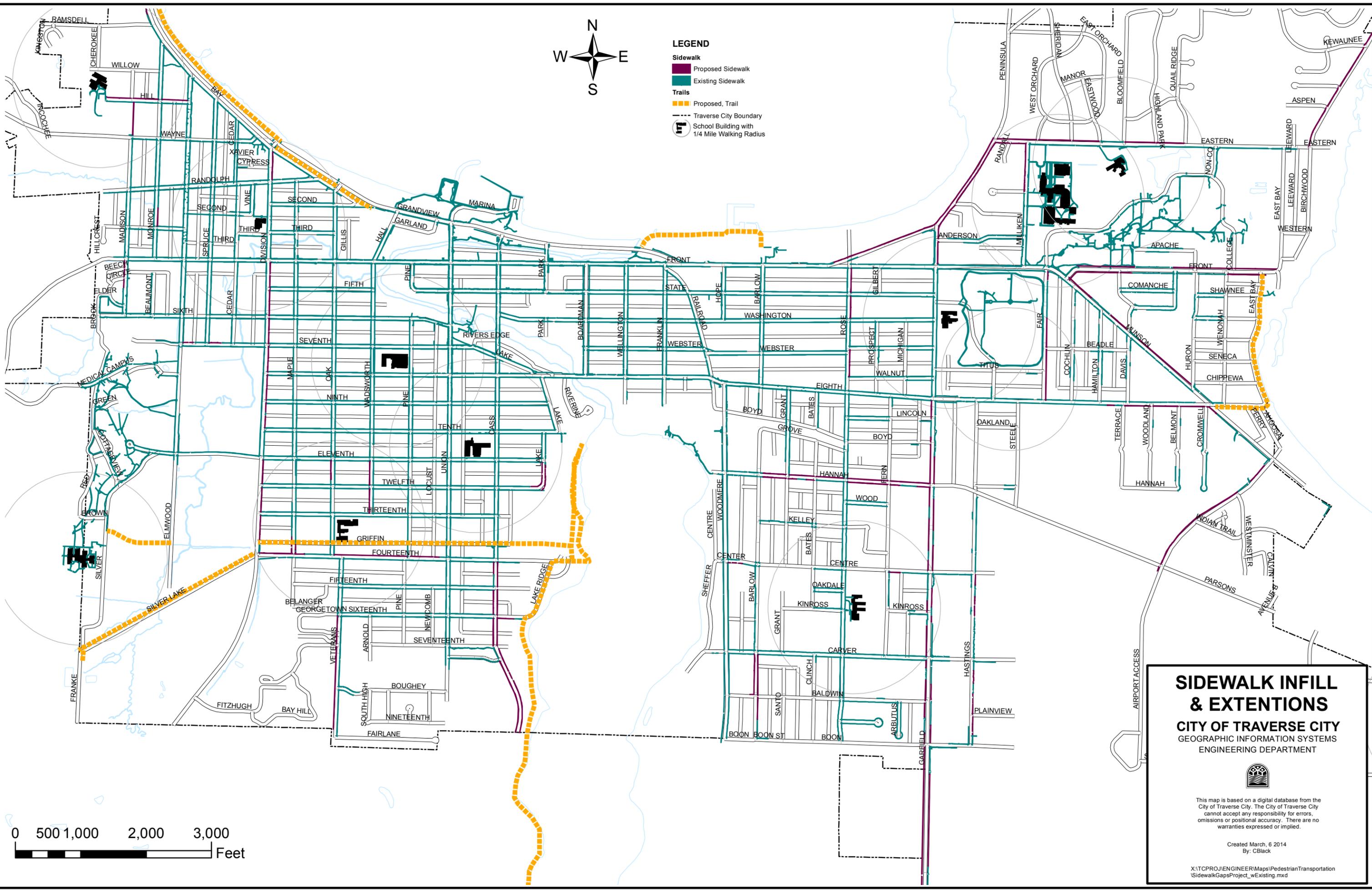
RAS:ml

Attachments: Bicycle Comfort Map, Sidewalk Map



Legend

- Intersection Areas Of Concern
- Bicycle Comfort Zone 2014**
- Comfort_Zo**
- LOW
- MEDIUM
- HIGH
- school_buildings
- Public Buildings
- citylimits_2012



- LEGEND**
- Proposed Sidewalk
 - Existing Sidewalk
 - Proposed, Trail
 - Traverse City Boundary
 - School Building with 1/4 Mile Walking Radius



SIDEWALK INFILL & EXTENTIONS
CITY OF TRAVERSE CITY
 GEOGRAPHIC INFORMATION SYSTEMS
 ENGINEERING DEPARTMENT

This map is based on a digital database from the City of Traverse City. The City of Traverse City cannot accept any responsibility for errors, omissions or positional accuracy. There are no warranties expressed or implied.

Created March, 6 2014
 By: CBlack

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Communication to the Planning Commission

FOR THE MEETING OF: September 3, 2014

FROM: Russ Soyring, Planning Director

SUBJECT: Project Review for Consistency with Master Plan for the West Front Street Project

DATE: August 29, 2014

Pursuant to the Michigan Planning Enabling Act, the Planning Commission is being asked to determine if the West Front Street Project is consistent with the Traverse City Master Plan in terms of location, extent and character.

The Planning Commission approved the West Front Street Bridge and Street for consistency with the Master Plan on 3/18/14 (approved Streetscape concept attached). On July 15, 2014, Nate Elkins of Influence Design Forum, presented West Front Street design alternatives that differ from the approved concept plan. Staff engaged Mr. Elkin's services because during preliminary street design, Engineering Staff was concerned that the approved design concept lacked adequate provisions to address speed reduction. Mr. Elkins presented 4 alternative concept plans. The concepts discussed included options for a two-way protected bike lane (*or cycle track*), a shared driving lane option, a dedicated bike lane option, and a parking chicane (*a parking chicane is a pattern of allowing parking on one side for one block and then flipping the parking on the other side on the next block*) option with bike lanes. The Planning Commission was open to exploring various options further.

Staff worked with Mr. Elkins to explore the protected bike lane option further. Staff sent letters to owners and occupants on West Front between Pine Street and Division Street and invited them to a meeting to present plans and gather feedback on August 19. The meeting was well attended and the concepts were well-received.

Alternative Option 1 includes 11 foot driving lanes, 6 foot bike lanes with on-street parking, 2 mid-block crosswalks and intersection neck downs.

Alternative Option 2 (detailed drawings are attached) includes 11 foot driving lanes, protected bike lanes, on-street parking, 2 mid-block crosswalks and intersection neck downs.

Both Alternative Options 1 and 2 suggest increased traffic management (driveway closures/narrowing) along the corridor and a controlled intersection at Hall/West Front which may include a 4-way stop or traffic signal.

Alternative Options 1 and 2:

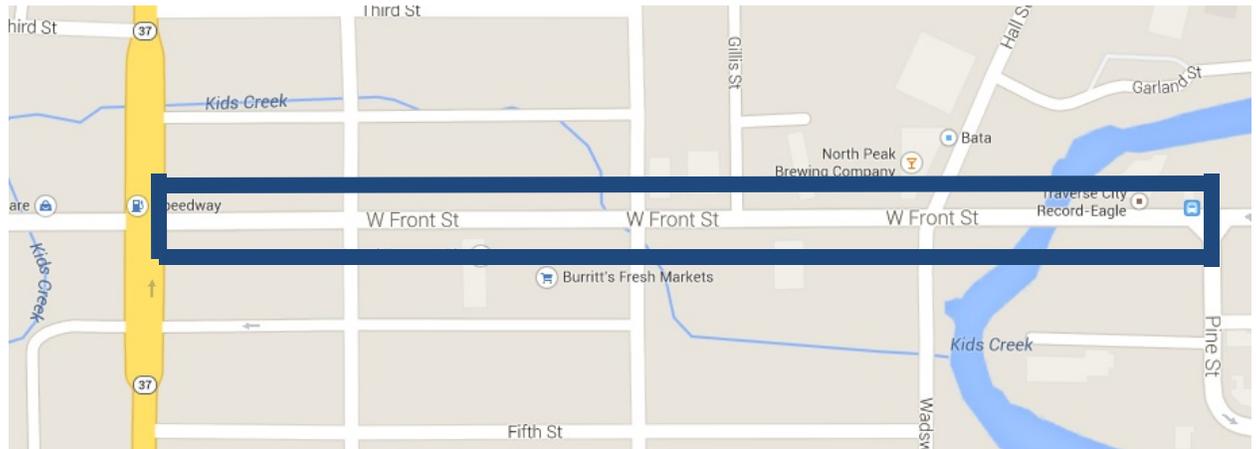
Location

The project is located along West Front Street from Pine Street to Division Street. If the estimated construction costs exceed funding availability, the project west of the bridge will be shortened commensurately.

The bridge and this section of West Front Street are within the TC-5 Neighborhood. This neighborhood type focuses on pedestrian travel with access to a well established sidewalk system. Motorized travel speeds are intended to be restrictive. In TC-5, the Master Plan calls out for the Boardman River to be integrated with the fabric of the neighborhood.

Extent

The project falls within the 66-foot wide West Front Street right-of-way from Pine Street to Division Street.



Character

The proposed alternative concepts include pedestrian sidewalks, travel lanes and bike lanes that will meet NACTO's Urban Street Design Guide's minimum widths for a street that is both a primary truck and transit route. Parking lanes will also be marked at minimum widths. The street improvement may carry beyond the 66 foot right-of-way to improve sidewalk areas between the city right-of-way and the building edges, to improve the pedestrian environment.

Bulb outs or neck downs are proposed at the intersections and mid-block crosswalks are proposed in two locations with the purpose of shortening the crossing distance for pedestrians while helping to give the street a more narrow appearance to encourage slower travel speeds. The Transportation Element has as an objective to "Use design elements to increase mobility and decrease speed." This project is intended to meet that objective.

We would like to know the Commission's thoughts on the protected bike lane option. Access management is critical to alleviating potential bicycle-vehicle conflict points in alternative option 2.

Because access management (driveway closure and narrowing) details still need to be worked out with property owners, staff is recommending that the Commission consider approving both alternative options 1 and 2 for consistency with the Master Plan.

If you still find that the previously approved West Front Street Concept is consistent with the Master Plan in terms of its location, extent and character, then no action is necessary.

However, if you find that the alternative options for West Front Street are consistent with the Master Plan in terms of its location, extent and character, the following motion would be appropriate:

I move that the West Front Streetscape Project: Alternative Options 1 and 2 are found to be consistent with the City Master Plan in terms of location, extent and character.

RAS:mll

Attachments: Approved West Front Street Concept
Alternative Option 1
Alternative Option 2 (preliminary layout plan sheets include detail for blocks 1-4)

Nichols Optical, Inc.

Dba Traverse Vision
336 W. Front St
Traverse City, MI 49684

Telephone: (231) 941-7788
FAX: (231) 941-0893
E-mail: nicholsoptical@nicholsoptical.net

August 22, 2014

RECEIVED

AUG 22 2014

PLANNING DEPT
CITY OF
TRAVERSE CITY

Russ Soyring
Planning Director
City of Traverse City
400 Boardman Ave
Traverse City, MI 49684

Dear Russ Soyring,

Upon reviewing the proposed West Front Street redevelopment plans we have concerns that we feel should be brought to your attention. While we are in agreement and enthusiastic for the proposed design with regard to the narrowing of the bridge and overall slowing of the traffic in the West Front corridor, our concern lies more with the proposed closing of the Front Street access to our parking lot at Traverse Vision. The negative impact to our business would be substantial.

1. Many of our patients approach our business from the west and might easily miss the turn at Hall Street and pass in front of our building heading east. The result would be a long detour east on Front, south on Park, left on State, left on Union, left on Front heading west and then finally a right on Hall. The location of the Boardman River on the east side of our property presents a unique situation specific to our location.
2. Our patient population tends to be older and many elderly. We need easy access and clearly visible entrances for these patients. Many of them, if not most of them, are uncomfortable parallel parking.
3. Our company made a significant investment purchasing the property and renovating the building which was completed only 2 years ago. Our parking lot and access from Front St. were an important part of the decision to relocate our business to this location. Our improvements to the property significantly enhanced the West Front St. corridor. Our building presents itself as new and our property is extremely well maintained and beautifully landscaped. Our signage is professional.
4. Our parking lot has significant snow removal issues as all of the snow must be removed from the south side of the parking lot to a space on the north side of our property adjacent to the Hall St access. Just last year that access was restricted to one lane due to the large piles of snow being placed in the space adjacent to the entrance. At one point we lost 7 parking places due to snow storage. Snow had to be hauled out with large dump trucks and front end loaders twice last year.

5. It has been suggested that the property could have been used for a larger building but a developer prior to our ownership found it unsuitable due to many stability and environmental issues. As we have made a large investment and the building is in excellent condition we plan to continue to grow and prosper in this location for many years and have no plans to sell the property in the future.
6. Delivery trucks access our parking lot 2-3 times daily and all of our accesses to the building are on the east side facilitating expeditious delivery. The idea of using Hall St as a delivery option could back up traffic and be a visibility hazard for people forced to use that exit while the driver is carrying packages to the east side of our building. Currently with BATA being located where it is and parallel parking allowed right up to our exit/entrance on Hall St there is already much congestion in that area.

We are strongly in support of the redevelopment of West Front St. The design for slowing traffic and improving bicycle safety are excellent. We feel that the plan should consider the needs of the businesses that have invested their future in the area. The design should not negatively impact them to the point of causing harm to their business. When the redevelopment plan makes sense for the property owners it will be a winning solution for all.

Respectfully Submitted,



Roy Nichols, President



Lori Wirth-Poirier, General Mgr.



Dr. Elizabeth Nichols



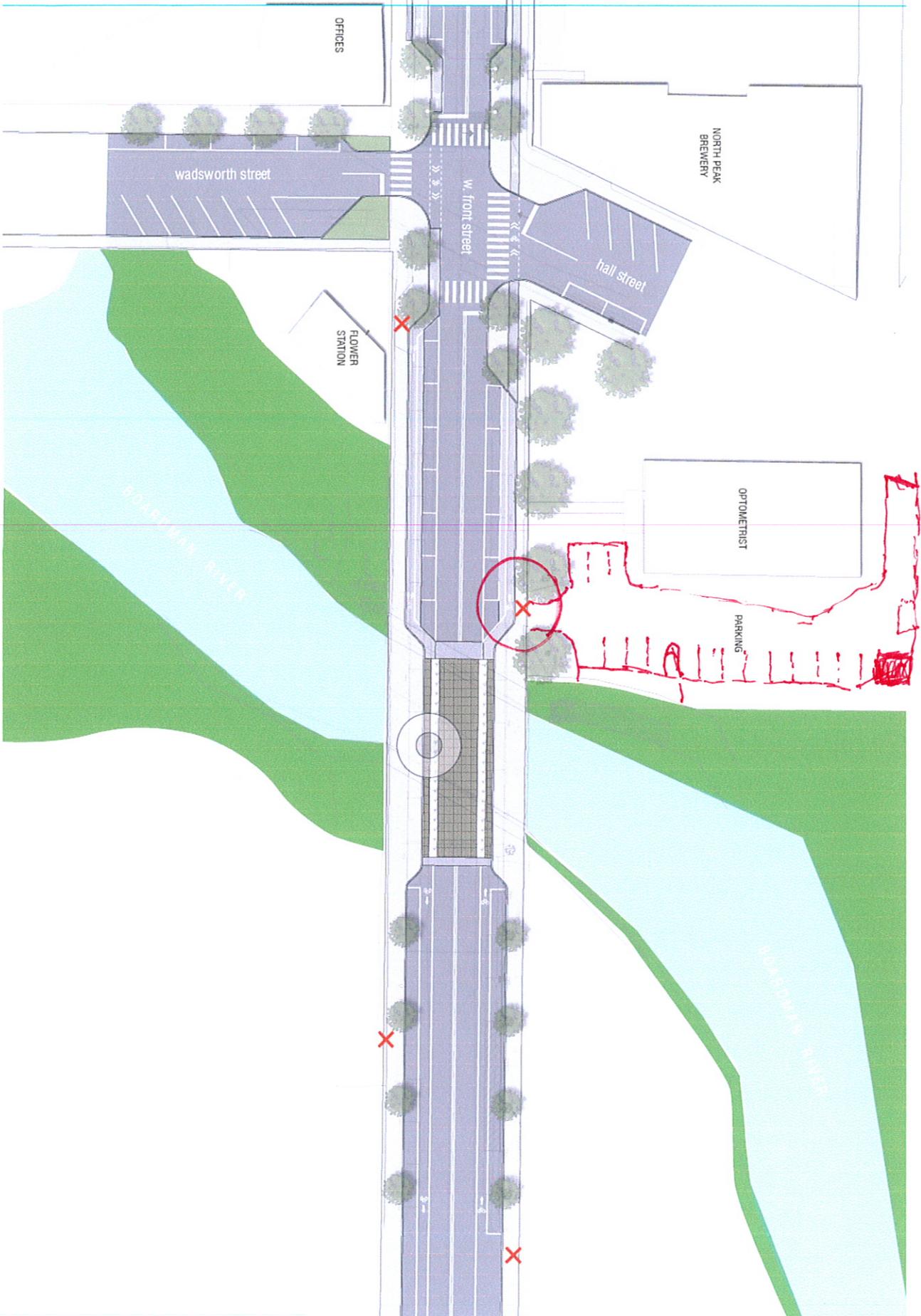
Dr. David Cannon

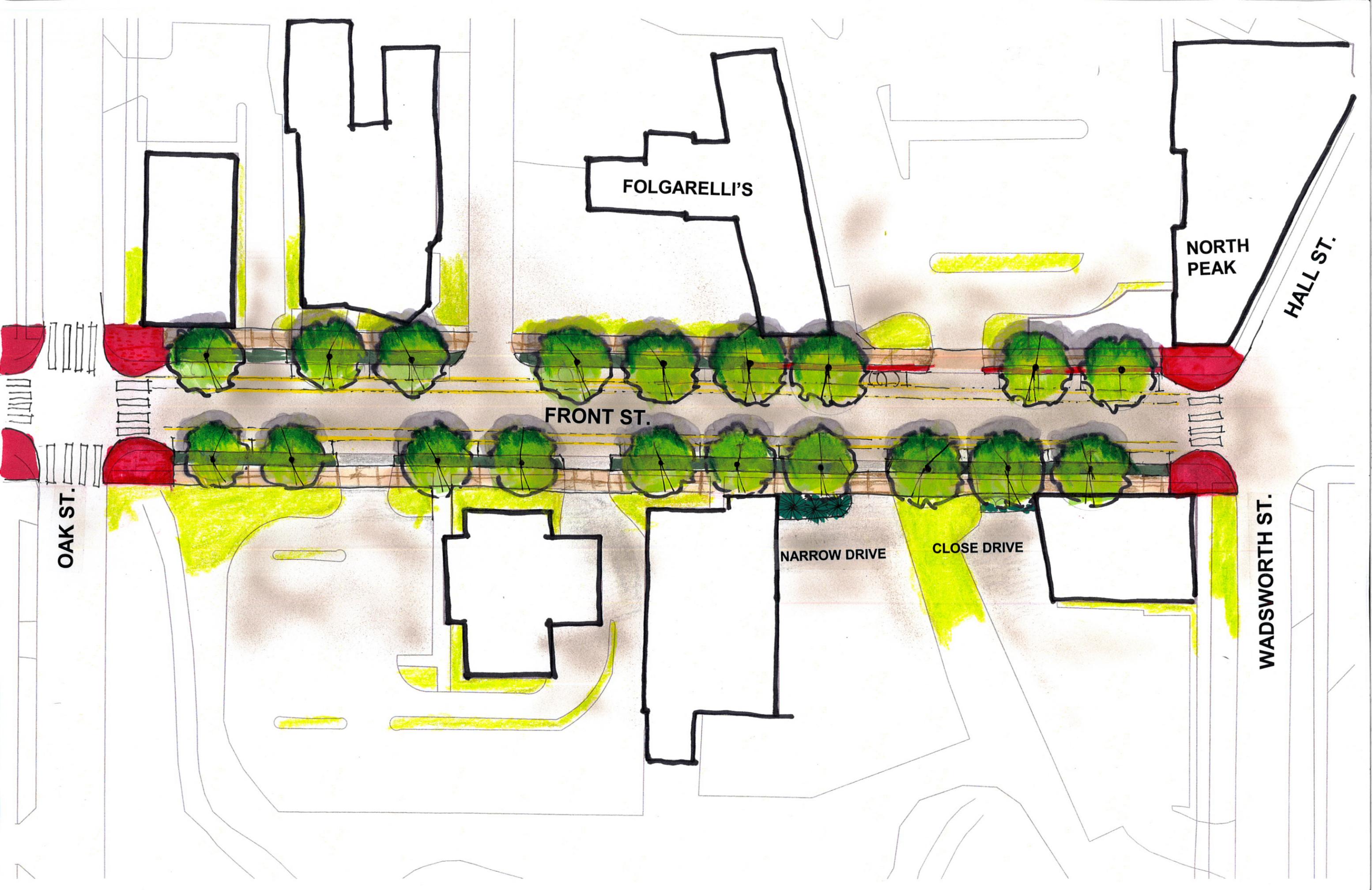


Dr. Julie Runstrom



Dr. David Felger





FOLGARELLI'S

NORTH PEAK

HALL ST.

