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2015 PLACEPLAN: WEST FRONT CORRIDOR ACTION PLAN

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TRAVERSE CITY

2015 PLACEPLAN: WEST FRONT CORRIDOR ACTION PLAN



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Draft Form-Based Code

Mlplace Partnership

PlacePlans is supported by Michigan State University and the Michigan State Housing Development Authority as a component of the Mlplace Partnership. The Mlplace Partnership is a statewide initiative with the purpose of keeping Michigan at the forefront of a national movement known as placemaking. It is based on the concept that people choose to live in places that offer the amenities, resources, social and professional networks, and opportunities to support thriving lifestyles. The partnership helps communities create and strengthen those places. Learn more at mplace.org.



EXECUTIVE SUMMARY

The Michigan Municipal League (League) presents this PlacePlan to Traverse City and its residents as a set of recommendations for prioritizing placemaking activities on the West Front Street corridor from Hall Street to Division Street. Our report, which uses as its foundation the 2013 Corridors Master Plan and is based on over a year of research, conversation with local stakeholders and hands-on experimentation, focuses on three specific pieces of an interlocking puzzle:

1. A community-supported design plan for reinvigorating the City-owned property on the north side of Front Street, just west of Oak Street (aka “City Lot”);
2. A development feasibility study of selected properties along Front Street to demonstrate the potential – and some of the

challenges associated with – infill development along the corridor; and

3. A draft form-based code, which is intended to replace the existing zoning ordinance for this corridor and transform the way development is regulated.

League and City staff jointly identified these three focal points as the most effective use of limited time and resources after careful deliberation. Each of the three was addressed by a different team of expert consultants, with League staff as the overall project manager. The consultant work is included in this document as three separate appendices. In addition to those appendices, the following sections summarize the project history, the connection to statewide initiatives and key short-term action items to move the entire initiative forward towards implementation.



WEST FRONT CORRIDOR ACTION PLAN

Traverse City's West Front Street district has already begun a positive transformation with the recent streetscape project. This, along with the planned rebuild of the West Front Street Bridge, lays the foundation for a corridor that is viewed differently by residents, visitors and business owners: an area that is not just for passing through on the way in and out of downtown, but is its own hub of business and social activity. Drivers slow down and notice their surroundings, while bikers, walkers and other active users are feeling more welcomed. Further positive change will require concerted partnership between the public and private sectors to fill in underutilized properties with more productive uses and embrace the potential of the Boardman River, Kids Creek and surrounding public spaces. Full realization of this community vision will likely take many years, but the League recommends the following actions in the short term to continue the positive momentum:

1. Revise and Adopt Form-Based Code

The consultant team developed a strong draft code, based on their experience in other Michigan cities and conversations with local leaders in Traverse City. It is important that the community build on this base and make it its own, because local buy-in is essential to support the transition to a different style of zoning and development regulation. In the short term, City staff are in the best positions to facilitate feedback from all key stakeholders both on the text and the images that will be used to guide future development. After achieving buy-in, the City's next steps would be to adopt the revised form-based code as an addition to its zoning ordinance and rezone the relevant properties. See the Nederveld/Williams & Works report in the appendix for further details on this approach.



2. Prioritize and Market Infill Development Opportunities

Peter Allen and Associates have identified redevelopment scenarios for several example properties along West Front Street (see their report in the appendix for further details), with an eye towards both the realities of the real estate market and what will garner public support under the proposed form-based zoning regulations. The district contains numerous other possible redevelopment sites, so we recommend that the City and property owners take some time to identify the highest priority sites and proactively market the community's vision for those sites to the private sector. Priority sites should be of strategic value in helping the community achieve its Corridors Master Plan vision, should be developable under current zoning height restrictions and should be controlled by supportive property owners.

After narrowing down a list of priority sites, City staff can work with property owners to develop site summaries and marketing packets. League staff can provide examples from other cities. The Michigan Economic Development Corporation's Redevelopment Ready Communities (RRC) program can also provide assistance with this process.

3. Identify a Realistic, Phased Approach for the Transformation of City Lot

Influence Design Forum successfully engaged the community to develop a creative and ambitious plan for improving City Lot. The entire project may not be achievable in one fell swoop, so careful consideration is needed to identify priority short- and long-term investments. In the short run, we recommend using "pop-up" or tactical placemaking approaches to test the viability of specific improvements. See the Influence Design Forum report in the appendix for specifics on these approaches. After testing and refining ideas, the community can evaluate which project goals can be achieved with low-cost solutions and which require major fundraising and/or capital investments. The latter should be evaluated for inclusion into the City's capital improvements plan, the downtown development plan and the funding strategies of regional philanthropies.

4. Apply City Lot Lessons to Public Participation in Other Projects

City staff and other residents expressed satisfaction with the creative engagement tactics Influence Design Forum and the City Lot steering committee used to solicit ideas on the project. The branding, marketing and engagement approaches can thus serve as a model for other high-priority public space and real estate redevelopment projects in the City. We recommend that the City develop a formal public participation policy for future project that not only meets, but exceeds, the criteria established the RRC program and utilizes creative approaches similar to those used in the City Lot process.