FRONT ST.

OAK ST.

WADSWORTH ST.

NARROW DRIVE

CLOSE DRIVE



LIL BO

CLOSE DRIVE

CLOSE DRIVE

STATION 1

FRONT ST.

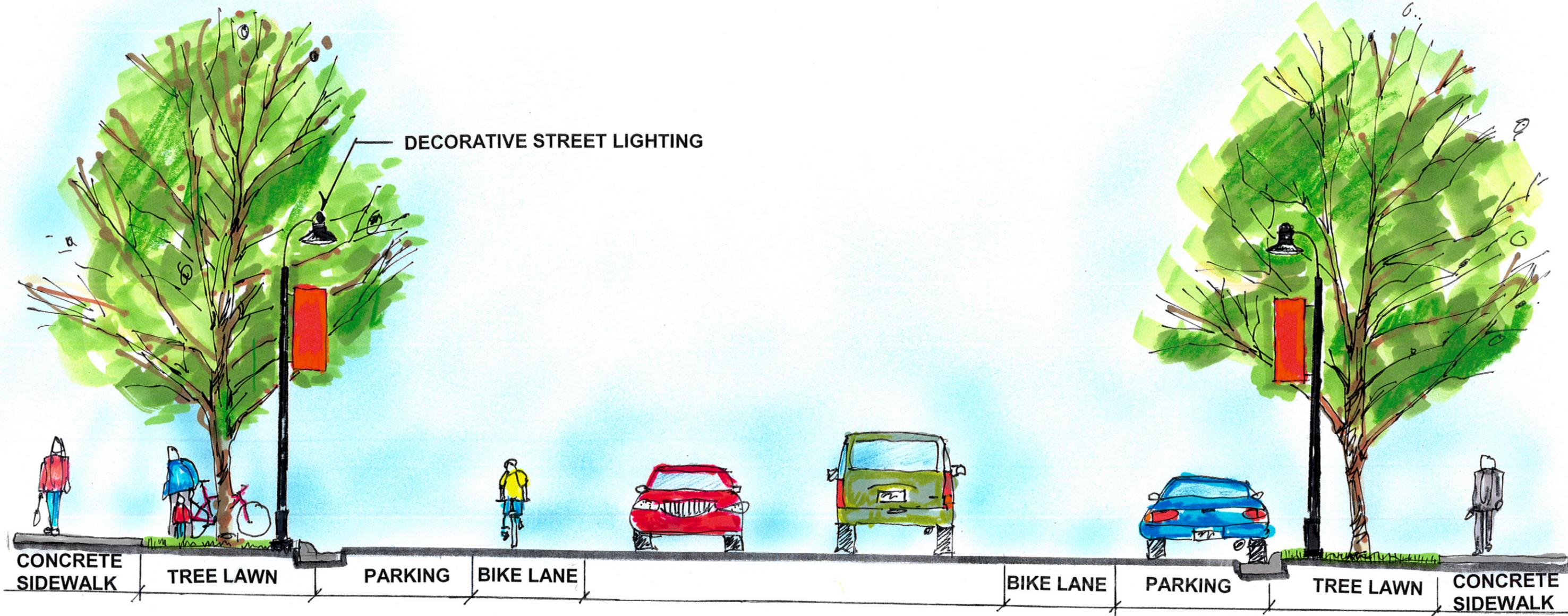
MAPLE ST.

FUTURE
IN-FILL

SCARBROUGH

OAK ST.

BURRIT'S



West Front Street Alternative Option 1

This option includes the same intersection neck downs, mid-block crosswalks and controlled intersection at Hall/W. Front as depicted in Alternative Option 2, but includes the bike lanes on the travel way (11 foot driving lanes, 6 foot bike lanes, 7 foot parking lanes).

**CONSTRUCTION
DOCUMENTS**

ISSUE DATE

DATE	DESCRIPTION
8-12-14	PRELIM LAYOUT
8-18-14	PRELIM LAYOUT

REVISIONS

NO.	DESCRIPTION

**WEST FRONT ST.
URBAN DESIGN**

CITY OF TRAVERSE CITY

PRINCIPAL:	
PROJECT MGR.:	
DESIGNED BY:	
DRAWN BY:	
CHECKED BY:	
JOB #:	2014107.02

PRELIMINARY LAYOUT
PLAN: BLOCK 1



CONSTRUCTION DOCUMENTS

ISSUE DATE

DATE	DESCRIPTION
8-12-14	PRELIM LAYOUT
8-18-14	PRELIM LAYOUT

REVISIONS

WEST FRONT ST. URBAN DESIGN

CITY OF TRAVERSE CITY

PRINCIPAL:	
PROJECT MGR.:	
DESIGNED BY:	
DRAWN BY:	
CHECKED BY:	
JOB #:	2014107.02

PRELIMINARY LAYOUT
PLAN: BLOCK 2



CONSTRUCTION DOCUMENTS

ISSUE DATE

DATE	DESCRIPTION
8-12-14	PRELIM LAYOUT
8-18-14	PRELIM LAYOUT

REVISIONS

WEST FRONT ST. URBAN DESIGN

CITY OF TRAVERSE CITY

PRINCIPAL:	
PROJECT MGR.:	
DESIGNED BY:	
DRAWN BY:	
CHECKED BY:	
JOB #:	2014107.02

PRELIMINARY LAYOUT
PLAN: BLOCK 3



**CONSTRUCTION
DOCUMENTS**

ISSUE DATE

DATE	DESCRIPTION
8-12-14	PRELIM LAYOUT
8-18-14	PRELIM LAYOUT

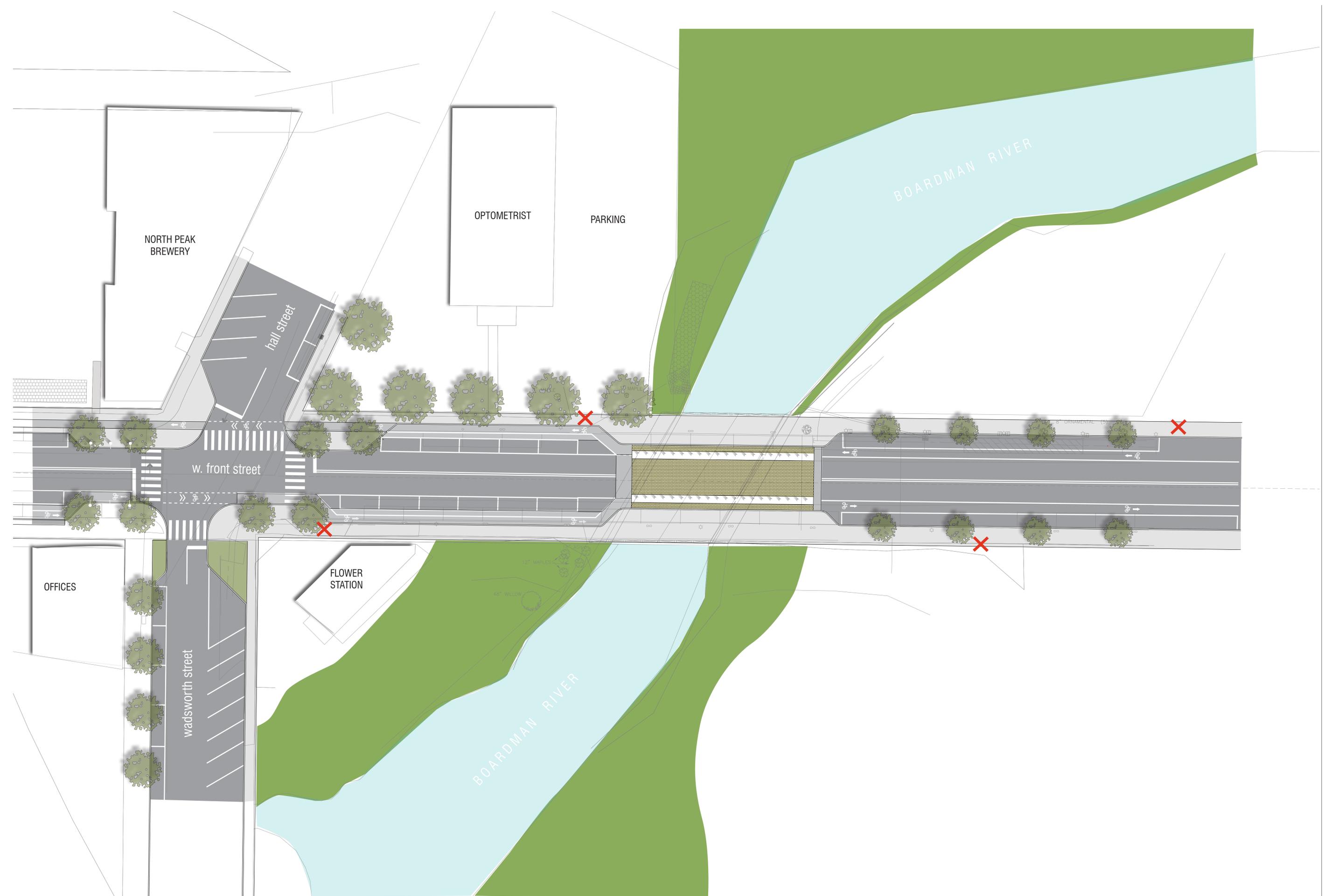
REVISIONS

**WEST FRONT ST.
URBAN DESIGN**

CITY OF TRAVERSE CITY

PRINCIPAL:	
PROJECT MGR.:	
DESIGNED BY:	
DRAWN BY:	
CHECKED BY:	
JOB #:	2014107.02

PRELIMINARY LAYOUT
PLAN: BLOCK 4





Communication to the Planning Commission

FOR THE MEETING OF: SEPTEMBER 4, 2014

FROM: RUSS SOYRING, PLANNING DIRECTOR

SUBJECT: SPECIAL LAND USE PERMIT REQUEST AND SITE PLAN REVIEW
REQUEST BY W. KEITH OWEN OF OWEN ARCHITECTS
COLLABORATIVE, LLC ON BEHALF OF FEDERATED PROPERTIES, LLC TO
ALLOW FOR A TALLER BUILDING AT 124 W. FRONT STREET

DATE: AUGUST 29, 2014

The Planning Department has received a request from W. Keith Owen of Owen Architects Collaborative, LLC on behalf of Federated Properties, LLC for a Special Land Use Permit for a taller building and Site Plan Approval at 124 W. Front Street. The proposal is to build a five-story mixed use development with a single driveway access from Front Street. The proposed development will include lower level parking, first floor commercial and residential; and residential use on floors two through five (for a total of 47 residential units). The site is currently vacant. In 2007, the former Grand Traverse Auto building was demolished and the site was prepared for construction of a new building. J&S Hamburg, a one-story building, is located to the west and the Traverse City Record Eagle, a one-story building, is located to the east.

The property is zoned C4 (b) (Regional Center District) which allows for a 60 foot tall building by right. The zoning code allows for buildings up to 68 feet tall by Special Land Use Permit if at least 20% of the building is designed and used for dwellings. The building size is 174,173 square feet. The Master Plan designates this area as a TC-5 (Downtown) neighborhood that is the most formally and intensely developed of the two types of commercial neighborhoods. The focus is on high intensity, regional, commercial activity.

If you feel that there is sufficient information to consider the Special Land Use Permit request and Site Plan Review request, the following motion would be appropriate:

I move that the request by W. Keith Owen of Owen Architects Collaborative, LLC on behalf of Federated Properties, LLC for a Special Land Use Permit and Site Plan Review to allow for a taller building at 124 W. Front Street be introduced and scheduled for a public hearing on October 7, 2014.

RAS:ml

Attachments: Special Land Use Permit Application
 124 W. Front St Mixed Use Project Traverse City, MI Narrative
 Site Plan Review Application
 Plan Set dated 8/27/14
 Excerpt from Zoning Code sections 1364.02 *General Standards for Approval* and 1364.08 (m)
 Taller buildings



City of Traverse City

SPECIAL LAND USE PERMIT APPLICATION

Planning Department, 400 Boardman, Traverse City, MI 49684 (231) 922-4778 Telefax (231) 922-4457

NOTE: BEFORE SUBMITTING AN APPLICATION, AN APPLICANT SHALL MEET WITH THE PLANNING DIRECTOR TO REVIEW THE PROPOSED PROJECT, THE TRAVERSE CITY CODE OF ORDINANCES AND THE CITY PLAN. Traverse City Code, Sec. 1364.04(a)

APPLICATION FEE: \$830.00	DATE: _____
CHECK NO. _____	HEARING DATE: _____
RECEIPT NO. _____	PARCEL NUMBER: _____

Property address: 124 W. Front Street Traverse City, MI

Legal description: See Attached Legal Description

Description of request: Federated Properties proposes a mixed use development on the site including lower level parking, first floor commercial and residential use and residential use on floors 2 through 5. The developer requests that building height be allowed 68 feet per Article 1368.01

THE COMPLETED APPLICATION AND FOURTEEN (14)* COPIES OF THE SITE PLAN SHALL BE SUBMITTED TO THE PLANNING DEPARTMENT PRIOR TO THE MEETING AT WHICH THE REQUEST WILL BE CONSIDERED FOR INTRODUCTION. THE SITE PLAN SHALL MEET ALL THE REQUIREMENTS OF TRAVERSE CITY CODE, CHAPTER 1366, SITE PLANS AND SITE DEVELOPMENT STANDARDS.

Names of all property owners: Federated Properties, LLC

30955 Northwestern Hwy Farmington Hills, MI 48334

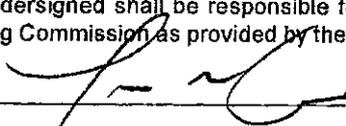
W. Keith Owen

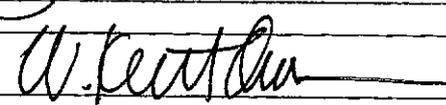
Applicants name: _____

Address: 333 Touraine Grosse Pointe Farms, MI 48236

Telephone: 313-236-2595 Telefax: 313-882-5002

The undersigned acknowledges that in the event that it is determined by the Planning Director or the Planning Commission pursuant to Sections 1322.01 or 1322.05 of the Zoning Ordinance that the Application Fee will not cover the actual costs of processing this Application, including, but not limited to, costs for per diem expenses of staff, staff review and preparation time, professional reviews, attorney fees and other related expenses, outside professional planners, engineers, surveyors, architects or landscape architects, the undersigned shall be responsible for such additional fees in an amount determined by the Planning Director or the Planning Commission as provided by the Zoning Ordinance

Signature of owner(s): 

Signature of applicant (if different than owner): 

Relationship of applicant to owner: W. Keith Owen is the Architect for the project

*Note: After the Planning Commission has acted upon the request, ten (10) additional copies of the site plan shall be submitted to the City Clerk. *The applicant acknowledges that the City may be required from time to time to release records in its possession. The applicant hereby gives permission to the City to release any records or materials received by the City as it may be requested to do so as permitted by the Freedom of Information Act, MCL 15.231 et seq.*

LEGAL DESCRIPTION AS FURNISHED:

TRANSNATION TITLE INSURANCE CORPORATION FILE NO. 05177954

BEGINNING AT THE SOUTHEAST CORNER OF LOT 14, OF HANNAH, LAY & CO'S FIFTH SUBDIVISION OF BLOCK 26 OF THE ORIGINAL PLAT OF THE CITY OF TRAVERSE CITY, MICHIGAN; THENCE WEST ALONG THE SOUTH LINE OF SAID BLOCK 26 TO THE SOUTHWEST CORNER OF LOT 24 OF HANNAH, LAY & CO'S FIFTH SUBDIVISION OF BLOCK 26; THENCE NORTHERLY TO THE NORTHWEST CORNER OF SAID LOT 24, BEING ALSO THE NORTHEAST CORNER OF LOT 25 OF SAID PLAT; THENCE WEST ALONG THE NORTH LINE OF SAID LOT 25 TO THE NORTHWEST CORNER OF SAID LOT 25; THENCE NORTH ALONG THE WEST LINE OF SAID LOT 25, EXTENDED NORTHERLY, 27.02 FEET; THENCE NORTHEASTERLY TO A POINT ON THE EAST LINE OF SAID LOT 24, EXTENDED NORTHERLY, 32.30 FEET NORTH OF THE NORTHEAST CORNER OF SAID LOT 24; THENCE NORTH ALONG THE EAST LINE, EXTENDED NORTHERLY, OF SAID LOT 24, TO THE THREAD OF THE BOARDMAN RIVER; THENCE EASTERLY ALONG THE THREAD OF THE BOARDMAN RIVER TO THE EAST LINE, EXTENDED NORTHERLY, OF SAID LOT 141; THENCE SOUTH ALONG SAID EAST LINE EXTENDED, AND EAST LINE OF SAID LOT 14, TO THE POINT OF BEGINNING.

EXCEPTIONS:

RESERVATIONS OF RIPARIAN RIGHTS AND FLOWAGE RIGHTS AS DISCLOSED IN LIBER 140, PAGE 8.

BEARING BASIS:

PREVIOUS GFA FILE NUMBER: 021480

SITE PLANS - TRAVERSE CITY CODE - APPLICABLE CODE SECTIONS

1364.03 SPECIAL LAND USE APPLICATIONS.

All land for which an application for a special land use permit is made shall be owned by the applicant or by a person who has consented, in writing, to the application. The parcel must be capable of being planned and developed as one integral land use unit. Noncontiguous parcels may be considered. The application must be signed by the applicant and by the owner or a person with the owner's written consent and must contain:

- (a) A site plan as described by this Zoning Code;
- (b) A statement of present ownership of all land which is the subject of the request;
- (c) An application fee. This application fee shall be non-refundable. The City Commission shall, by resolution, establish the amount of the application fee.
- (d) Upon the request of the Planning Director or the Planning Commission, the applicant shall provide such other information pertinent to the special land use application. Failure of the applicant to provide such requested information with a reasonable time may be grounds for denial of the application.
- (e) If the application is approved, the applicants shall pay all Register of Deeds recording fees to record the special land use permit.

1364.02 GENERAL STANDARDS FOR APPROVAL.

Each application for a special land use shall be reviewed for the purpose of determining that the proposed use meets all of the following standards:

- (a) The use shall be harmonious with and in accordance with the general principles and proposals of the City Plan.
- (b) The use shall be designed, constructed, operated and maintained so as to be harmonious and appropriate in appearance with the existing or intended character of the general vicinity.
- (c) The use shall not be hazardous or disturbing to existing or planned future uses in the same general vicinity.
- (d) The use shall be served adequately by existing public facilities and services, such as highways, streets, police and fire protection, drainage structures, refuse disposal, water and sewage facilities and schools.
- (e) The use shall not create excessive additional requirements at public cost for public facilities and services.
- (f) The use shall not involve uses, activities, processes, materials, equipment or conditions of operation that will be detrimental to any person or property or to the general welfare by reason of excessive production of traffic, noise, smoke, fumes, glare, odors or water runoff.
- (g) Where possible, the use shall preserve, renovate and restore historic buildings or landmarks affected by the development. If the historic structure must be moved from the site, the relocation shall be subject to the standards of this section.
- (h) Elements shall relate the design characteristics of an individual structure or development to existing or planned developments in a harmonious manner, resulting in a coherent overall development pattern and streetscape.
- (i) The use shall be consistent with the intent and purposes of the zoning district in which it is proposed.
- (j) The specific requirements outlined in each applicable section of this Zoning Code shall be satisfied.



City of Traverse City

PLANNING COMMISSION SITE PLAN REVIEW APPLICATION*

Planning Department, 400 Boardman, Traverse City MI 49684 (231) 922-4778 (231)922-4457 fax

NOTE: BEFORE SUBMITTING AN APPLICATION, AN APPLICANT SHALL MEET WITH THE PLANNING DIRECTOR TO REVIEW THE PROPOSED PROJECT, THE TRAVERSE CITY CODE OF ORDINANCES AND THE CITY PLAN. Traverse City Code, Sec. 1364.04(a)

APPLICATION FEE:	\$200.00	DATE:	_____
CHECK NO.:	_____	HEARING DATE:	_____
RECEIPT NO.:	_____	PARCEL NUMBER:	_____

Property address: 124 W. Front Street Traverse City, MI
 Legal description: See Attached Legal Description

Description of request: Federated Properties requests Site Plan Approval for it's proposed mixed use development on it's site at 124 W. Front St. The proposed development will include lower level parking for residential use, first floor commercial & residential use and residential use on floors 2 through 5.

THE COMPLETED APPLICATION AND FOURTEEN (14)* COPIES OF THE SITE PLAN SHALL BE SUBMITTED TO THE PLANNING DEPARTMENT A MINIMUM OF 21 DAYS PRIOR TO THE MEETING AT WHICH THE REQUEST WILL BE CONSIDERED FOR INTRODUCTION. THE SITE PLAN SHALL MEET ALL THE REQUIREMENTS OF TRAVERSE CITY CODE, CHAPTER 1366, SITE PLANS AND SITE DEVELOPMENT STANDARDS.

Names of all property owners: Federated Properties, LLC
30955 Northwestern Highway
Farmington Hills, MI 48334

Applicant's name: W. Keith Owen
 Address: 333 Touraine Grosse Pointe Farms, MI 48236
 Phone: 313-236-2595 Fax: 313-882-5002

Signature of owner(s): _____
 Signature of applicant (if different than owner): W. Keith Owen

Relationship of applicant to owner: Applicant is the Architect for the Project

*For Planning Commission-approved special land use permits, planned unit developments or for land use permits for a use generating more than 500 motor vehicle trips per day.

SITE PLAN REQUIREMENTS CHECKLIST

Yes	No	Site plans are required to meet the following requirements:
<input checked="" type="checkbox"/>		Filing fee
<input checked="" type="checkbox"/>		Sealed by a registered architect or engineer (except site plans to be referred to the Planning Commission for approval may defer this requirement until receiving Planning Commission approval.)
<input checked="" type="checkbox"/>		Drawn to scale with a scale on the plan
<input checked="" type="checkbox"/>		Rendered on a minimum sheet size of 24 inches by 36 inches
<input checked="" type="checkbox"/>		Legal description
<input checked="" type="checkbox"/>		Property lines and dimensions
<input checked="" type="checkbox"/>		North arrow
<input checked="" type="checkbox"/>		Date
<input checked="" type="checkbox"/>		Vicinity map
<input checked="" type="checkbox"/>		Property owner's and applicant's name and address
<input checked="" type="checkbox"/>		Preparer's name and address
<input checked="" type="checkbox"/>		Street names
<input checked="" type="checkbox"/>		Existing street and alley widths
<input checked="" type="checkbox"/>		Location and width of utility easements
<input checked="" type="checkbox"/>		Size and location of existing and proposed utilities and building service lines
<input checked="" type="checkbox"/>		The zoning classification of the site and surrounding properties and, where applicable, the zoning request
<input checked="" type="checkbox"/>		Required setback lines, lot size, lot coverage (impervious surface) and any variance to be requested
<input checked="" type="checkbox"/>		The size and location of existing buildings and improvements on and adjacent to the subject parcel
<input checked="" type="checkbox"/>		The existing building use and proposed building use, location, shape, building height, elevations, floor area and unit computations and dimensions and a description of all exterior building materials
<input checked="" type="checkbox"/>		A land use tabulation summary provided in the margin of the plan indicating types of uses, acreage for each land use, number of units, densities and land use intensities
<input checked="" type="checkbox"/>		The proposed number and location of parking spaces, maneuvering lanes, sidewalks, driveways and loading areas, and their dimensions and proposed points of access to the site from public streets and alleys

Yes	No	Site plans are required to meet the following requirements:
X		The proposed location and dimensions of site drainage areas, walkways, landscaped areas, recreation areas, open space and screen walls
X		Natural features, such as unique topographic features, wetlands, 100-year flood plain elevations, creeks, springs and others, with an indication as to which are proposed to be maintained, altered or removed during site development
X		Any other information necessary to establish compliance with City ordinances.
X		Landscaping - meets landscaping requirements of Chapter 1372
X		Parking - meets parking requirements of Chapter 1374
The following additional information if requested by the Planning Director:		
	X	A report describing the soil types and the ability of soils to accommodate the proposed development.
	X	A tree location survey signed by an engineer, surveyor, landscape architect, showing all existing trees having a diameter at breast height of six inches or greater, the common and/or scientific names and the diameter at breast height of these trees, plus an indication of trees to be preserved, to be transplanted, or to be removed during site development. Closely grouped trees shall be designated by the predominate species represented, the number present and the diameter at breast height range of the group or clump.
	X	The existing and proposed topography at 2 foot intervals

**CHECKLIST OF STANDARDS
FOR GRANTING SITE PLAN APPROVAL**

Yes	No	
		The Planning Commission or Planning Director must consider the following standards for granting site plan approval. These items must be indicated on the site plan.
X		Primary structures shall be oriented so that their main entrance faces the street upon which the lot fronts. If the development is on a corner lot, the main entrance may be oriented to either street or to the corner.
X		All roof-mounted equipment, including satellite dishes and other communication equipment, must be screened from recreation trails or from public sidewalks adjacent to the site by a parapet wall or similar architectural feature.
X		Reasonable visual and sound mitigation for all dwelling units shall be provided. Fences, walks, barriers and landscaping shall be used appropriately for the protection and enhancement of property and for the privacy of its occupants.
	X	Every principal building or groups of buildings shall be so arranged as to permit emergency access by some practical means to all sides.
X		Every development shall have legal access to a public or private street.
X		The development, where possible, shall provide vehicular and pedestrian circulation systems which reflect and extend the pattern of streets, pedestrian and bicycle ways in the area. Travelways which connect and serve adjacent development shall be designed appropriately to carry the projected traffic.
X		A pedestrian circulation system shall be provided which is physically separated and insulated as reasonably possible from the vehicular circulation system.
X		All parking areas shall be designed to facilitate safe and efficient vehicular and pedestrian circulation, minimize congestion at points of access and egress to intersecting roads, to encourage the appropriate use of alleys and minimize the negative visual impact of such parking areas.
	X	Where the opportunity exists, developments shall use shared drives. Unnecessary curb cuts shall not be permitted.
	X	All loading and unloading areas and outside storage areas, including areas for the storage of trash, which are visible from residential districts or public rights-of-way shall be screened by a vertical screen consisting of structural and/or plant materials not less than six feet in height.
X		Exterior light sources shall be deflected downward and away from adjacent properties and rights-of-way and shall not violate night sky provisions of the Traverse City Code of Ordinances.
X		Adequate utilities shall be provided to properly serve the development. All utilities shall be placed underground.
X		Sites at which hazardous substances and potential pollutants are stored, used or generated shall be designed to prevent spills and discharges to the air, surface of the ground, groundwater, lakes, streams, rivers or wetlands.

LEGAL DESCRIPTION AS FURNISHED:

TRANSNATION TITLE INSURANCE CORPORATION FILE NO. 05177954

BEGINNING AT THE SOUTHEAST CORNER OF LOT 14, OF HANNAH, LAY & CO'S FIFTH SUBDIVISION OF BLOCK 26 OF THE ORIGINAL PLAT OF THE CITY OF TRAVERSE CITY, MICHIGAN; THENCE WEST ALONG THE SOUTH LINE OF SAID BLOCK 26 TO THE SOUTHWEST CORNER OF LOT 24 OF HANNAH, LAY & CO'S FIFTH SUBDIVISION OF BLOCK 26; THENCE NORTHERLY TO THE NORTHWEST CORNER OF SAID LOT 24, BEING ALSO THE NORTHEAST CORNER OF LOT 25 OF SAID PLAT; THENCE WEST ALONG THE NORTH LINE OF SAID LOT 25 TO THE NORTHWEST CORNER OF SAID LOT 25; THENCE NORTH ALONG THE WEST LINE OF SAID LOT 25, EXTENDED NORTHERLY, 27.02 FEET; THENCE NORTHEASTERLY TO A POINT ON THE EAST LINE OF SAID LOT 24, EXTENDED NORTHERLY, 32.30 FEET NORTH OF THE NORTHEAST CORNER OF SAID LOT 24; THENCE NORTH ALONG THE EAST LINE, EXTENDED NORTHERLY, OF SAID LOT 24, TO THE THREAD OF THE BOARDMAN RIVER; THENCE EASTERLY ALONG THE THREAD OF THE BOARDMAN RIVER TO THE EAST LINE, EXTENDED NORTHERLY, OF SAID LOT 141; THENCE SOUTH ALONG SAID EAST LINE EXTENDED, AND EAST LINE OF SAID LOT 14, TO THE POINT OF BEGINNING.

EXCEPTIONS:

RESERVATIONS OF RIPARIAN RIGHTS AND FLOWAGE RIGHTS AS DISCLOSED IN LIBER 140, PAGE 8.

BEARING BASIS:

PREVIOUS GFA FILE NUMBER: 021480

Owen Architects Collaborative, LLC

124 W. Front St Mixed Use Project Traverse City, MI

Narrative Description and Response to General Standards for Approval in Article 1364.02

- A) The design of the proposed building is intended to enhance and reinforce the architectural character of Front St in Traverse City. The building facades use materials, scale and detailing compatible with the existing masonry and stone elevations along Front St and typical of downtown environments of the era. The building is articulated both horizontally and vertically to help reduce the scale of the proposed building to that of its neighbors. The upper most level of the building is pull back off of the main wall on Front to further minimize the impact of the additional building height.
- B) The uses proposed are lower level parking for building residents, first floor commercial and residential use, and residential use on levels two through five. The proposed uses are consistent with the current zoning for the site and support the goal of more residential units in the downtown area. There are no hazardous activities proposed on the site. The project includes the cleanup of an existing brownfield site.
- C) The project is served by existing W Front St and existing sewer, water, electrical and support services are currently available. A letter from the Fire Marshal regarding firefighting at the site is included with the application.

Owen Architects Collaborative, LLC

- D) The use does not appear to create any excessive demand on existing infrastructure and significantly increases the value of the property and neighborhood.
- E) The proposed uses are consistent with zoning uses allowed and do not include and detrimental uses. Traffic and parking should be helped by including on-site parking for the residential units although not required by ordinance. To minimize storm water impact some rain water capture will be employed and swirl containment will be employed before the storm water is discharged from the site.
- F) No historic buildings exist on the site. The site was a brownfield which has been cleaned up as part of the overall development of the site.
- G) As indicated in item “A” above the scale, materials and details in the design of the proposed building are intended to reflect and reinforce the downtown development pattern and improve the neighborhood street scape. The design uses vertical and horizontal relief to make the components of the building similar in scale to other downtown building while also allowing the building to be a contemporary addition to the community.
- H) All of the uses proposed by the project are consistent with the uses allowed in the site C4b zoning. The Special Land Use permit is requested to allow the building height to be 68 feet in lieu of 60 feet which is allowed by Ordinance if more than twenty percent of the project is residential use which the proposed project significantly exceeds.

Excerpt from Zoning Code sections 1364.02 *General Standards for Approval* and 1364.08 (m) *Taller buildings*

1364.02 GENERAL STANDARDS FOR APPROVAL.

Each application for a special land use shall be reviewed for the purpose of determining that the proposed use meets all of the following standards:

- (a) The use shall be designed, constructed, operated and maintained so as to be harmonious and compatible in appearance with the intended character of vicinity.
- (b) The use shall not be hazardous nor disturbing to existing or planned uses in the vicinity.
- (c) The use shall be served adequately by existing or proposed public infrastructure and services, including but not limited to, streets and highways, police and fire protection, refuse disposal; water, waste water, and storm sewer facilities; electrical service, and schools.
- (d) The use shall not create excessive additional requirements for infrastructure, facilities, and services provided at public expense.
- (e) The use shall not involve any activities, processes, materials, equipment or conditions of operation that would be detrimental to any person or property or to the general welfare by reason of excessive production of traffic, noise, smoke, fumes, glare, odors or water runoff.
- (f) Where possible, the use shall preserve, renovate and restore historic buildings or landmarks affected by the development. If the historic structure must be moved from the site, the relocation shall be subject to the standards of this section.
- (g) Elements shall relate the design characteristics of an individual structure or development to existing or planned developments in a harmonious manner, resulting in a coherent overall development pattern and streetscape.
- (h) The use shall be consistent with the intent and purposes of the zoning district in which it is proposed.

1364.08 SPECIAL LAND USE PERMITS GRANTED BY THE CITY COMMISSION.

(m) ***Taller buildings.*** "Taller buildings" mean those buildings greater than 60 feet in height.

The purpose of this section is to encourage sensitive design for taller buildings. Since there are very few buildings taller than 60 feet in the City, it is of public interest that prominent buildings, simply by order of their height, are designed in a manner which will maintain the pedestrian scale at the street level. At the same time, the physical, visual and spatial characteristics of the City are encouraged to be promoted by consistent use, compatible urban design and architectural design elements. Taller buildings are allowed in a C-4b, C-4c, D, GP, NMC-2 or H-2 district subject to the following:

- a. The building's height is consistent with Section 1368.01.
- b. Roof top mechanical equipment and penthouse space that are an integral part of the architectural design are permitted. All mechanical equipment, appurtenances and access areas shall be completely architecturally screened

from view and enclosed.

- c. Extended heights for steeples and other architectural embellishments less than 400 square feet each shall not be used to determine the height of the building.
- d. The applicant shall prepare and deliver to the Planning Director a scale model, video image or other similar depiction of the taller building in relation to surrounding land and buildings.



OAC

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FEDERATED PROPERTIES 124 WEST FRONT STREET

124 WEST FRONT STREET, TRAVERSE CITY, MICHIGAN

SITE PLAN APPROVAL and SPECIAL LAND USE PERMIT

Project
FEDERATED PROPERTIES
124 WEST FRONT STREET
TRAVERSE CITY, MICHIGAN

Sheet
TITLE SHEET

DRAWING INDEX

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CIVIL

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- C101 PROPOSED SITE PLAN
- C102 CONSTRUCTION DETAILS

LANDSCAPE

- L101 LANDSCAPE PLAN
- L102 LANDSCAPE SCHEDULES

ARCHITECTURAL

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- A101 FIRST LEVEL FLOOR PLAN
- A102 SECOND LEVEL FLOOR PLAN
- A103 THIRD LEVEL FLOOR PLAN
- A104 FOURTH LEVEL FLOOR PLAN
- A105 FIFTH LEVEL FLOOR PLAN
- A106 ROOF PLAN
- A201 SOUTH AND WEST EXTERIOR ELEVATIONS
- A202 NORTH AND EAST EXTERIOR ELEVATIONS
- A203 RENDERED - SOUTH EXTERIOR ELEVATION

● = CURRENT ISSUE
○ = PREVIOUSLY ISSUED

SITE DATA

ZONING
ZONED C-4b

SITE AREA
SITE AREA 1.17 ACRES (50,965 SF)

BUILDING AREA
LOWER LEVEL (AT GRADE) 33,526 SF (66% LOT COVERAGE)
FIRST LEVEL 30,055 SF
SECOND LEVEL 28,506 SF
THIRD LEVEL 28,177 SF
FOURTH LEVEL 28,177 SF
FIFTH LEVEL 25,732 SF
TOTAL BUILDING AREA 174,173 SF

SETBACKS
FRONT = 2.5'
SIDE = 0'
REAR (WATER SETBACK) = 10' INLAND FROM ORDINARY HI-WATER MARK OR DOCK LINE
ENCROACHMENT INTO SETBACKS = 2.5' AT FRONT YARD

BUILDING HEIGHT
60' MAX. - HOWEVER 68' IS ALLOWED BY SPECIAL LAND USE PERMIT IF MINIMUM 20% OF BUILDING DESIGNED FOR DWELLINGS.
PROPOSED HEIGHT AT PARAPET = 68'-0"

OWNER

Federated Properties, LLC
30955 Northwestern Highway
Farmington Hills, MI 48334

ARCHITECT and APPLICANT

Owen Architects Collaborative, LLC
333 Touraine
Grosse Pointe Farms, MI 48236
Contact: W. Keith Owen (313) - 236-2595

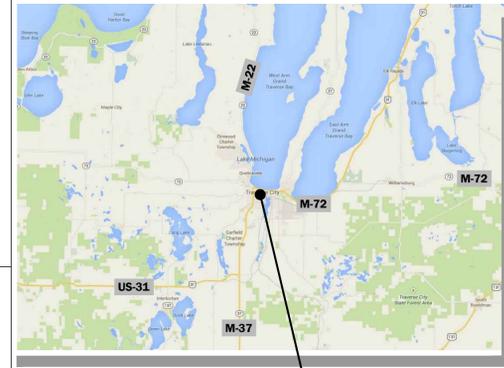
PROJECT DESCRIPTION

PROPOSED MIXED USE DEVELOPMENT AT 124 W. FRONT STREET. THE PROPOSED DEVELOPMENT WILL INCLUDE LOWER LEVEL PARKING FOR RESIDENTIAL USE, FIRST FLOOR COMMERCIAL AND RESIDENTIAL USE AND RESIDENTIAL USE ON SECOND FLOOR THROUGH FIFTH FLOOR.