ABOUT PLACEPLANS

Traverse City is one of nineteen cities participating in the PlacePlans pilot program, which began in 2012 as a collaboration between the Michigan Municipal League (League) and Michigan State University (MSU), with funding support from the Michigan State Housing Development Authority (MSHDA). PlacePlans assists communities with their efforts to carefully invest in key locations that will drive additional economic development and help them attract and retain residents and businesses.



Successful placemaking is a dynamic, strategic approach to community and economic development based on an individual community's strengths. It is based on the concept that people choose to live in places that offer the amenities, resources, social and professional networks, and opportunities to support thriving lifestyles. PlacePlans is a collaborative effort to demonstrate some elements of this process, working through and supporting the leadership of local governments, nonprofit organizations, and businesses.

The PlacePlan process is customized to each project and community, but each involves selection of a priority site in the community, an intensive community engagement strategy and direct work with key community stakeholders. Products of the PlacePlan projects can include

conceptual designs, market studies, analysis of community assets and opportunities and better connections to state agency support tools. The goals are to positively impact each participating community's ability to leverage their place-based assets as economic drivers and to provide lessons large and small for other communities across Michigan. For more information about placemaking in Michigan and the PlacePlans program, visit placemaking.mml.org.

Connection to Statewide Initiatives

PlacePlans is supported by MSU and MSHDA as a component of the MIplace Partnership. The MIplace Partnership is a statewide initiative with the purpose of keeping Michigan at the forefront of a national placemaking movement. MIplace helps communities create and bolster placemaking efforts through education, technical assistance, and implementation tools. It is led at the state agency level by MSHDA, and coordinated through a public/private leadership collaborative known as the Sense of Place Council. Both MSU and the League are part of the Sense of Place Council.

In parallel to PlacePlans demonstration projects, the League has developed a policy agenda, called Partnership for Place, which proposes to change the way local and state governments invest in and support quality places. It is built on the idea of a partnership between the state of Michigan and its municipalities that will support sustainable economic growth and invest in key places. The agenda focuses on four fundamental areas of action:

- **Funding for the Future**

Making sure that appropriate funds and tools are available to operate efficiently and work regionally in order to succeed globally.

- **Michigan in Motion**

Shifting from near-exclusive vehicular-based investment to alternative modes of transportation that will accommodate all users.

- **Place for Talent**

Partnering with the State to attract and retain talented workers in our communities through placemaking policies.

- **Strength in Structure**

Seeking out solutions to invest in infrastructure and development where it will produce the best results and target resources with maximum outcomes.

You can find more information about the Partnership for Place at placemaking.mml.org



Project History

In 2014-2015, the League accepted applications to PlacePlans by invitation only. Traverse City was invited to apply due to its participation in the Redevelopment Ready Communities program and the MIplace training series led by MSU and the League. In November 2014, the City submitted a proposal requesting assistance in identifying and designing changes to City-owned property on the north side of West Front Street, west of Oak Street, in concert with planning bridge and streetscape improvements.

The League convened a review team consisting of MSU faculty and state agency staff to consider all project applications. The team was enthused about the connection of the proposed project to the City's Corridors Master Plan and the planned infrastructure changes on Front Street and about the opportunity to assist Traverse City in its development of additional hubs of activity near the core downtown. However, the review team desired a better connection between the proposed project and possible mixed-use development opportunities along the corridor, to complement and support the public space investments. The reviewers instructed League staff to develop a revised scope of work in concert with City staff.

In January 2015, League staff formally engaged the City in a series of discussions to create a more refined scope of work and memorandum of understanding. City staff identified an interest in market research and new zoning tools to support infill development that matches the existing density and character of the corridor. League and City staff jointly interviewed Michigan-based experts who could assist with development analysis and zoning changes. In March, the League and City finalized an agreement to focus on three consultant-led products:

1. A community-supported design plan for reinvigorating the City-owned property on the north side of Front Street, just west of Oak Street (aka "City Lot");
2. A development feasibility study of selected properties along Front Street to demonstrate the potential – and some of the challenges associated with – infill development along the corridor; and
3. A draft form-based code, which is intended to replace to existing zoning ordinance for this corridor and transform the way development is regulated.

The League then engaged in contracts with three consultant teams to execute this vision: Influence Design Forum to lead the steering committee, community engagement and City Lot design processes; Peter Allen and Associates to analyze feasible development options; and two firms, Williams & Works and Nederveld Associates, to develop a form-based code for the corridor. Each team's work product follows.



PANGEAS

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Duke Energy
www.dukeenergy.com

Informational notices posted on the wall to the right of the entrance, including a menu or flyer.



APPENDIX

APPENDIX A

City Lot PlacePlan



CITY LOT

Make Your Mark.