RESIDENTIAL UNIT COUNT

FIRST LEVEL	6 UNITS
SECOND LEVEL	14 UNITS
THIRD LEVEL	9 UNITS
FOURTH LEVEL	9 UNITS
FIFTH LEVEL	9 UNITS
TOTAL UNITS	47 UNITS

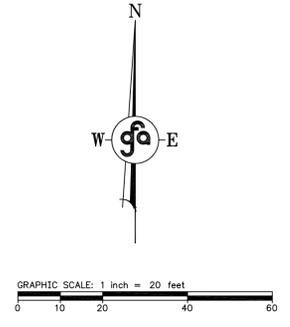
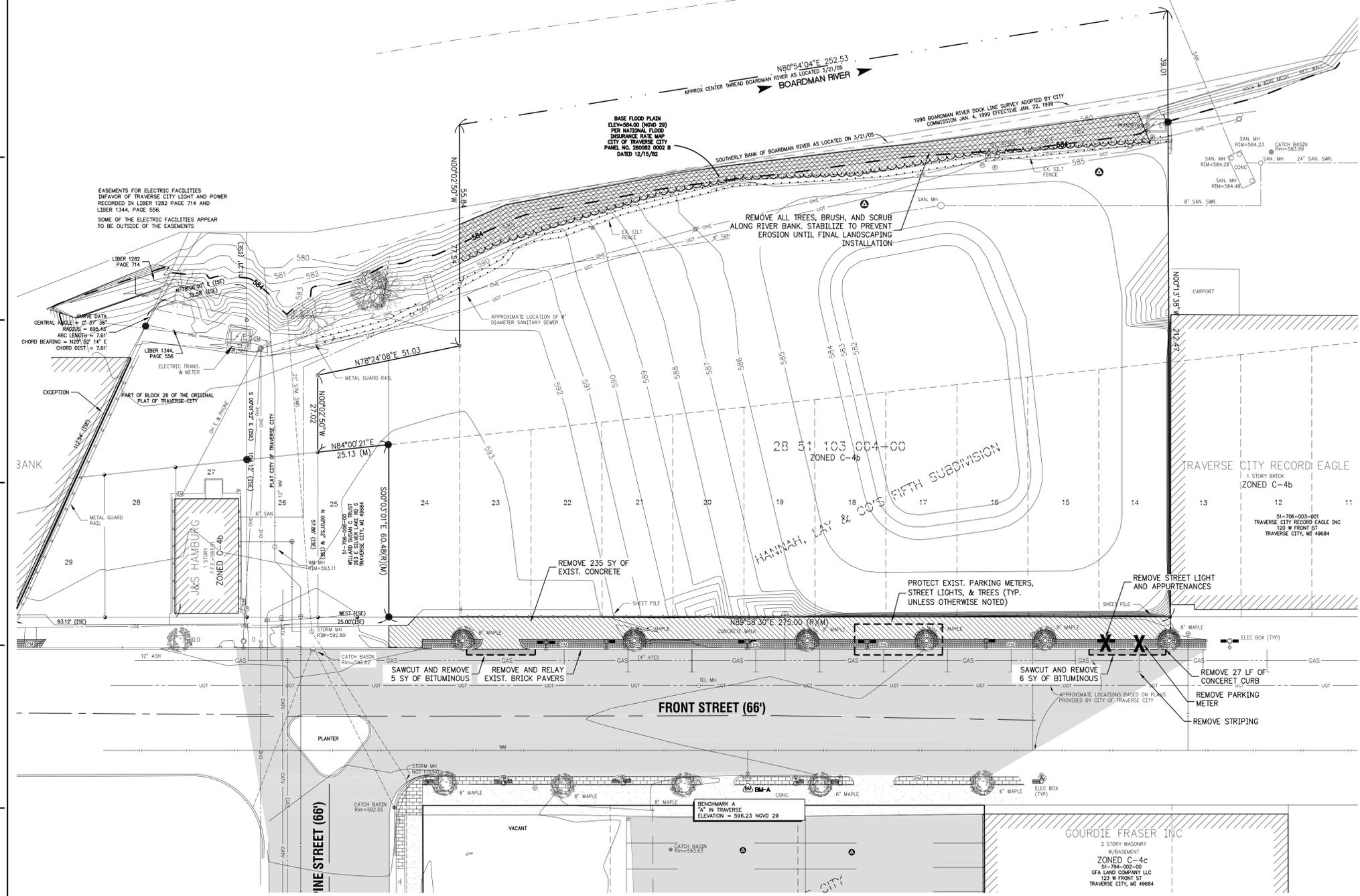
LOCATION MAP



SITE LOCATION
124 W. FRONT STREET

SPA & SLUP 08/27/14
Issued For
Drawn By FEA
Checked By TJZ / RGW
Approved By WKO

Project no.
14002
Sheet no.
T001



gfa Gourdie-Fraser
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Project

FEDERATED PROPERTIES

124 WEST FRONT STREET
 TRAVERSE CITY, MICHIGAN

Sheet

**EXISTING CONDITIONS/
 DEMOLITION PLAN**

Legal Description

LEGAL DESCRIPTION AS FURNISHED:
 TRANSECTION TITLE INSURANCE CORPORATION FILE NO. 05177954

BEGINNING AT THE SOUTHEAST CORNER OF LOT 14, OF HANNAH, LAY & CO'S FIFTH SUBDIVISION OF BLOCK 26 OF THE ORIGINAL PLAT OF THE CITY OF TRAVERSE CITY, MICHIGAN; THENCE WEST ALONG THE SOUTH LINE OF SAID BLOCK 26 TO THE SOUTHWEST CORNER OF LOT 24 OF HANNAH, LAY & CO'S FIFTH SUBDIVISION OF BLOCK 26; THENCE NORTHERLY TO THE NORTHWEST CORNER OF SAID LOT 24, BEING ALSO THE NORTHEAST CORNER OF LOT 25 OF SAID PLAT; THENCE WEST ALONG THE NORTH LINE OF SAID LOT 25 TO THE NORTHWEST CORNER OF SAID LOT 25; THENCE NORTH ALONG THE WEST LINE OF SAID LOT 25, EXTENDED NORTHERLY, 27.02 FEET; THENCE NORTHEASTERLY TO A POINT ON THE EAST LINE OF SAID LOT 24, EXTENDED NORTHERLY, 32.30 FEET NORTH OF THE NORTHEAST CORNER OF SAID LOT 24; THENCE NORTH ALONG THE EAST LINE, EXTENDED NORTHERLY, OF SAID LOT 24, TO THE THREAD OF THE BOARDMAN RIVER; THENCE EASTERLY ALONG THE THREAD OF THE BOARDMAN RIVER TO THE EAST LINE, EXTENDED NORTHERLY, OF SAID LOT 14; THENCE SOUTH ALONG SAID EAST LINE EXTENDED, AND EAST LINE OF SAID LOT 14, TO THE POINT OF BEGINNING.

EXCEPTIONS:
 RESERVATIONS OF RIPARIAN RIGHTS AND FLOWAGE RIGHTS AS DISCLOSED IN LIBER 140, PAGE 8.

BEARING BASIS:
 PREVIOUS GFA FILE NUMBER: 021480

- General Notes**
- SIDEWALK SHALL REMAIN OPEN DURING CONSTRUCTION BUT SHALL BE CLOSED AS NECESSARY TO PROVIDE FOR PUBLIC SAFETY OR AS REQUIRED BY CONDITIONS OF THE CITY OF TRAVERSE CITY LAND USE PERMIT.
 - CONTRACTOR SHALL TAKE PRECAUTIONS AND WORK WITH EXTREME CARE AS NECESSARY TO PREVENT DAMAGE TO THE CURB, ROADWAY AND STREET TREES. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL REPAIR COSTS OR FINES ASSOCIATED WITH DAMAGE TO THESE ITEMS THAT OCCURS DURING THE COURSE OF CONSTRUCTION.
 - CONTRACTOR SHALL COORDINATE AND PAY FOR ALL PARKING CLOSURES REQUIRED DURING CONSTRUCTION.
 - CONTRACTOR SHALL PROTECT EXISTING SANITARY SEWER DURING CONSTRUCTION. SHOULD ANY DAMAGE OCCUR CONTRACTOR SHALL COMPLETE REPAIRS IMMEDIATELY AT NO COST TO THE CITY. REPAIR WORK SHALL BE WITNESSED BY A CITY REPRESENTATIVE PRIOR TO COVERING WORK.
 - REMOVAL ITEMS SHOWN ARE BASED ON BEST AVAILABLE INFORMATION AND ARE SHOWN SCHEMATICALLY. THE CONTRACTOR SHALL WALK THE SITE PRIOR TO BID TO BE FULLY FAMILIAR WITH THE EXTENT OF REMOVAL ITEMS. THE CONTRACTOR IS RESPONSIBLE FOR ALL REMOVALS NECESSARY TO COMPLETE CONSTRUCTION. QUESTIONS REGARDING ITEMS TO BE REMOVED SHALL BE DIRECTED TO THE ENGINEER.
 - THE CONTRACTOR WILL BE HELD RESPONSIBLE FOR DAMAGE TO ITEMS NOT SCHEDULED FOR REMOVAL.
 - CONTRACTOR SHALL PROTECT ALL EXISTING CATCH BASINS EXPOSED TO CONSTRUCTION DEBRIS WITH STONE FILTERS AND SILT FENCE.
 - CONTRACTOR TO INSTALL 20'x50'x12" STONE EXIT FOR ALL CONSTRUCTION TRAFFIC.

- Soil Erosion/Storm Water Control Notes**
- THE CONTRACTOR SHALL PROVIDE TEMPORARY SOIL EROSION CONTROL MEASURES PER P.A. 451 AS AMENDED. WITH THE USE OF SILT FENCE AND OTHER TEMPORARY MEASURES THE CONTRACTOR SHALL PROTECT THE ADJACENT AREA FROM ACCELERATED EROSION AND SEDIMENTATION FLOWS RESULTING FROM CONSTRUCTION. THE CONTRACTOR SHALL INSTALL ADDITIONAL TEMPORARY AND PERMANENT SOIL EROSION CONTROL MEASURES, IF DIRECTED BY THE ENGINEER OR SOIL EROSION CONTROL OFFICER, AT NO ADDITIONAL COST TO THE PROJECT.
 - INSTALLATION AND MAINTENANCE OF TEMPORARY SOIL EROSION CONTROL MEASURES SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
 - SHOULD ADDITIONAL SOIL EROSION CONTROL MEASURES BE DETERMINED TO BE NECESSARY BY EITHER THE SOIL EROSION CONTROL OFFICER OR THE OWNER'S ENGINEER THEY SHALL BE IN PLACE NO LATER THAN 24 HOURS FROM THE TIME OF NOTIFICATION TO THE GENERAL CONTRACTOR FOR THE PROJECT. IF NOT PLACED IN 24 HOURS OR LESS ALL ON SITE CONSTRUCTION WILL BE HALTED UNTIL SUCH MEASURES ARE INSTALLED AND APPROVED BY EITHER THE SOIL EROSION CONTROL OFFICER OR THE OWNER'S ENGINEER.
 - ALL DISTURBED NON-HARD SURFACE AREAS TO BE STABILIZED WITH TOPSOIL, SEEDED, FERTILIZED AND MULCHED. DISTURBED AREAS SHALL BE TOPSOILED TO A DEPTH NOT LESS THAN FOUR (4) INCHES. SLOPES BETWEEN 1 ON 3 AND 1 ON 2 SHALL BE SODDED AND STAKED OR RECEIVE SEED WITH MULCH BLANKET.
 - IF REQUESTED BY THE ENGINEER OR SOIL EROSION CONTROL OFFICER, A WATER TRUCK SHALL BE KEPT ON STAND-BY ON SITE DURING THE CONSTRUCTION PHASE OF THE PROJECT. THE WATER TRUCK SHALL BE USED AS DIRECTED BY THE ENGINEER OR SOIL EROSION CONTROL OFFICER TO CONTROL WIND EROSION.
 - THE CONTRACTOR SHALL REMOVE OR CAUSE TO BE REMOVED ALL SEDIMENT OR SOILS THAT HAVE BEEN DROPPED, WASHED ONTO OR TRACKED ONTO THE PUBLIC RIGHT-OF-WAY AT THE END OF EACH WORKING DAY OR AFTER EACH RAIN EVENT ON NON-WORK DAYS.

Legend

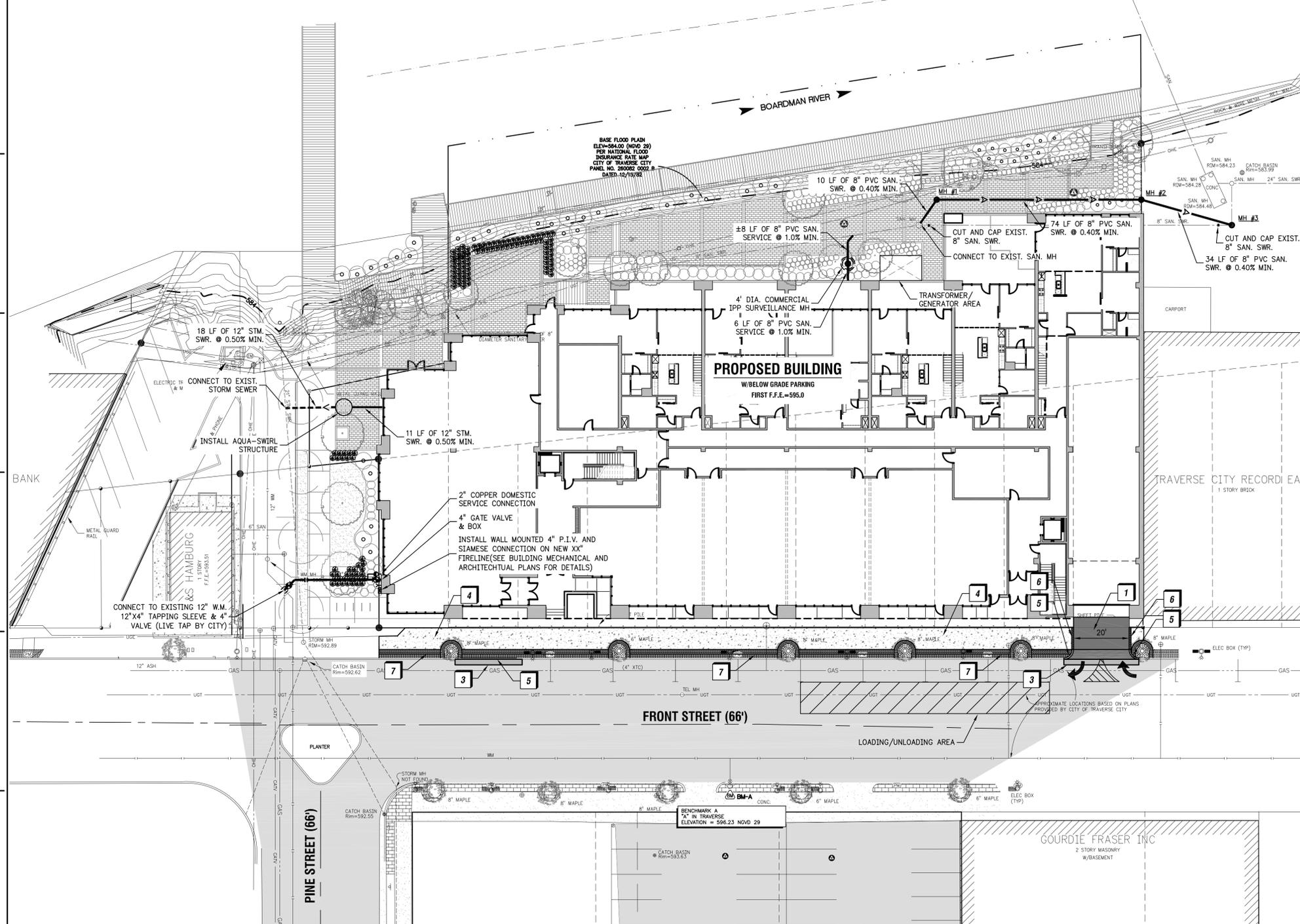
	TANK COVER	N.	NORTH
	ELECTRICAL PANEL	S.	SOUTH
	GUARD POST	E.	EAST
	FLAG POLE	W.	WEST
	FLOOD LIGHT	°	DEGREES
	TEST LEAD	'	FEET OR MINUTES
	LIGHT POLE	"	INCHES OR SECONDS
	CURB STOP	Sq.	SQUARE FEET
	MANHOLE	Vol.	VOLUME
	ELEC. TRANSFORMER	Pg.	PAGE
	FIRE HYDRANT	O.R.	OFFICIAL RECORD
	MAILBOX	Calc.	CALCULATED
	SIGN	Rec.	RECORD
	UTILITY POLE	R/W	RIGHT OF WAY
	TELE. RISER	C/L	CENTERLINE
	FOUND IRON	T	TITLE
	FOUND MONUMENT		
	SECTION CORNER LABEL		
	SOIL BORING		

X REMOVAL

DEMOLITION LIMITS

CLEARING LIMITS

SPA & SLUP	08/27/14
REVIEW	07/29/14
REVIEW	05/22/14
REVIEW	05/05/14
CONCEPT	01/22/14
Issued For	
Drawn By	CPB
Checked By	TLMB
Approved By	RAW
Project no.	
14002	
Sheet no.	
C100	



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Site Data

PARCEL INFORMATION:
PARCEL ZONING: C-4b REGIONAL CENTER DISTRICT
PROPERTY TAX NO: 28-51-103-004-00
SEC., TOWN, RANGE: 3, 127N, R11W
PARCEL SIZE: 1.17 ACRES

General Notes

- ALL RIGHT-OF-WAY PAVEMENT CUTS AND PATCHING MUST OCCUR BETWEEN APRIL 15 AND NOVEMBER 15 UNLESS APPROVAL OTHERWISE.
- ALL PATCHING OF ALLEY SHALL BE COMPLETED WITH A MINIMUM OF 3 INCHES OF M.D.O.T. SPEC. 1100T, 20AA BITUMINOUS PAVEMENT OVER 8 INCHES OF 22A GRAVEL COMPACTED TO 95% OF MAXIMUM DENSITY.
- CONTRACTOR SHALL MAINTAIN 18 FEET CLEAR WIDTH TRAFFIC / FIRE LANE AT ALL TIMES ON FRONT STREET.
- CONTRACTOR IS RESPONSIBLE FOR PROVIDING ALL TEMPORARY BARRIERS AND SIGNAGE FOR STREET AND SIDEWALK CLOSURES.
- THE LOCATION OF EXISTING PUBLIC UTILITIES AND UNDERGROUND STRUCTURES SUCH AS PIPE LINES, ELECTRIC CONDUITS, SEWERS AND WATER LINES, OF RECORD ARE SHOWN ON THE PLANS. THE INFORMATION SHOWN IS BELIEVED TO BE REASONABLY CORRECT AND COMPLETE. HOWEVER, NEITHER THE CORRECTNESS NOR THE COMPLETENESS OF SUCH INFORMATION IS GUARANTEED. PRIOR TO THE START OF ANY OPERATIONS IN THE VICINITY OF ANY UTILITIES, THE CONTRACTOR SHALL NOTIFY THE UTILITY COMPANIES AND MISS DIG AND REQUEST THAT THEY STAKE OUT THE LOCATIONS OF THE UTILITIES IN QUESTION. THE CONTRACTOR SHALL COORDINATE THE RELOCATION OF ANY UTILITIES WITH THE UTILITY PROVIDER. COST OF REPAIR FOR ANY DAMAGED UTILITY LINES THAT ARE PROPERLY STAKED SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
- FOR PROTECTION OF UNDERGROUND UTILITIES AND IN CONFORMANCE WITH PUBLIC ACT 53, 1974, THE CONTRACTOR SHALL DIAL 1-800-482-7171 A MINIMUM OF THREE FULL WORKING DAYS, EXCLUDING SATURDAYS, SUNDAYS, AND HOLIDAYS PRIOR TO BEGINNING EACH EXCAVATION IN AREAS WHERE PUBLIC UTILITIES HAVE NOT BEEN PREVIOUSLY LOCATED. THIS DOES NOT RELIEVE THE CONTRACTOR OF THE RESPONSIBILITY OF NOTIFYING UTILITY OWNERS WHO MAY NOT BE PART OF THE "MISS DIG" ALERT SYSTEM.
- CONTRACTOR SHALL COORDINATE ALL ELECTRICAL SERVICE WORK WITH TRAVERSE CITY LIGHT & POWER.
- CONTRACTOR SHALL COORDINATE ALL NATURAL GAS SERVICE WORK WITH D.T.E. ENERGY.
- CONTRACTOR SHALL COORDINATE ALL TELECOMMUNICATIONS SERVICE WORK WITH AT&T.
- CONTRACTOR SHALL COORDINATE ALL CABLE TELEVISION SERVICE WORK WITH CHARTER COMMUNICATIONS.

Construction Notes

- | | |
|---|-----------|
| 1 CONCRETE PAVING DETAIL
(SEE DETAIL 1 ON SHEET C102) | 8 |
| 2 PAVING DETAIL
(SEE DETAIL 2 ON SHEET C102) | 9 |
| 3 BUTT JOINT DETAIL
(SEE DETAIL 3 ON SHEET C102) | 10 |
| 4 INSTALL CONCRETE WALK
(SEE DETAIL 4 ON SHEET C102) | 11 |
| 5 INSTALL CONCRETE CURB
(SEE DETAIL 5 ON SHEET C102) | 12 |
| 6 INSTALL BRICK BANDING
(SEE DETAIL 8 ON SHEET C102) | 13 |
| 7 INSTALL CITY BRICK STREETSCAPE
(SEE DETAIL 9 ON SHEET C102) | |

FEDERATED PROPERTIES

124 WEST FRONT STREET
TRAVERSE CITY, MICHIGAN

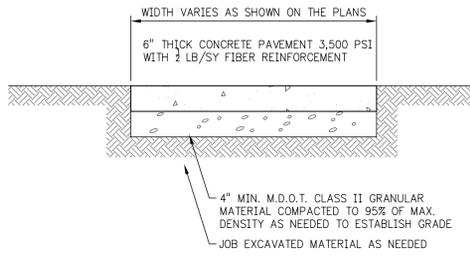
PROPOSED SITE PLAN

SPA & SLUP	08/27/14
REVIEW	07/29/14
REVIEW	05/22/14
REVIEW	05/05/14
CONCEPT	01/22/14

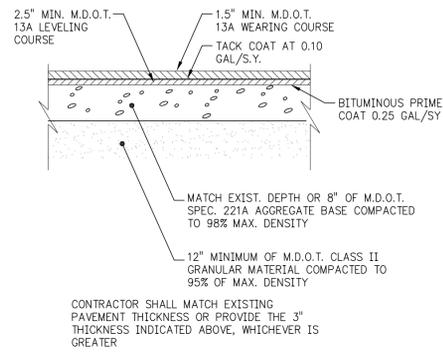
Drawn By: CPB
Checked By: TLMB
Approved By: RAW

Project no. **14002**

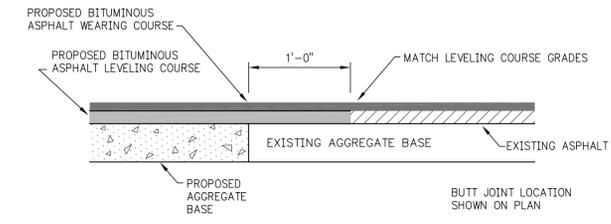
Sheet no. **C101**



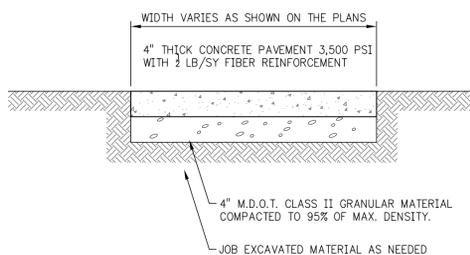
1 CONCRETE PAVEMENT DETAIL
C102 NO SCALE



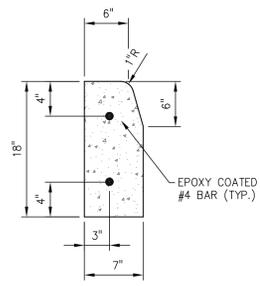
2 ASPHALT PAVING DETAIL
C102 NO SCALE



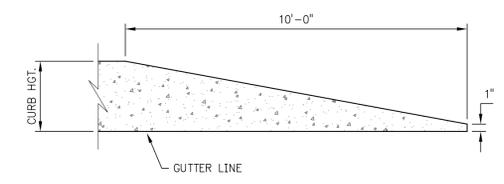
3 BUTT JOINT DETAIL
C102 NO SCALE



4 CONCRETE WALK DETAIL
C102 NO SCALE

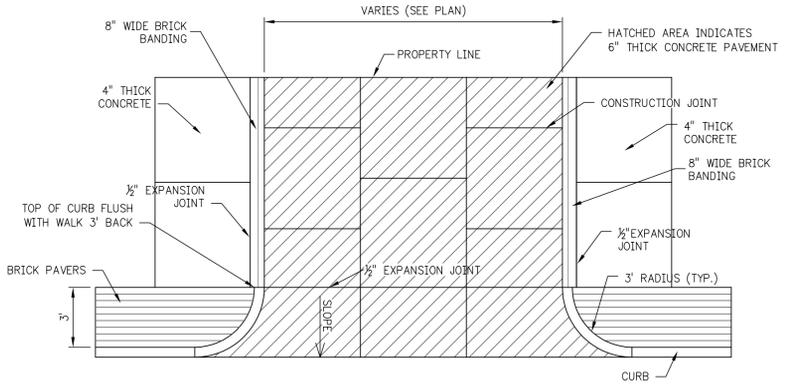


5 CURB DETAIL
C102 (M.D.O.T. TYPE E4) NO SCALE

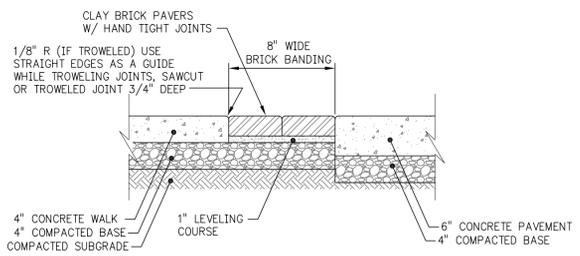


6 CURB AND GUTTER ENDING
C102 NO SCALE

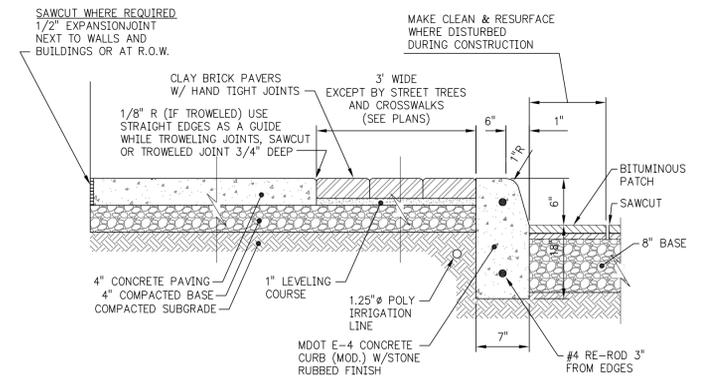
NOTE:
EXPANSION JOINTS SHALL BE PLACED AT ALL SPRING POINTS, PERMANENT STRUCTURES, AND AT A SPACING OF NOT MORE THAN 20 FEET MAXIMUM. THE SIDEWALK SHALL BE DIVIDED INTO UNIT AREAS OF NOT MORE THAN 64 SQUARE FEET BY MEANS OF CUT JOINTS. INsofar AS POSSIBLE, UNIT AREAS SHALL BE SQUARED AND NOT LESS THAN 32 SQUARE FEET.



7 TYPICAL STREETSCAPE CURB CUT
C102 NO SCALE



8 BRICK BANDING DETAIL
C102 NO SCALE



9 CONCRETE: WALK, MODULAR PAVERS, & CURB
C102 NO SCALE

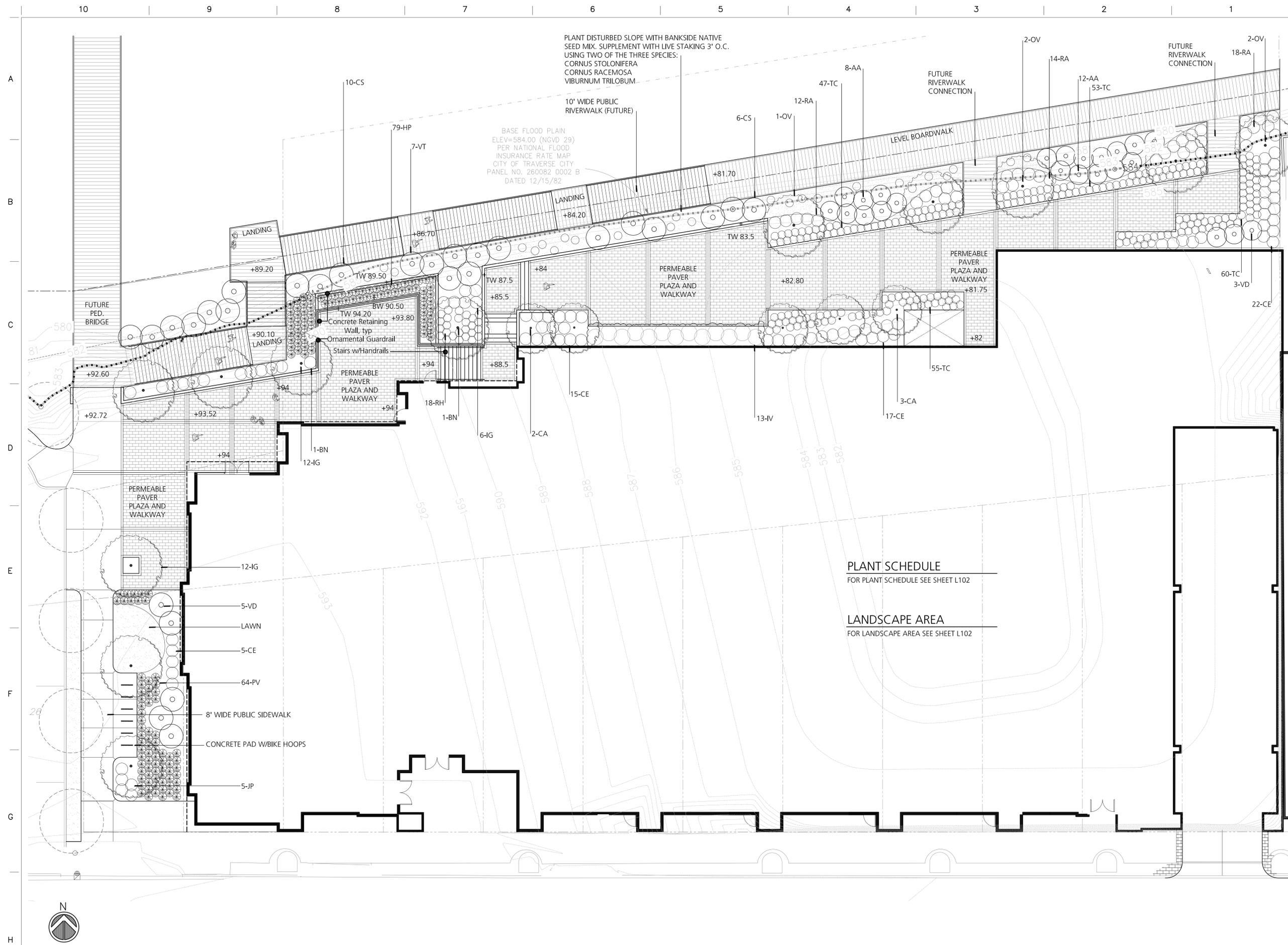
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Project
FEDERATED PROPERTIES
124 WEST FRONT STREET
TRAVERSE CITY, MICHIGAN
Sheet
CONSTRUCTION DETAILS

SPA & SLUP	08/27/14
REVIEW	07/29/14
REVIEW	05/22/14
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Checked By	TLMB
Approved By	RAW

Project no.
14002
Sheet no.
C102



PLANT DISTURBED SLOPE WITH BANKSIDE NATIVE SEED MIX. SUPPLEMENT WITH LIVE STAKING 3' O.C. USING TWO OF THE THREE SPECIES: CORNUS STOLONIFERA CORNUS RACEMOSA VIBURNUM TRILOBUM

BASE FLOOD PLAIN
ELEV=584.00 (NGVD 29)
PER NATIONAL FLOOD
INSURANCE RATE MAP
CITY OF TRAVERSE CITY
PANEL NO. 260082 0002 B
DATED 12/15/82

10' WIDE PUBLIC RIVERWALK (FUTURE)

PLANT SCHEDULE
FOR PLANT SCHEDULE SEE SHEET L102

LANDSCAPE AREA
FOR LANDSCAPE AREA SEE SHEET L102

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Beckett & Raeder

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Beckett & Raeder, Inc.
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Petoskey, MI 49770
231 347 2523 ph
231 347 2524 fx

FEDERATED PROPERTIES

124 WEST FRONT STREET
TRAVERSE CITY, MICHIGAN

LANDSCAPE SITE PLAN

SPA & SLUP	08/27/14
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REVIEW	05/05/14
CONCEPT	01/22/14

Drawn By TK
Checked By
Approved By TK

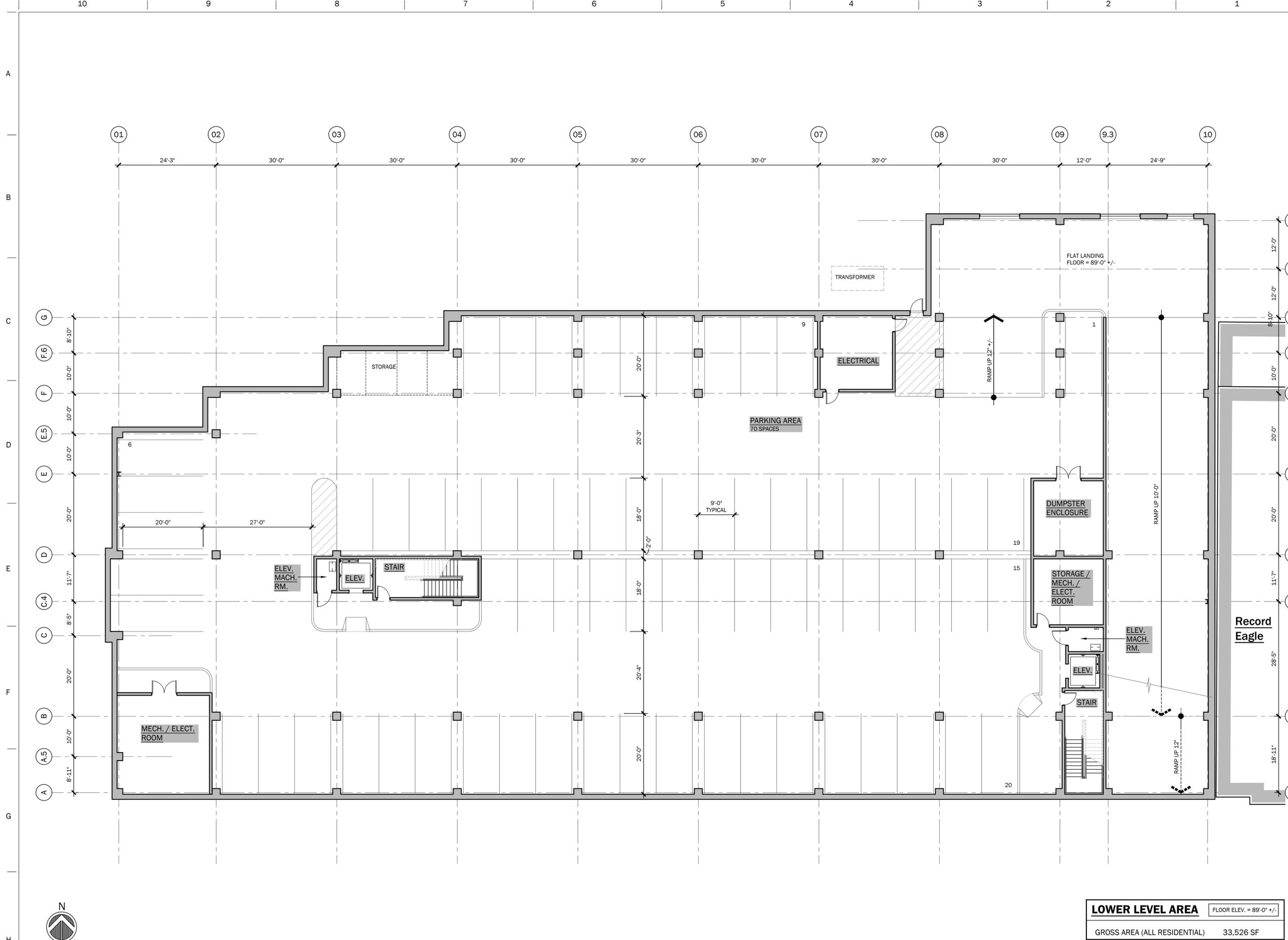
Project no.
14002

Sheet no.
L101

L101 LANDSCAPE PLAN

3/32"=1'-0"





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FEDERATED PROPERTIES
 124 WEST FRONT STREET
 TRAVERSE CITY, MICHIGAN
 Sheet
LOWER LEVEL FLOOR PLAN

SPA & SLUP	08/27/14
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REVIEW	05/05/14
CONCEPT	01/22/14