2015 PLACEPLAN • TRAVERSE CITY • MICHIGAN

CITY LOT

City Lot is a brand and identity that was developed to help shape a community engagement process for a public property located in Downtown Traverse City, Michigan. The expansive public property, located along West Front Street, covers almost 2 acres in area and includes a fire station, office building, parking lots, and a corner greenspace with a creek.

The project outcome will help determine the future level of vibrancy in the emerging West End district - it will provide insight and community vision.

The engagement process is just the onset of decision making needed to determine whether the City might sell the property to private developers, or transform it into a hub of public buildings and spaces. The process may determine whether a new fire station is constructed or a new cafe is built to meet friends, or an auditorium to attend an event, or a place to take children in the middle of winter to let them get some energy out!

You Decide.   

December 8, 2015 by Influence Design Forum LLC

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Published by IDF, USA, Traverse City
Distributed to Michigan Municipal League

Cover photo courtesy of Gary Howe Photography

Photographs courtesy of Influence Design Forum LLC and Gary Howe Photography

Designed by Nathan G. Elkins
Printed in the USA

Make Your Mark.





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- Pop-up Demonstration
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- Alternative 1 - Remodel It
- Alternative 2 - Civic Hub
- Alternative 3 - Private Development

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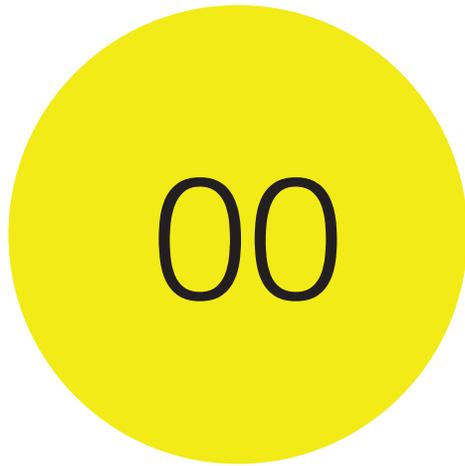
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- Long-Term Actions





ACKNOWLEDGEMENTS

acknowledgements

Michigan Municipal League

MIplace Partnership

City of Traverse City

City Lot Steering Committee

The Traverse City Community

Project Partners & Stakeholders

The Design Team would like to acknowledge everyone who participated in the City Lot Project for their support, assistance, and creative ideas.

Placemaking can only happen with the participation and engagement of the community and elected and appointed officials working together.

Michigan Municipal League

The Design Team would like to thank all of the staff from the Michigan Municipal League for their generous support, assistance, and oversight.



The project was a huge success and benefited from the exceptional grant management provided by the League. Special thanks to Luke Forrest, Program Director, for providing leadership, organization, and oversight.

Mlplace Partnership

PlacePlans is supported by Michigan State University and the Michigan State Housing Development Authority as a component of the Mlplace Partnership. The Mlplace Partnership is a statewide initiative with the purpose of keeping Michigan at the forefront of a national movement known as placemaking. It is based on the concept that people choose to live in places that offer the amenities, resources, social

and professional networks, and opportunities to support thriving lifestyles. The partnership helps communities create and bolster those places. Learn more at miplace.org



City of Traverse City

The Design Team would like to acknowledge the city of Traverse City's staff and elected and appointed officials for their support and time committed to the project. Special thanks to Russ Soyring, Director of Planning, for coordinating the local efforts.



City Lot Steering Committee

The Design Team would like to thank to City Lot Steering Committee for your time, creativity, and support. Without you the process would not have been possible. A special thanks to Ashlea Walter for your dedication and involvement to the project.

Thanks Mike at the Inside Gallery for hosting the Steering Committee Kick-off Meeting.

Thanks GT Pie for hosting a morning Steering Committee meeting and the free coffee!

The City Lot Steering Committee:

Brian Haas	Parks Commission
Brooke DiGiacomo	Parks Commission
Mike Busley	West Front Street Property Owner
Jake Kaberle	West Front Merchant - Employee
Nick Perez	At-Large City Resident
Ashlea Walter	Central Neighborhood
Jennifer Tank	Central Neighborhood
Kelsey Stephenson	Student
Don Bollard	NoFro Neighborhood
James Bruckbauer	Central Neighborhood
Leah Bagdon-McCallum	Traverse City DDA Board
Sarah Bageris	Central Grade School
Mike Boudjalis	West Front Street Property Owner
Linda Koebert	Planning Commission

The Traverse City Community

The Design Team would like to express gratitude to the residents of Traverse City, the business owners along West Front Street, and the community leaders who participated in meetings, left a comment on the public chalkboard, or a comment on the Your Voice on the website.

Thanks to Little Bohemia for catering the Community Picnic.

Thanks Pete at the Workshop Brewing Company for renting us cool space to have the Concept Release Party! And for finding a great band to play live music during the event.

Great job Plein Air Painters - thanks for demonstrating the excellence and creativity in outdoor painting.

Thanks Ashtanga North for holding a Yoga class on the property.

Thanks Youth NORTE for letting the Design Team participate in TC Rides and ride bicycles around Traverse City! Thank you for including the City Lot property on the ride.