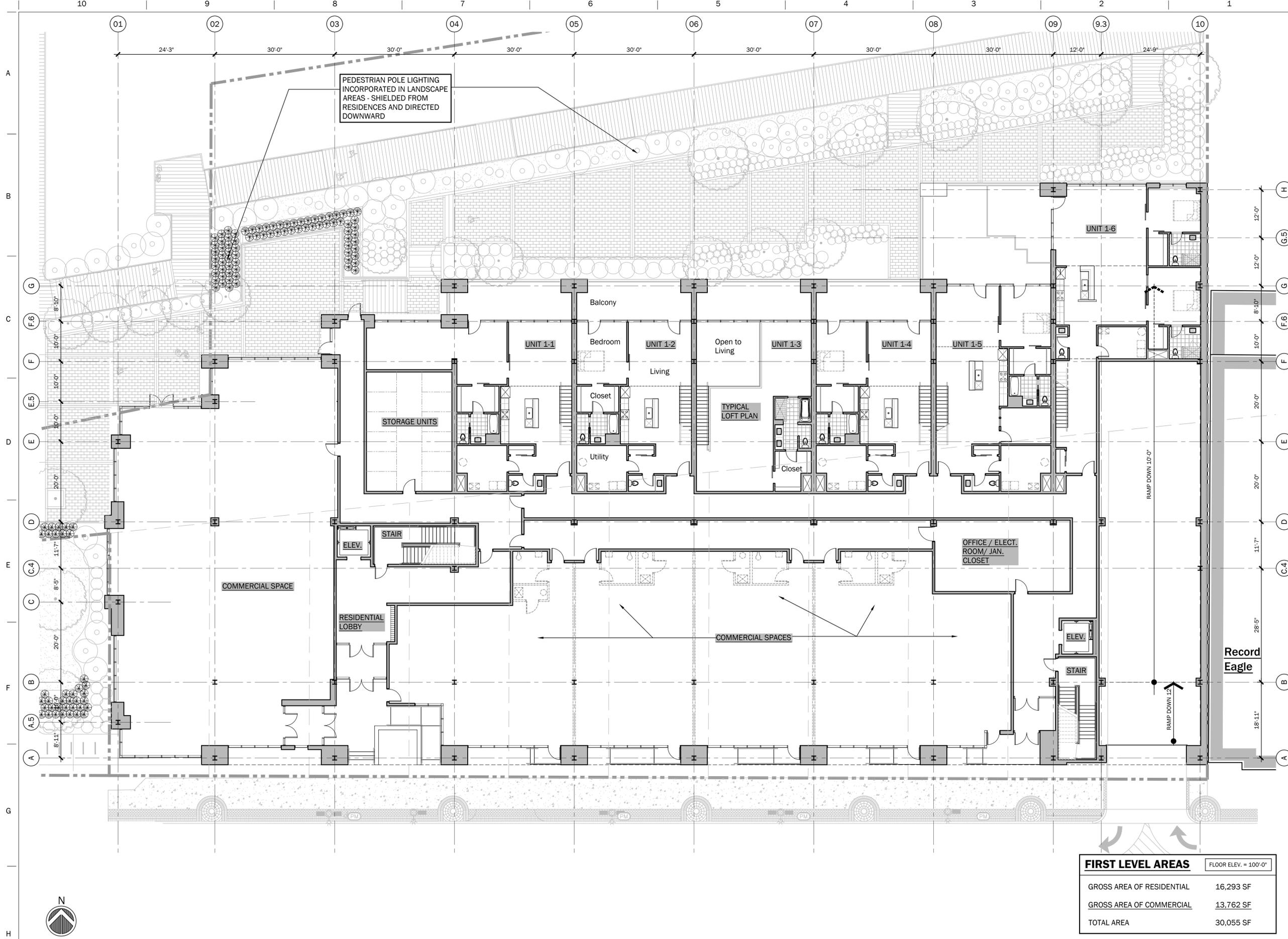
Issued For
 Drawn By FEA / BAG
 Checked By TJZ / RAW
 Approved By WKO

Project no.
14002

Sheet no.
A100

LOWER LEVEL AREA FLOOR ELEV. = 89'-0" +/-
 GROSS AREA (ALL RESIDENTIAL) 33,526 SF

H10 LOWER LEVEL FLOOR PLAN
 3/32"=1'-0"



PEDESTRIAN POLE LIGHTING
INCORPORATED IN LANDSCAPE
AREAS - SHIELDED FROM
RESIDENCES AND DIRECTED
DOWNWARD

STORAGE UNITS

TYPICAL
LOFT PLAN

OFFICE / ELECT.
ROOM / JAN.
CLOSET

COMMERCIAL SPACE

RESIDENTIAL
LOBBY

COMMERCIAL SPACES

Record
Eagle

FIRST LEVEL AREAS		FLOOR ELEV. = 100'-0"
GROSS AREA OF RESIDENTIAL	16,293 SF	
GROSS AREA OF COMMERCIAL	13,762 SF	
TOTAL AREA	30,055 SF	

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FEDERATED PROPERTIES
124 WEST FRONT STREET
TRAVERSE CITY, MICHIGAN

FIRST LEVEL FLOOR PLAN

SPA & SLUP	08/27/14
REVIEW	07/29/14
REVIEW	05/22/14
REVIEW	05/05/14
CONCEPT	01/22/14

Drawn By: FEA / BAG
Checked By: TJZ / RAW
Approved By: WKO

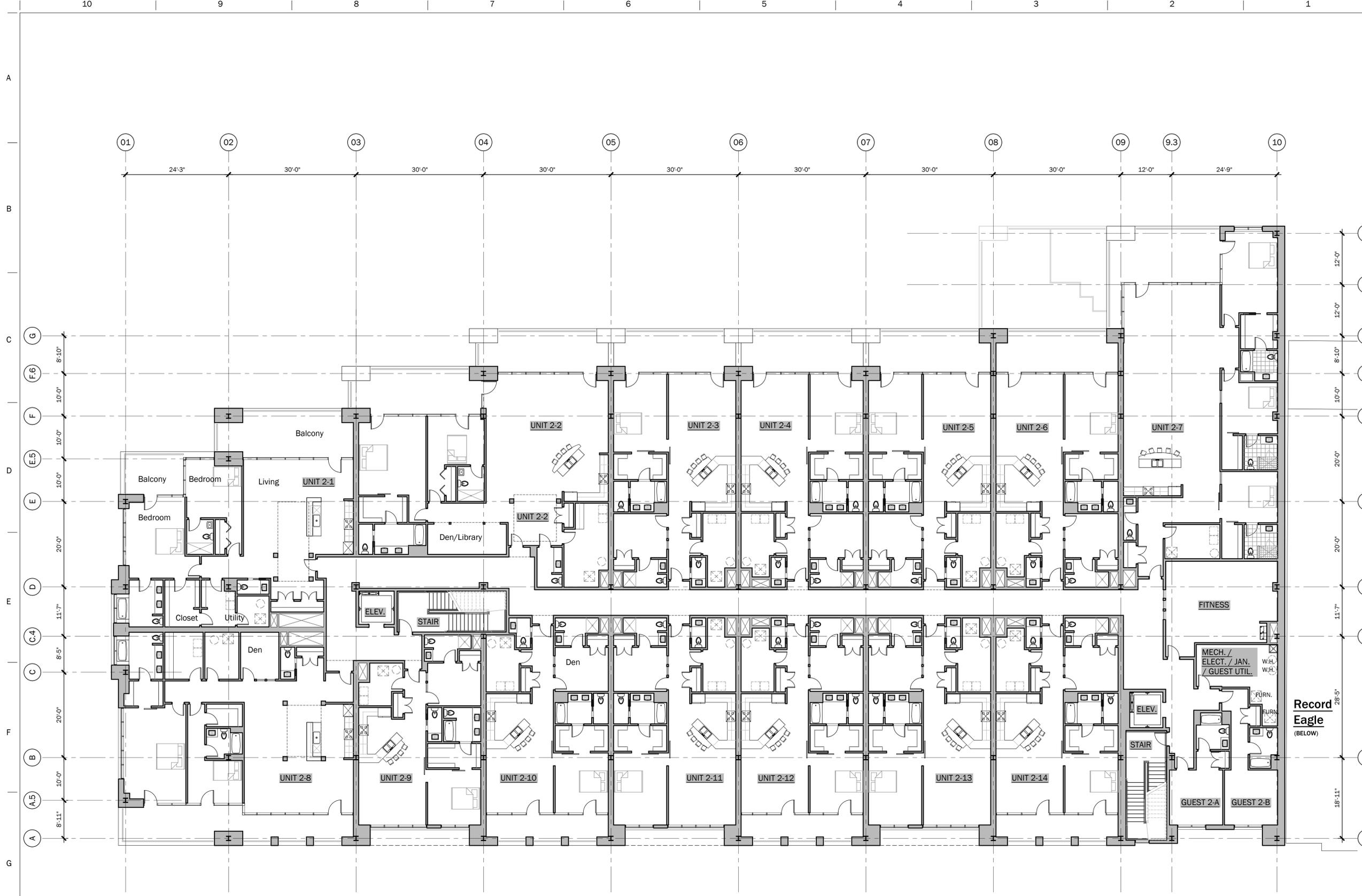
Project no. **14002**

Sheet no. **A101**

H10 FIRST LEVEL FLOOR PLAN

3/32"=1'-0"





SECOND LEVEL AREA FLOOR ELEV. = 118'-0"
 GROSS AREA (ALL RESIDENTIAL) 28,506 SF

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Project
FEDERATED PROPERTIES
 124 WEST FRONT STREET
 TRAVERSE CITY, MICHIGAN

Sheet
SECOND LEVEL FLOOR PLAN

Record Eagle
 (BELOW)

SPA & SLUP	08/27/14
REVIEW	07/29/14
REVIEW	05/22/14
REVIEW	05/05/14
CONCEPT	01/22/14

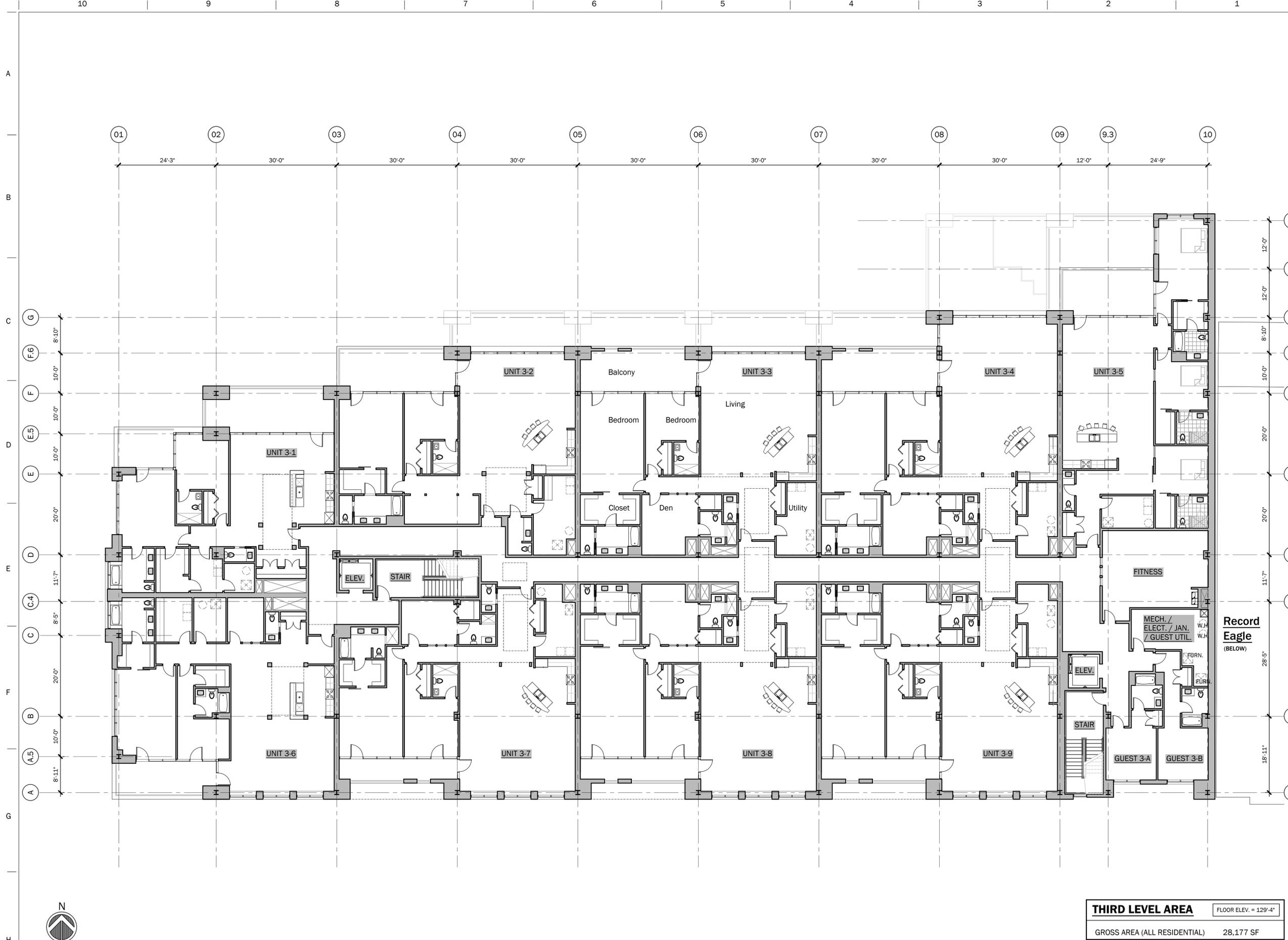
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Project no.
14002

Sheet no.
A102

H10 SECOND LEVEL FLOOR PLAN

3/32"=1'-0"



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Project
FEDERATED PROPERTIES
 124 WEST FRONT STREET
 TRAVERSE CITY, MICHIGAN

Sheet
THIRD LEVEL FLOOR PLAN

Record Eagle
 (BELOW)

SPA & SLUP	08/27/14
REVIEW	07/30/14
REVIEW	05/22/14
REVIEW	05/05/14
CONCEPT	01/22/14

Issued For
 Drawn By FEA / BAG
 Checked By TJZ / RAW
 Approved By WKO

Project no.
14002

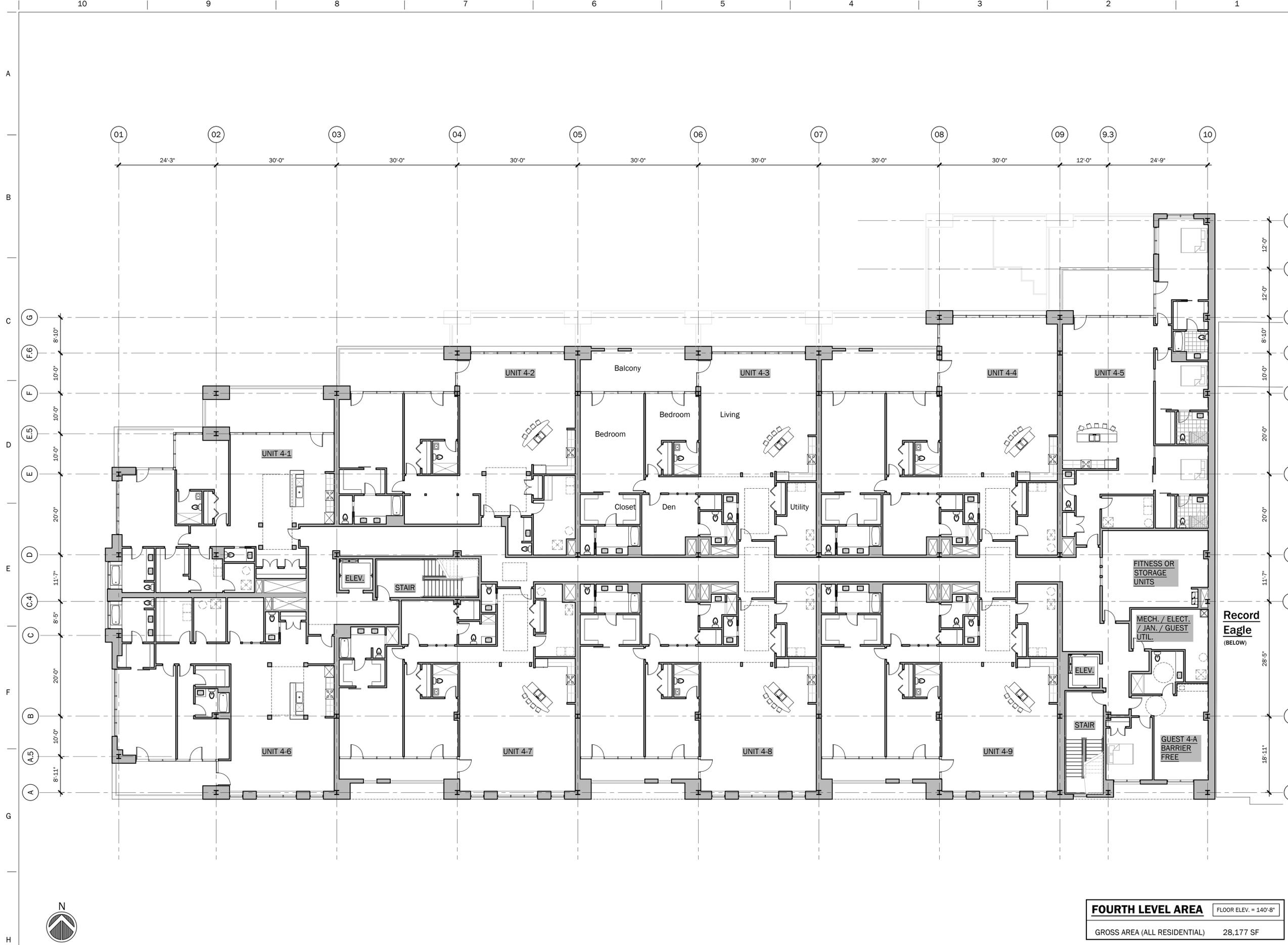
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A103

THIRD LEVEL AREA FLOOR ELEV. = 129'-4"
 GROSS AREA (ALL RESIDENTIAL) 28,177 SF

H10 THIRD LEVEL FLOOR PLAN

3/32"=1'-0"





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FEDERATED PROPERTIES

124 WEST FRONT STREET
 TRAVERSE CITY, MICHIGAN

FOURTH LEVEL FLOOR PLAN

Record Eagle
 (BELOW)

SPA & SLUP	08/27/14
REVIEW	07/30/14
REVIEW	05/22/14
REVIEW	05/05/14
CONCEPT	01/22/14

Drawn By: FEA / BAG
 Checked By: TJZ / RAW
 Approved By: WKO

FOURTH LEVEL AREA FLOOR ELEV. = 140'-8"
 GROSS AREA (ALL RESIDENTIAL) 28,177 SF

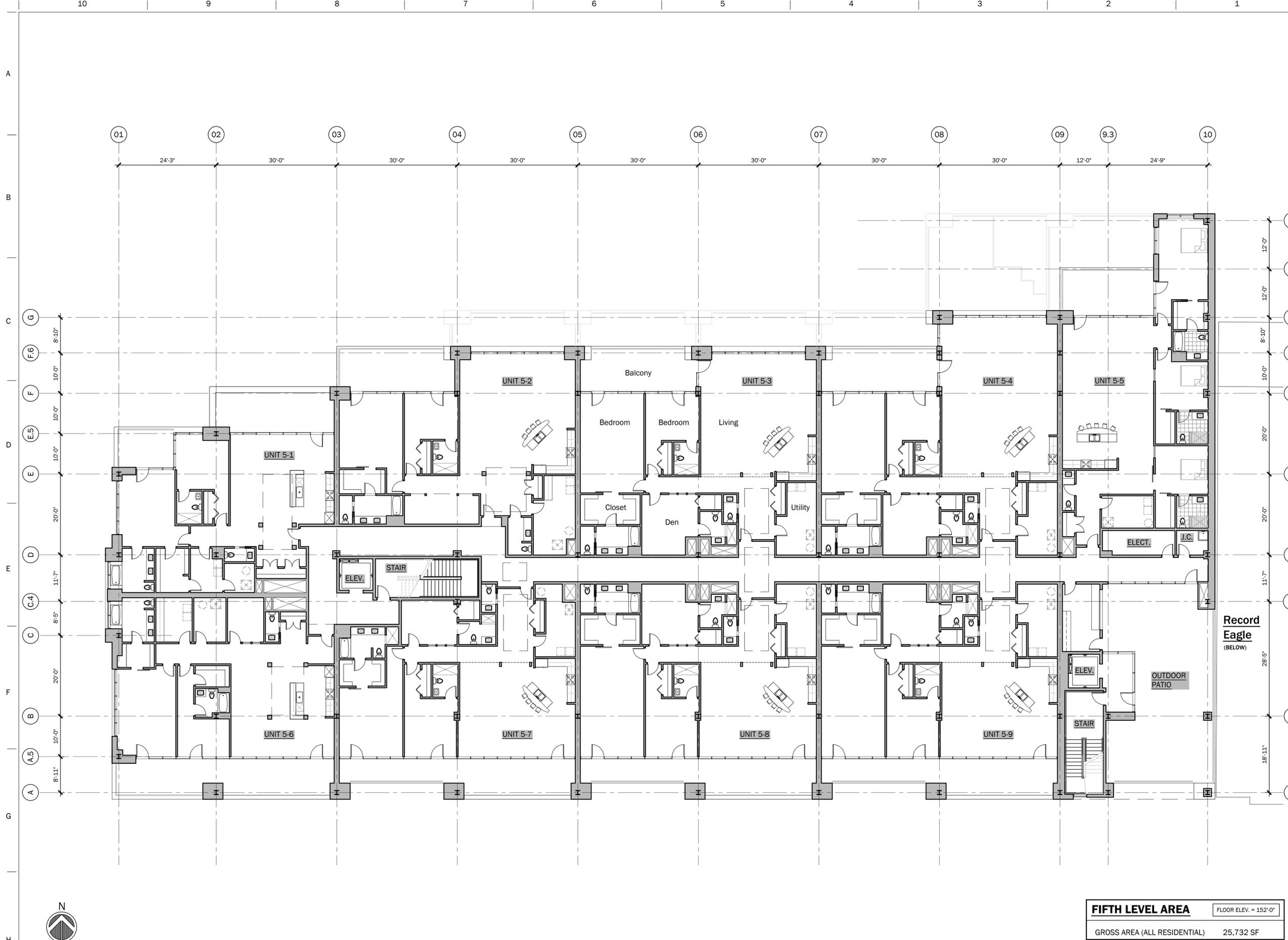
Project no. **14002**

Sheet no. **A104**

H10 FOURTH LEVEL FLOOR PLAN

3/32"=1'-0"





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Project
FEDERATED PROPERTIES
 124 WEST FRONT STREET
 TRAVERSE CITY, MICHIGAN
 Sheet
FIFTH LEVEL FLOOR PLAN

Record Eagle
 (BELOW)

SPA & SLUP	08/27/14
REVIEW	07/30/14
REVIEW	05/22/14
REVIEW	05/05/14
CONCEPT	01/22/14

Issued For
 Drawn By FEA
 Checked By TJZ
 Approved By WKJ

Project no.
14002

Sheet no.
A105

FIFTH LEVEL AREA FLOOR ELEV. = 152'-0"
 GROSS AREA (ALL RESIDENTIAL) 25,732 SF

H10 FIFTH LEVEL FLOOR PLAN

3/32"=1'-0"



FEDERATED PROPERTIES

124 WEST FRONT STREET
TRAVERSE CITY, MICHIGAN

ROOF PLAN

SPA & SLUP 08/27/14

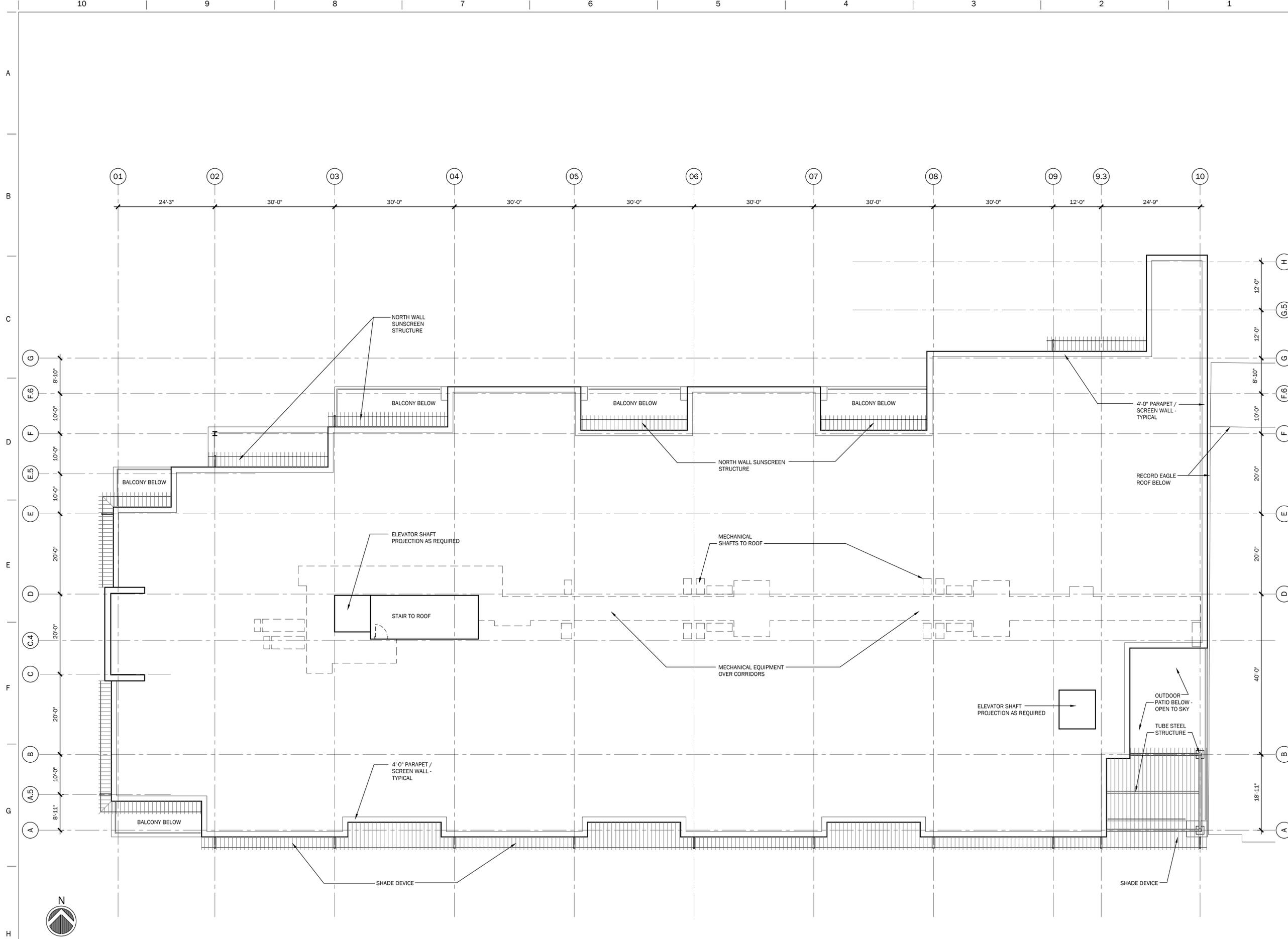
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Drawn By FEA
Checked By TJZ
Approved By WKO

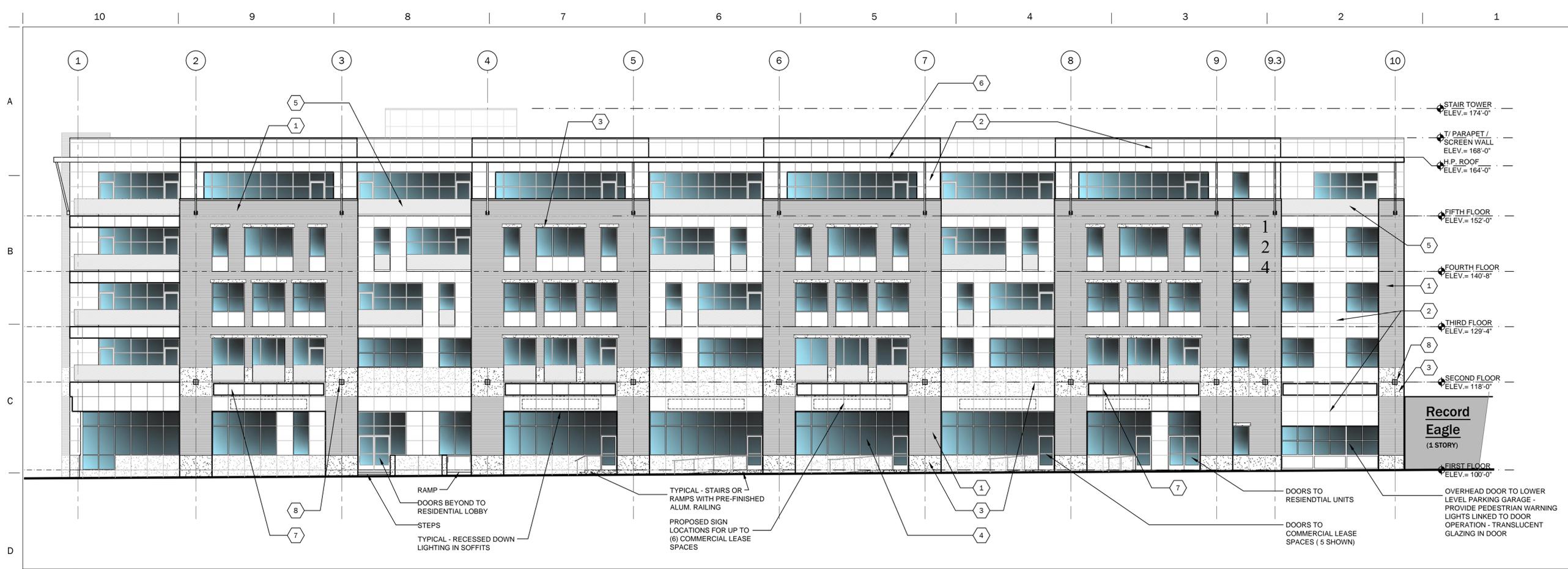
Project no.

14002

Sheet no.

A106

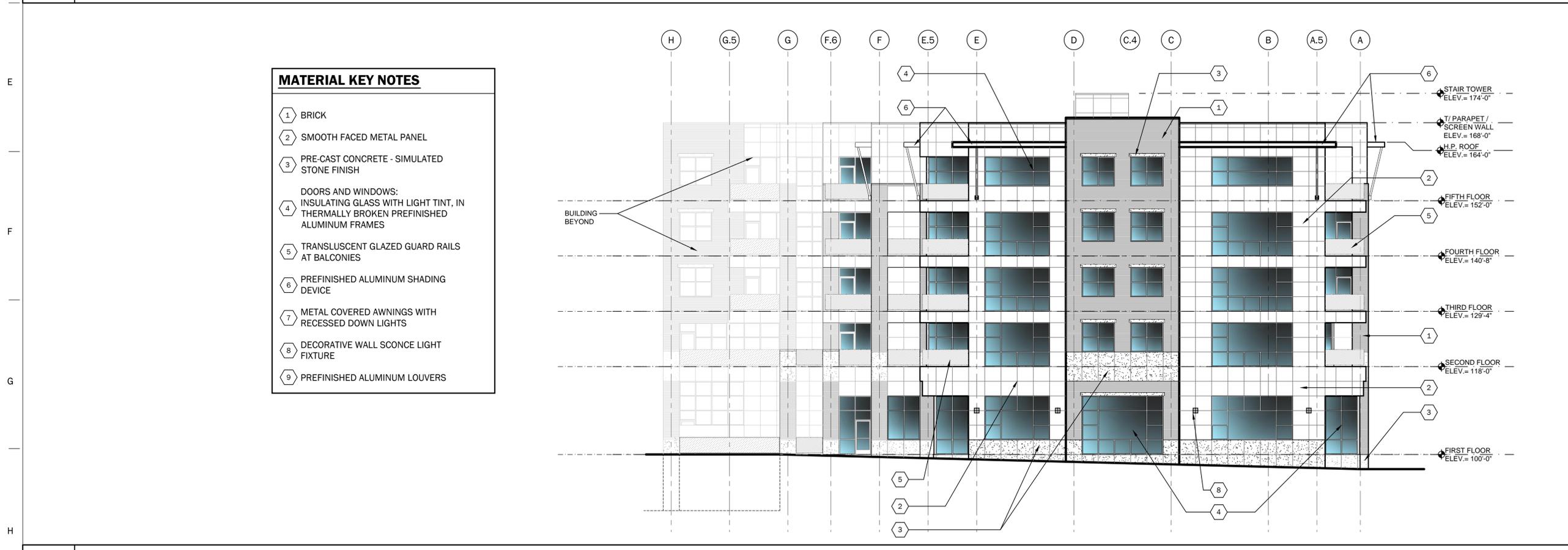




D10 SOUTH ELEVATION
3/32"=1'-0" A100, A101, A012, A103, A104, A105

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FEDERATED PROPERTIES
124 WEST FRONT STREET
TRAVERSE CITY, MICHIGAN



MATERIAL KEY NOTES	
1	BRICK
2	SMOOTH FACED METAL PANEL
3	PRE-CAST CONCRETE - SIMULATED STONE FINISH
4	DOORS AND WINDOWS: INSULATING GLASS WITH LIGHT TINT, IN THERMALLY BROKEN PREFINISHED ALUMINUM FRAMES
5	TRANSLUCENT GLAZED GUARD RAILS AT BALCONIES
6	PREFINISHED ALUMINUM SHADING DEVICE
7	METAL COVERED AWNINGS WITH RECESSED DOWN LIGHTS
8	DECORATIVE WALL SCONCE LIGHT FIXTURE
9	PREFINISHED ALUMINUM LOUVERS

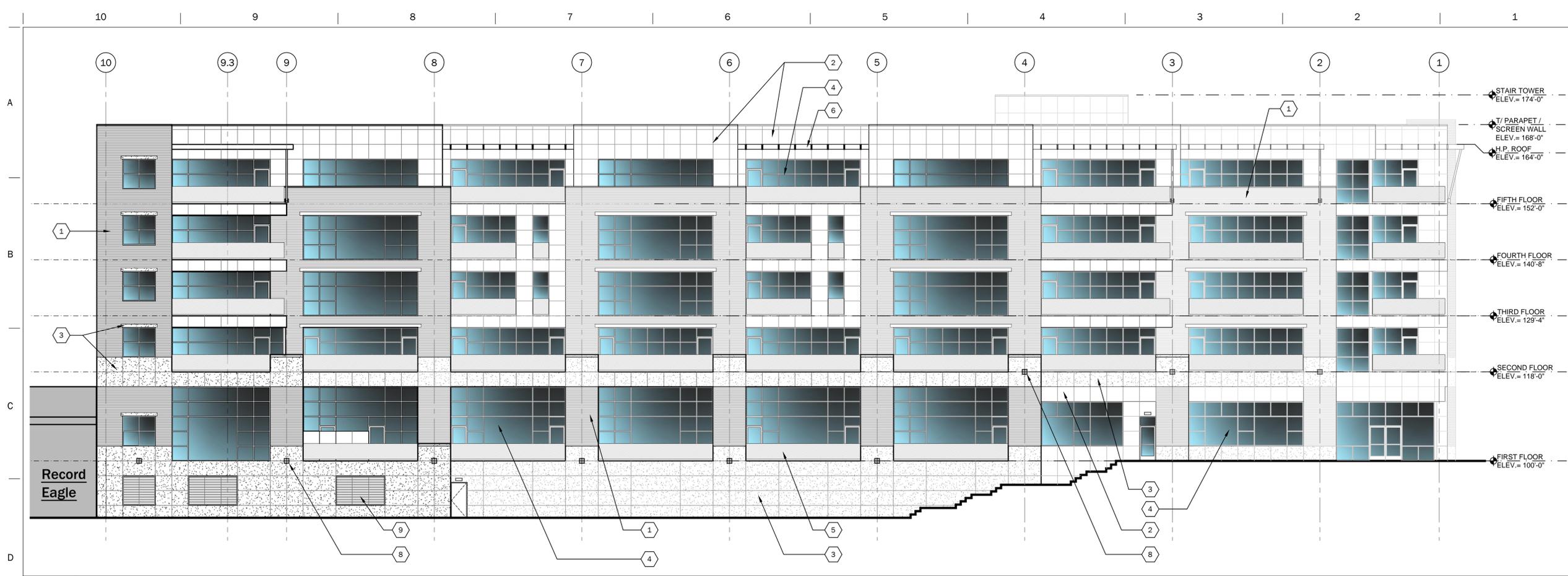
H10 WEST ELEVATION
3/32"=1'-0" A100, A101, A012, A103, A104, A105

SOUTH AND WEST EXTERIOR ELEVATIONS

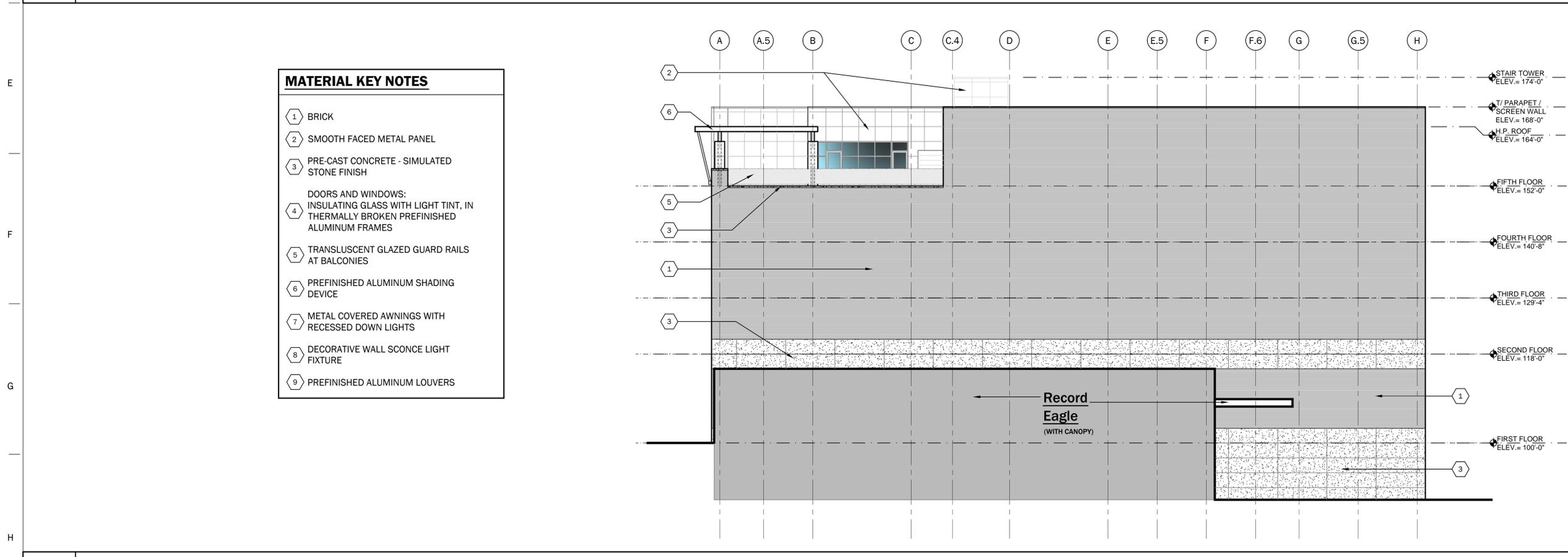
Issue For	Date
SPA & SLUP	08/27/14
REVIEW	05/22/14
REVIEW	05/05/14
CONCEPT	01/22/14

Drawn By FEA
Checked By TJZ
Approved By WKO

Project no.
14002
Sheet no.
A201



D10 NORTH ELEVATION
 3/32"=1'-0" A100, A101, A102, A103, A104, A105



MATERIAL KEY NOTES	
1	BRICK
2	SMOOTH FACED METAL PANEL
3	PRE-CAST CONCRETE - SIMULATED STONE FINISH
DOORS AND WINDOWS: 4 INSULATING GLASS WITH LIGHT TINT, IN THERMALLY BROKEN PREFINISHED ALUMINUM FRAMES	
5	TRANSLUCENT GLAZED GUARD RAILS AT BALCONIES
6	PREFINISHED ALUMINUM SHADING DEVICE
7	METAL COVERED AWNINGS WITH RECESSED DOWN LIGHTS
8	DECORATIVE WALL SCIENCE LIGHT FIXTURE
9	PREFINISHED ALUMINUM LOUVERS

H10 EAST ELEVATION
 3/32"=1'-0" A100, A101, A102, A103, A104, A105

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FEDERATED PROPERTIES
 124 WEST FRONT STREET
 TRAVERSE CITY, MICHIGAN

NORTH AND EAST EXTERIOR ELEVATIONS

Issue For	Date
SPA & SLUP	08/27/14
REVIEW	05/22/14
REVIEW	05/05/14
CONCEPT	01/22/14

Drawn By FEA
 Checked By TJZ
 Approved By WKO

Project no.
14002
 Sheet no.
A202

A
B
C
D
E
F
G
H



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FEDERATED
PROPERTIES

124 WEST FRONT STREET
TRAVERSE CITY, MICHIGAN

RENDERED
SOUTH EXTERIOR
ELEVATION

SPA & SLUP 08/27/14
Issued For
Drawn By FEA
Checked By RGW
Approved By WKO

14002

A203

H10 RENDERED - SOUTH ELEVATION

3/32"=1'-0" A100, A101, A012, A103, A104, A105

160 E. Front Street

The building houses The Franklin restaurant, but the project included renovations to the Passageways Travel building and the Cherry Hill building. Keen Technical Solutions, building owners and developers of the project have applied for LEED certification and hope will earn "gold" or "platinum" certification as a green building project. John Dancer, of Cornerstone Architects was the architect on the project. The project received approval from the Historic Districts Commission. The in-fill building features 13,000 square feet, a 120-year-old bar salvaged from Marquette, MI, a table made from a cottonwood trunk, kitchen area flooring made in Oscoda, MI, black locust hardwood flooring harvested from Sleeping Bear Dunes National Lakeshore and installed by SEEDS youth corps individuals, Traverse City printed wallpaper, recycled beer bottle countertops, low flow fixtures, water bottle filling stations, employee shower room with lockers, and many energy efficient heating, cooling and electric systems.