Thanks Melissa from Blackbird Arts for the amazing community arts project at the Concept Release Party! The kids loved it (and the adults to).

Project Partners and Stakeholders

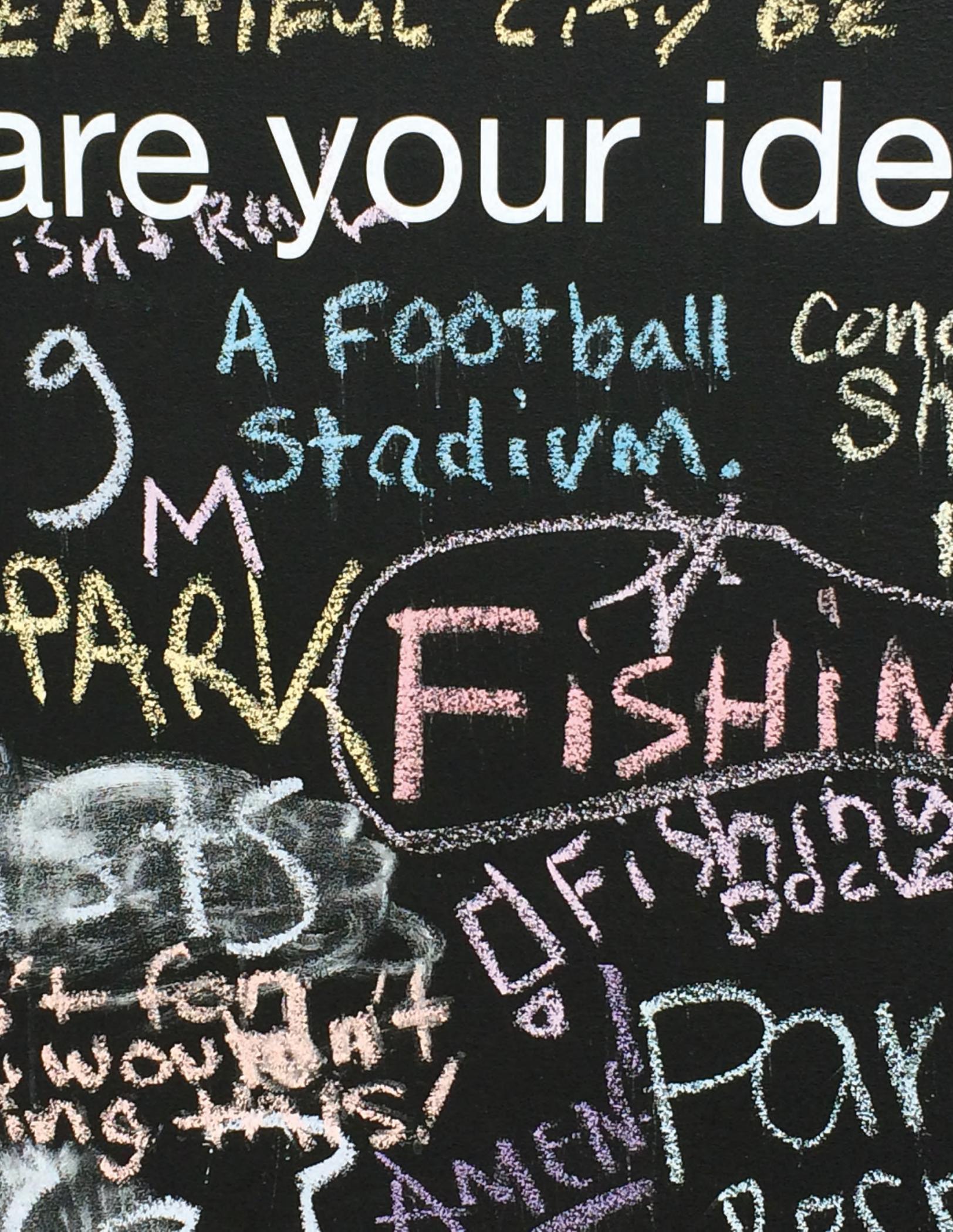
Thank you project partners and stakeholders for engaging and spending time conversing and sharing ideas.

Project Partners

- City of Traverses City
- Traverse City Parks Department
- Traverse City Fire Department
- Grand Traverse County
- Michigan Municipal League (MML)
- Michigan State Housing & Development Authority (MSHDA)

Stakeholders

- West Front Street property owners & merchants
- Watershed Center of Grand Traverse Bay
- Central Grade School/TCAPS
- Central Neighborhood Association
- Slabtown Neighborhood Association
- Downtown Development Authority
- Grand Traverse Conservation District
- Crooked Tree Art Center
- Denos Museum Center
- Michigan Legacy ArtPark



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A Football Centre
Stadium.

PARV FISHING

PLAY
SWOON

01

PREFACE

preface

Project Background

Report Contents

CITY LOT

The transformation of the city owned property into a viable mix of buildings and public spaces will support the vision and promising brand of the West End District. The connected greenspace and its location adjacent to the City's Fire Station 1, also located on the property, have contributed favorably to the community's ideas and inspiration.

The property's central location along the West End District will provide the existing businesses the opportunity to capitalize on attracting new customers who will be attracted to the new development, public space, and the redesigned streetscape will support multi-modal infrastructure and gain to change the persona that the district is a pass-through corridor, and future mixed-use infill development will bring more people and an overall revitalized district.

Project Background

Over the last decade Downtown Traverse City has seen a different intensification – a focus on expanded recreational opportunity in the Downtown. Streets are becoming public spaces and they are spilling into adjacent public spaces including pocket parks, public walkways, and larger parks along the waterfront - these public spaces are the foundation of our urban economies. Streets used to only serve as corridors to move cars, people, and goods and services. Today, people are moving back to the city and are demanding their streets serve not only as corridors, but also as parks, public spaces, and places to recreate.

Recognizing the demographic shift is the first step towards understanding the opportunities that are available as they relate to design of the urban landscape - agreeing on one thing that their downtown needs to provide amenities and things to do in the public spaces.

Communities that are dynamic and can react quickly to the quality of life needs of retiring empty nesters and millennials will attract more people to their downtowns, see greater economic development and reinvestment, and overall a more liveable community.

Traverse City has many opportunities to accomplish this - the public property at 500 West Front Street is one opportunity the City has to catalyze public investment along a undervalued corridor.

The "City Lot" property is owned by the City of Traverse City. It is located at 500 West Front Street between Little Bohemia Restaurant and Oak Street. The property includes the

existing fire station, an adjacent building that houses County offices that deliver public services, a parking area, an alley, open green space, and a portion of Kids Creek.

Traverse City's City Lot property is one of seven Michigan cities that received a PlacePlans grant from the Michigan Municipal League in 2015. The purpose of the grant is to provide technical assistance to communities that have economic development projects that can attract and retain residents and employers and help the community design and plan for the area in a way that supports a strong sense

" Traverse City's City Lot property is one of seven places in Michigan that received a PlacePlans grant from the Michigan Municipal League in 2015. "

of place. The PlacePlans are done with support from the Michigan State Housing Development Authority and Governor Snyder's MIplace Partnership. Originally, this grant focused on the future of the green space on the property,

yet it evolved to include the entire City-owned property in response to public input and in consideration of the relationship of the property to the character and economic vitality of the West Front Street District.

Report Contents

The following sections of this report provide detailed background on the planning process that was followed throughout the project.

From the beginning of the project and completion of a place analysis through the development of plans and design.

The report is meant to explore what the possibilities are for the public property on the 500 West Front Street, get people talking, and raise the conversation level. The report also provides an opportunity to begin a community conversation around what uses they would like to see in the future and begin to compare those uses against different programming ideas (activities, events, recreational uses, social gatherings) that may take place there. The report will also highlight different options for community engagement that were utilized including a new approach that slowed the front end of the project down to build project awareness, brand and identity.

6

STATION

STREETSIDE



Please Note: This is an advisory notice to inform and comment only. Comments are due by 11:59 PM on the date listed. Thank you for your comments, ideas, and input.

CITY LOT

what we've heard

Seating Seating Seating
Several people have mentioned the need for outdoor seating along West Front Street.