If you agree with nominating a development for this award, the following motion would be appropriate:

That the Planning Commission nominate the _____ development as an Outstanding Development Project to the Grand Traverse County Chapter of Michigan Townships Association and the Grand Traverse County Planning Department for their Annual Awards Banquet.

ML



PLANNING & DEVELOPMENT

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TRAVERSE CITY, MI 49684
(P) 231.922.4676
(F) 231.922.4636
www.grandtraverse.org/planning

Planning
Land Bank
Housing Initiatives
Economic Development
Brownfield Redevelopment

Request For Annual Awards Banquet Nominations

The Annual Awards Banquet, co-sponsored by the County Planning Commission and the County Chapter of Michigan Townships Association, is scheduled for **Thursday, November 6**, at Boone's Long Lake Inn. Once again, we are looking to you for help in nominating individuals or projects to receive awards. We are asking you to be creative and think outside the box to nominate individuals and projects that support or exemplify good planning in Grand Traverse County. Below is a brief description of the award categories.

- **Certificates of Appreciation**—given to individuals nominated by their local unit of government for outstanding work during the past year.
- **Distinguished Service Awards**—recognize individuals who have gone beyond the call of duty in their efforts for their unit of government and the wider community during the past year.
- **Placemaking Award**—recognizes local units of government or activities that capitalize on a local community's assets, inspiration, and potential, ultimately creating good public spaces that promote people's health, happiness, and wellbeing.
- **Outstanding Development Awards**—awarded by the individual local units in recognition of developments in their community. Each local unit will be able to use the awards banquet as a forum to recognize any developer for an outstanding project. The presentation will be made by the local unit and the local unit will be responsible for arranging for a display board and the dinner fee for the recipient(s).
- **The Roger Williams Planner Award**—recognizes the efforts of professional planners in the County. Named for the first director of the County Planning Commission, Roger Williams, the award is given to a professional staff or consulting planner that has been nominated by a unit of government for outstanding professional work. A traveling plaque is awarded to the unit of government or organization the recipient represents.
- The most prestigious award is the **Frank Purvis Stewardship Award**. This award is given to a citizen planner who demonstrates high ideals of leadership, dedication, and volunteerism. This award consists of two plaques, one to the recipient and the second is a traveling plaque that is presented to the award winner's unit of government.

Enclosed you will find nomination forms for each of the award categories. Please discuss the awards program with your planning commission and board and make nominations for this year's banquet. We are requesting that your nominations be in the Planning & Development Office by October 10. This will assure that the Awards Banquet Committee has sufficient time to review the nominations. Your nominations may be mailed, emailed (mcarmone@grandtraverse.org), or faxed (231-922-4636).

If you have any questions about any of the awards, or if you have an idea of an award you would like presented, please contact Marcia at the Planning & Development Office at 922-4573.

We look forward to seeing you at the banquet on November 6.

County Association - County Planning Awards Banquet
Nomination Form

Name of Nominating Organization: _____

Name of Contact Person: _____

Phone Number of Contact Person: _____

Please include name of award recipient and reason for nomination.

Certificate of Appreciation: _____

Distinguished Service: _____

Placemaking Award: _____

Outstanding Development Award: Each local unit will be able to use the awards banquet as a forum to recognize any developer for an outstanding project. It will be the responsibility of the nominating unit to make the presentation at the banquet, to provide a display highlighting the project, and to register the recipient for the banquet, including the registration fee. County Planning will provide the award certificate. It is hoped that those nominating a project would follow basic criteria used in the past such as project completed within the last year, shows outstanding planning, i.e., access control, open space preservation, landscaping, and has been nominated by motion by a local planning commission, council or board. We expect each presentation to be relatively short, no longer than 5 or 7 minutes.

Supporting information may be attached if desired.
Please return nominations to the County Planning & Dev. Office by October 10, 2014.

County Association - County Planning Awards Banquet

Nomination Form

The Roger Williams
Planner Award

"Established November 1, 2001 to honor individuals for excellence in the professional field of planning or volunteer service to the community through encouraging or facilitating cooperative efforts between local units, agencies, and the County by fostering the County Master Plan and guidebooks."

Name: _____

Title: _____

Unit of Government: _____

Nominated by: _____

Please write a brief description of the reasons for nominating this individual:

Supporting information may be attached if desired.

Please return to the County Planning & Development Office by October 10, 2014.

County Association - County Planning Awards Banquet

Nomination Form

Frank Purvis
Stewardship Award Program

"None of us really owns the land we occupy during our brief span, we are stewards; entrusted with the care and management of the land. It is expected that we will turn it over to subsequent generations in as good, if not better condition as when it was under our responsibility."

Frank Purvis

Name: _____

Title: _____

Unit of Government: _____

Nominated By: _____

Please write a brief description of the reasons for nominating this individual:

Supporting information may be attached if desired.

Please return to the County Planning & Development Office by October 10, 2014.

Memorandum

The City of Traverse City
Planning and Engineering Departments



TO: Jered Ottenwess, City Manager

FROM: Russell A. Soyring, Planning Director
Timothy J. Lodge, City Engineer

DATE: August 15, 2014

SUBJECT: CAPITAL IMPROVEMENT PROGRAM- QUARTERLY PROJECT UPDATE

Parking System

- **#550: Lot D Reconstruction/Boardman River Boatlaunch** - Asphalt surface is aging. Scope of work includes installation of new launch and piers, dredging, a universally accessible canoe/kayak launch, resurfacing the parking lot, installation of retaining walls near the launch and turnaround to stabilize eroding site banks, installation of trees and native plantings, and boat cleaning/invasive species education signage. A \$156,250 Waterways Grant received in December 2013, a \$80,000 Coastal Management Program grant, and local foundation grant of \$50,000 received in 2012 for project construction. *Joint permit applied for in July, Environmental soil contamination caused project design delays, Construction planned in 2014/15.*
- **#708: Lot O Remediation** - Mitigation of contamination that likely is affecting adjacent properties and the water table in close proximity to the Boardman River. Five underground storage tanks exist at Lot O and likely are contributing to soil contamination. This project would remove the tanks and contain soil contamination at the lot. *Update: No activity.*
- **#729: Lot P Reconstruction** - Repair asphalt. Required in lease agreement with property owner. West State Street just west of barber shop. *Update: No activity.*
- **#728: Lot V Reconstruction** - Mill and replace asphalt, replace curbs, new drainage structure. Required in lease agreement with property owner. *Update: No activity.*
- **#133: Lots W and N** - Consolidate parking in these lots in conjunction with the development of the northeast corner of Washington and Cass. *Update: Discussions with adjacent property owner regarding development. Recent meetings with the developer and Staff regarding parking lot east of proposed development as Cass and Washington Street. Liner townhomes and two levels of parking have been discussed.*

Bayfront Plan Non-TIF Implementation Fund

- **#568 West End Beach Trail Extension and Access** - The scope of work includes the extension of a non-motorized trail along the north side of M-72/West Grandview Parkway from the parking lot at West End Beach to Elmwood Avenue, a distance of approximately 1,100 feet; a pedestrian crossing of M-72/West Grandview Parkway near the alignment of Elmwood Avenue connecting the trail extension with neighborhoods and trail networks to the south. North of the trail crossing intersection, a small viewing

platform and ramped access to the beach will be constructed; also a stormwater treatment structure will be installed to separate oil and grit street runoff and reduce this current form of point-source pollution directly into Grand Traverse Bay. A \$173,931.87 MDOT Transportation Alternative grant was awarded in 2012 for the construction of the project. *Update: Project approved for consistency with Master Plan by the Planning Commission on 11/16/11. Decisions by ACOE and MDEQ on beach grooming request August 2013. MDOT letting process is underway, Construction planned to begin September 2014.*

- **#778 Public Pier: Bayfront Plan** – Great Lakes Fisheries Trust Grant received to complete the design, preliminary engineering, studies and construction drawings and details to build an approx. 550 foot, universally accessible fishing pier at the mouth of the Boardman River on Grand Traverse Bay. The pier will provide unique, outstanding access for people of all ages, needs and abilities to fish for migratory and other species, and to learn about the Great Lakes, the importance of stewardship and the value, challenges and opportunities involving the fishery. *Update: City Commission authorized acceptance of the \$232,000 Great Lakes Fishery Trust Fund Grant for the study and design of a public pier. The Planning department is administering the grant. Study Group has been formed. City received 7 responses to the RFQ. Study Group interviewed 4 firms. Study Group made consultant selection recommendation to the City Commission. City Commission authorized consultant agreement to SmithGroupJJR for \$232,000 public pier project. Agreement execution underway.*
- **#551 Holiday Inn Phase: Bayfront Plan** - The proposed Holiday Inn promenade consists of a 10-foot expansion of the existing seawall. Preliminary cost projections for the promenade seawall are conditioned on assumptions made without design wave conditions analysis, soil borings and determination of regulatory constraints. For estimating purposes the new seawall will consist of a new 40-foot long steel sheet piling bulkhead with a 10 foot wide concrete cap over new fill. Along Grand Traverse Bay shoreline, between Boardman River and Sunset Park. (FY2014-15) *Update: Easement needed, initial meeting with new owners held. No further activity*

Brown Bridge Maintenance Fund

- **#51 Upper Trail Connector Bridge (east end)** - This proposed pedestrian bridge over the Boardman River is located at the site of a former bridge that was constructed by the Boy Scouts in the 70's near the outlet of Grasshopper Creek. Highwater and the lack of maintenance caused the bridge to fail and it was removed in the 80's. Recently a riverfront property owner donated a bridge that can be used at the site. This bridge combined with the Historic Brown's Bridge (West-end) will provided a 9'-mile loop trail. Work items: Abutment design, site plan development, state and local permits, and installation. *Update: Project moved to FY 2015-16 in current CIP. No activity*
- **#847 Historic Brown Bridge West End-** Most people don't know that in 1869 William Walter Brown purchased 80 acres from the state of Michigan for \$50. Soon thereafter Mr. Brown and his neighbors constructed a bridge across the Boardman that became one of the area's first State Roads. The site was also home to an inn called the "Half-Way House" because of its mid-point position between Grand Rapids and the Straits. Today there is great interest in constructing a foot bridge at the original site of the historic Brown's Bridge. Not only would the bridge provide a critical recreational trail

connection across the Boardman River but it will also serve as an important bridge to the past. *Update: Will conduct project feasibility and study in 2016-17 with planned construction in 2017-18. No activity.*

General Fund

- **#760: Annual Crosswalk Maintenance** - This is a new annual program, providing funds to maintain or replace existing brick crosswalks; probably 3-4 crosswalks per year. Approximately 52 Crosswalks: 90% in need of replacement: Options: -1- Replace as existing, which is brick with concrete borders; -2- Replace with brick print thermol plastic pavement material, like demo crosswalk on Union Street @ 9th street; -3- Put back to asphalt and use paint for crosswalk markings. *Update: A pilot thermol plastic crosswalk has been installed on Beitner/Woodmere to see how it wears during a winter season. Material approved for purchase by City Commission in June, material has been ordered and will be installed this construction season.*
- **#14: Annual Streets Program** – Placeholder: Actual determined through budget process. This is an annual program that provides funds to resurface major and minor streets within the city limits. These funds are also to be used for bridge, sidewalk, and storm water system repair and new sidewalk infill projects.
 - 2013-14 Street Projects
 - Union and Sequoia Streets- *Spring construction, 90% complete.*
 - Santo, Santo Alley, Barlow, Birchwood/Kewaunee intersection and Lot V- *Project to go out for bid this month with planned construction fall 2014*
 - West Front Street Reconstruction (west city limits to Elmwood Ave)- *The MDOT contract will be awarded to Elmer's. Construction is scheduled for August and will be complete by the end of October.*
- **#320: Division Street** –\$500,000 Roads and Risk Reserve funds were allocated to MDOT in December 2013 for Planning and Environmental Linkages (PEL) process (part of the NEPA process) *Update: PEL project area includes Division Street from 14th Street to Grandview Parkway; 1.2 miles. The PEL process will engage the community and evaluate project alternatives for improvements that consider the environmental, community and economic goals. Project under discussion with MDOT, MDOT released an RFP, received proposals and is in the process of selecting a consultant for the work.*
- **#633: West Front Street (Elmwood to City Limits)** - Reconstruct West Front Street from City Limits to Elmwood Avenue using MDOT Small Urban Funds. Small Urban Funds \$375,000 for 2014. In kind is for engineering. General fund cost is for match and required consultants to administer funds. *Update: See Project #14 above.*
- **#365: Annual Sidewalk Replacement Program** – Placeholder: actual amount determined by Annual Street allocation. The Infrastructure Strategy Policy outlines 10% of total infrastructure spending is for sidewalk and bike-way improvements. The Replacement program replaces existing sidewalks. This program is in addition to sidewalks that are installed or replaced in conjunction with the annual Streets Program. The actual location of the sidewalks to be replaced under this program is determined during the fall prior to the construction year. *Update: Sidewalk replacement locations are on 9th between Lake and Union Streets and between Pine and Division Streets; and Maple between 10th and Griffin Streets. Gap infill locations are 1) Maple between Griffin and 14th Streets, 2) Fourteenth Street between Division and Maple on the north side and*

between Oak and Pine on the north side, 3) Bay Street between M72 and Ramsdell, 4) Division Street from Bay to north of Randolph Street, 5) Barlow Street between Carver and Boon, and 6) Eighth Street between Terrace and Cromwell. Construction planned 2014-15.

- **#864 Boardman Lake Avenue-** a new road between 8th Street and 14th Street that consists of four basic components: Railroad Wye Relocation, Street Right-of-way acquisition, Street Construction and the Boardman Lake Trail (detailed below). *Project discussions continue.*
- **#347 Boardman Lake Trail West extension-**Project scope includes the extension of the Boardman Lake non-motorized trail from approximately 10th Street to 14th Street (2,900 linear feet), a connection to the Old Towne Neighborhood, and the addition of a lakefront recreational area that will feature a fishing dock, kayak/canoe small watercraft launch, shelter, picnic areas and seating. A \$210,000 Natural Resources Trust Fund Grant was received in October 2012. *Project approved for consistency with Master Plan by the Planning Commission on 11/6/12. Plans approved by the State in March 2014. Plans approved by the State in March. Construction contract awarded in July, construction to begin in August.*
- **#628: Boardman Lake Trail: West: Transportation Alternate:** Alternate transportation trail along railroad corridor on west side of Boardman Lake; need to acquire MDOT property. Creates trail options. West side of Boardman Lake from 12th to 14th Streets. *Update: Project approved for consistency with Master Plan by the Planning Commission on 11/6/12. Property acquisition in negotiation with MDOT rail; See project #347 above.*

Fiber Fund

- **#834 WIFI** – Public wireless network in downtown to serve visitors and parking control. *Update: \$700,000 included in 2014-15 FY fiber fund budget. Final designs are complete, space/use agreements currently under negotiation. Wifi should be operation in the DDA district between August 31 and September 31. Final designs are complete and space/use arrangements are being negotiated at this time with no anticipated issues/problems to report.*

TIF 2

- **#61: Cass & Lake: Streetscape Improvements** – Approximately 810 feet of streetscape improvements on Cass and Lake Streets. Improvements include trees, curb & gutter, benches, trash cans and other improvements. SID; city match TIF2. *Update: Property owner participation lacking. No activity*
- **#58: Eighth Street Bridge Repair** – Replace bridge deck using MDOT Critical Bridge Funds for the 2013 fiscal year. Prevent further deterioration resulting in more costly repair/replacement and ultimately bridge failure. Receiving MDOT Critical Bridge Funds for FY2013 for \$750,000. *Update: Project approved for consistency with Master Plan by the Planning Commission on 3/4/14. Design and Development with 2014/15 construction.*

TIF 97

- **#714: 200 Block Alley Enhanced Improvements** – Pedestrian bridge, riverwalk and pedestrian improvements to north East Front alley between Cass and Park. *Update: No activity.*

- **#369: East Front Street - 300 block mid-block crosswalk** – Install mid-block crosswalk in 300 block of E. Front St. including bump-outs, a brick paver crosswalk and signage. Downtown's second largest employer sits across the street from the deck, where most of their employees park. This crosswalk will provide a safe crossing as well as calm traffic in this downtown block. *Update: No activity.*
- **#63: Garland St. Reconstruction/streetscapes** - Infrastructure improvement; realign street; improved access. Redirect Garland Street from Grandview Parkway to Union Street on the east end; provide a shared space street for pedestrians and motor vehicles. *Update: Fleis and Vandenbrink has been hired for design and engineering. Property/Right-of-way acquisition; 2014/15 planned construction.*
- **#586: Park St. Bridge Repair** – Rehabilitate bridge superstructure. *Update: Funding application not successful; Resubmit for 2017 funding cycle.*
- **#66: Pine Street Pedestrian Way** – Pedestrian walkway and bridge over the Boardman River connecting West Front Street with Grandview Parkway. *Update: Project approved for consistency with Master Plan by the Planning Commission on 3/4/14. Land acquisition; 2014 planned construction in coordination with TCLP and Uptown development.*
- **#646: Public Restrooms at Lot O** – Provide public restroom for shoppers and other visitors in Downtown; tentatively planned near Cass Street. *Update: Research phase.*
- **#645: West Front St. Redevelopment (BOND)** - Build an approximately 410 space parking deck to serve the west side of downtown. This project would organize parking currently housed in surface lots and would. Corner of West Front and Pine. *Update: Discussions with property owners.*
- **#535: West Front Street Bridge Replacement and Streetscape** - Prevent further deterioration resulting in more costly repair/replacement and ultimately bridge failure. Receiving MDOT Critical Bridge Funds for the FY2013. *Update: Project approved for consistency with Master Plan by the Planning Commission on 3/18/14. Design and Development with planned 2014/15 construction.*

Special Assessment Fund:

- **#717: East Front Streetscapes (Boardman to Grandview Parkway)** - New curbs, street trees, benches, bike racks and sidewalk along East Front between Boardman Avenue and Grandview Parkway. (FY2014-15). *Update: Seeking property owner support for SID.*