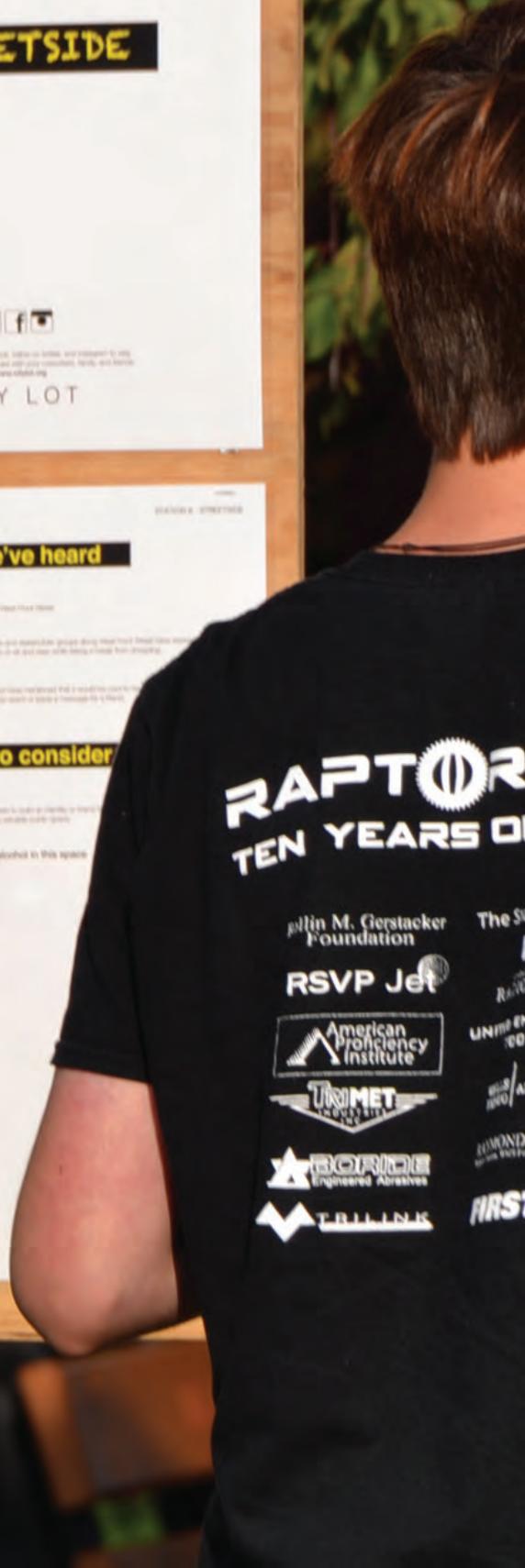
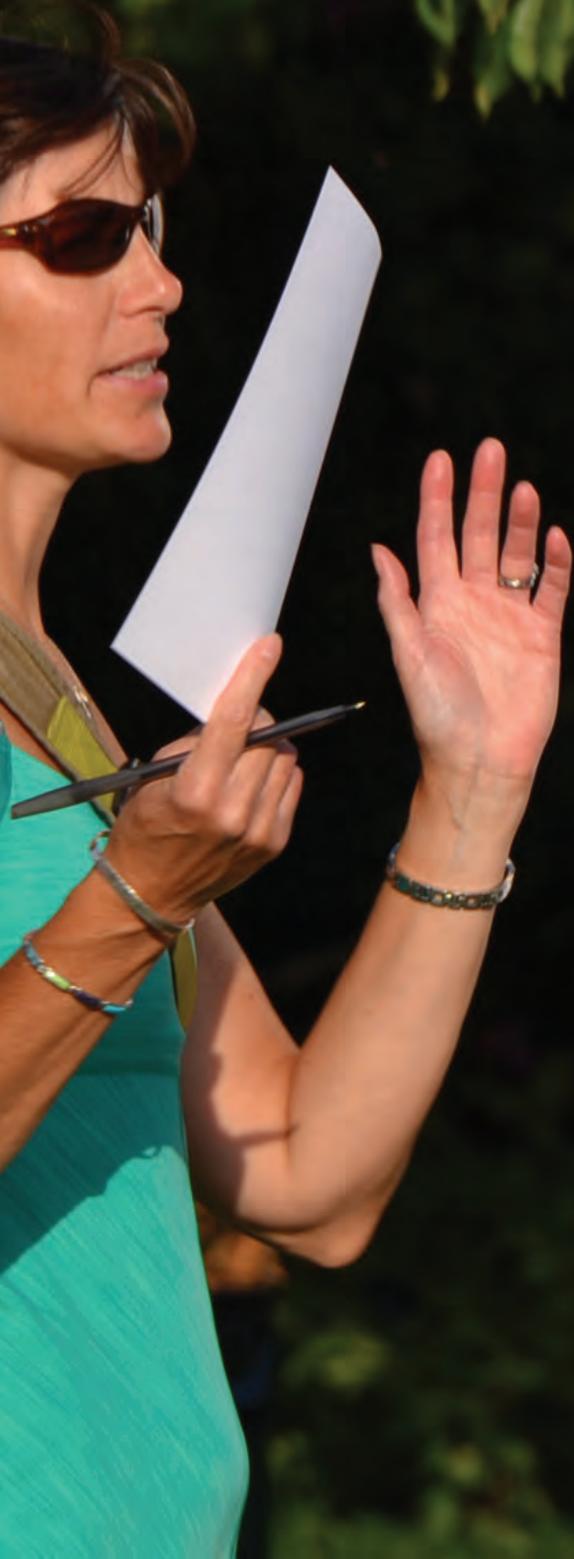
A place to eat, lunch or sit and relax
Comments along the Public Chalkboard suggest a need for outdoor seating and relaxation space along West Front Street. Some people have also mentioned the need for a place to sit and relax while waiting for a table.

Keep the Public Chalkboard
Several comments suggest people would like the public chalkboard that has been placed in this space to continue to have an outdoor area available to share a message by a resident.

things to consider

West Front Street wants to have an identity
Residents along West Front Street have mentioned the desire to create a identity or theme along the street that can support the vision of creating a vibrant public space.

The City has struggled with people abusing alcohol in this space.



RAPTOR
TEN YEARS OF

William M. Gerstacker Foundation

RSVP Jet

American Proficiency Institute

TRIMET

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WIS...

EDMOND...

FIRST...

02

WHY PLAN FOR PLACE

why plan for place

What is Placemaking

Applying Tactical Urbanism

CITY LOT

There are different definitions for “placemaking”, a few of those are shown below, but one thing holds true and that is placemaking is a community-driven planning process that looks at public spaces as opportunities to invest. This investment in key public spaces will drive additional economic development and help attract and retain residents and businesses.

The PlacePlans Grant Program, which began in 2012 as a collaboration between the Michigan Municipal League and Michigan State University with funding from the Michigan State Housing Development Authority, assists communities in Michigan with their efforts to carefully invest in public spaces. The PlacePlans process is customized to each project and community and focuses on an intensive community engagement strategy and direct work with key community stakeholders.

Why plan for place?

- People now choose to live in places that offer the amenities, resources, social and professional networks, and opportunities to support thriving life-styles.
- Tool to attract job-talent and businesses
- Economic development
- Community-driven design

Influence Design Forum definition

“Placemaking - It’s a no-brainer and every community can do it. It’s all about transforming underutilized public space into a community asset that supports what the community values and is a catalyst for attracting and retaining talent, building walkability into downtowns, providing a high quality of life and a great place for empty-nesters to live and recreate, and setting the stage for economic development and building great communities.”

What is Placemaking

Wikipedia definition

Placemaking is a multi-faceted approach to the planning, design and management of public spaces. Placemaking capitalizes on a local community’s assets, inspiration, and potential, with the intention of creating public spaces that promote people’s health, happiness, and well being.

Project for Public Spaces definition

As both an over-arching idea and a hands-on approach for improving a neighborhood, city, or region, Placemaking inspires people to collectively re-imagine and reinvent public spaces as the heart of every community. Strengthening the connection between people and the places they share, Placemaking refers to a collaborative process by which we can shape our public realm in order to maximize shared value. More than just promoting better urban design, Placemaking facilitates creative patterns of use, paying particular attention to the physical, cultural, and social identities that define a place and support its ongoing evolution. The “Economics of Place: The Art of Building Great Communities, 2014” definition:

“ Placemaking, in a nut shell, is about positioning the human experience in everyday life above all else. ”

Applying Tactical Urbanism

The Street Plans Collaborative defines Tactical Urbanism as an approach to urban change that features the following five characteristics:

- A deliberate, phased approach to instigating change;
- The offering of local solutions for local planning challenges;
- Short-term commitment and realistic expectations;

- Low-risks, with a possibly high reward; and
- The development of social capital between citizens and the building of organizational capacity between public-private institutions, non-profits, and their constituents.

The City Lot Design Team decided early on to apply Tactical Urbanism techniques to the project; specifically, how to approach community engagement. As mentioned earlier in the Preface, the approach was to slow the front end of the project down and provide an opportunity to build community

awareness for the project and build a strong brand and identity that would support the project now and into the future.

(Read more about the community engagement techniques used in Part 04.)

Check out below, definitions from a few City Lot Steering Committee Members of what placemaking means to them.

“
 Creating places that attract people to interact with the community. ”

“
 Intentionally creating public spaces and environment to suit the needs and desires of the community ”

“
 A place to build and maintain connectivity within a community.
 Key ideas: Multi-use, Diverse, Cross-generational, Eat, Rest, Play, Work, Purpose, Health-physical/mental ”

“
 My definition of Placemaking is the intentional creation of an inviting, healthy, locally-inspired, authentic space that promotes community and human interaction. ”

“
 Making spaces available/ accessible/interesting/ meaningful to as many people as possible for as many shared reasons as possible. ”

“
 Intentionally or unintentionally designing places that are attractive to people. ”



03

PLACE ANALYSIS

place analysis

Observations

- Image
- Existing Buildings and Structures
- Access and Circulation
- Current Programming
- Landscape Elements
- Management
- Security

Analysis Mapping

- Ownership
- Survey
- Property Zones
- Buildings
- Parking and Circulation
- Landscape

Photo looking east down West Front Street, c1946-52
Project location highlighted by a yellow boarder
Note: Rectangular shape on the western half of the property is a
outdoor community ice rink

Photo Courtesy: History Center of Traverse City

CITY LOT

To begin the project, the City Lot Design Team conducted an analysis of the property and its connections to the surrounding neighborhood. The Design Team used photography, interviews, and on-site observation to determine how the spaces around the property currently function. These observations were then used as context for developing and moderating the community engagement efforts.

A following topics were used by the Design Team when completing an analysis of the existing property: image, buildings and structures, access and circulation, current programming, landscape elements, management, and security.

Observations

IMAGE

The Design Team evaluated the property and buildings from the perspective of overall image. Below, are summaries from the perceived image of the community and also from the Design Team.

Many stakeholders and community members expressed concern for the overall image of the property as it relates specifically to the unknowns - not knowing if the greenspace on the corner is open for public use, not knowing if the parking lot can be used to park in while you grab a sandwich across the street. Other concerns related to the poor image rating included past use patterns including problems with alcohol abuse and the homeless and too much parking and asphalt along the main street.

The community did express many positive comments directed at the greenspace on the corner, Kid's Creek, and the unique landscape surrounding the creeks banks.

The Design Team agreed that the greenspace and creek on the corner of West Front and Oak Streets was unique and a special place to have in a downtown urban environment.

The Design Team's overall image evaluation is complex and starts with the Fire Department and Station 1 which is located on the property. Past political pressures and political action towards the Fire Department has created some anxiety in the community which has negatively affected the image of Fire Department and subsequently the entire property.

The properties buildings and structures date back to the mid 1970s and have been reprogrammed several times from a combined police and fire station to present day fire station with an attached office building. The office building currently is leased to Grand Traverse County. The lease was negotiated several years ago and the current terms are an equal trade for office space - the City is granted space in a Grand Traverse County Sheriffs office building on Woodmere Avenue in exchange for the office building at 500 West Front Street.

Overall, the Design Team felt that image of the public property was poor, not because of deteriorating buildings and unkept grounds, but instead because of the unwelcoming atmosphere that has been created by past uses, political pressures and unwanted activities that have occurred on the property.

EXISTING BUILDING & STRUCTURES

The review of the existing buildings was limited to only conversations with fire department staff and city staff. Currently, the buildings are in working order and it is the Design Teams understanding that they are in compliance with current building codes.

It was expressed by the fire department staff that they are being as creative as possible to maximize all possible square footage and have run into a few challenges as it relates to office space and keeping up with modern requirements related to maintaining a fire station. They also mentioned a lot has changed since September 11th attacks on the Twin Towers in New York City and today's new fire stations being constructed provide for an updated building program to meet those requirements.

Through conversations with city and county staff the Design Team learned of a lot division that was proposed in 2004. The city and county had proposed to separate the property into two parcels, with the proposed boundary split running north and south through the existing building. The lot division was stopped when the city and county learned they would be required to bring the building into compliance and construct a firewall inside the existing buildings to separate the new ownerships.

Overall, the Design Team felt the existing buildings are lacking in several areas as it relates to the following:

- Architectural curb appeal
- Adequate space for the fire station
- Poor location on the property
- Current leased offices / services in the building do not maximize the potential value of the property

ACCESS AND CIRCULATION

Access and circulation relates to pedestrian, bicycles, vehicular, and transit and how they interact with the property. Public properties most often require additional planning and design when it comes to providing access.

The property at 500 West Front Street is unique in that it has an active fire station which requires additional requirements for emergency access that include maneuvering zones and training areas.

After a review of the property the Design Team determined that several limiting factors were contributing to poor access and circulation. Those factors include:

- Parking lots on three of the four sides of the building

- Additional clear zones required for fire truck maneuvering
- Dead end alley
- Lack of sidewalk connection between W. Front Street and Alley behind
- No bicycle storage
- No transit stop
- Limited access to greenspace and creek

CURRENT PROGRAMMING

Current programming at the property is limited to fire station operations and activities related to the leased office spaces. The fire department holds an annual community open house in October to bring awareness to National Fire Prevention Week.

The greenspace and creek on the corner which is often confusing to residents whether it is open to the public is not officially a park, but the city has placed one bench and litter receptacle at this location. No other programmed activities occur on the property.

LANDSCAPE ELEMENTS

The landscape on the property is unique to a downtown urban area and the native shrub and tree buffer surrounding the creek should be considered for resource and habitat protection to protect water quality. Native Black Willow trees, Northern White Cedar along with other smaller native shrubs, grasses, and sedges have made there home along the banks of the creek.

A small to medium sized lawn area buffers the greenspace and spills down from a slightly higher elevation along West Front Street down to a lower flat area along the top of the creek's banks.

The remaining property is covered with buildings, concrete, and asphalt with some small areas of grass and landscape plantings. The amount of impervious surface and stormwater runoff on the property may be contributing to non-point pollution in the creek and connecting watershed; however, management of the stormwater may be more the problem than the amount of impervious surfaces.

GRAND TRAVERSE COUNTY

520 W. FRONT





TRAVERSE CITY
FIRE STATION NO. 1

NO
PARKING
BETWEEN
SIGNS

NO
PARKING

MANAGEMENT

Management of the property is the responsibility of the city; however, after conversations with Grand Traverse County and the Traverse City Fire Department they have overtime provided more management, specifically tenant improvements and general maintenance.

According to the Traverse City Parks Department they been doing sporadic maintenance on the site over the years, but are not the primary custodian; the lack of community ownership and political will has prevented the corner greenspace and creek from becoming an official park.

The property is not reference in the current city parks and recreation plan. If any portion of the property were to become an official city park it would be required to be legally separated from the remaining property. The parks department expressed that the current parks plan calls for adding parks where there are not existing parks; this may fit into that goal.

SECURITY

The fire department by default provides added security to the property as it relates to crime and managing the homeless people who regularly use the property; however, the "sense of security" is still low among the community. A low or poor sense of security is most likely caused by the existing landscape surrounding the creek - steep banks and heavy vegetation provide potential hiding places and past occurrences of alcohol abuse and the homeless have given the property, specifically the greenspace on the corner a bad reputation.

Analysis Mapping

Simple diagrammatic analysis mapping was prepared to show how the property and spaces are currently being used, locations of existing buildings and structures, access and circulation, and landscape elements.

Please refer to the following pages.







CITY LOT

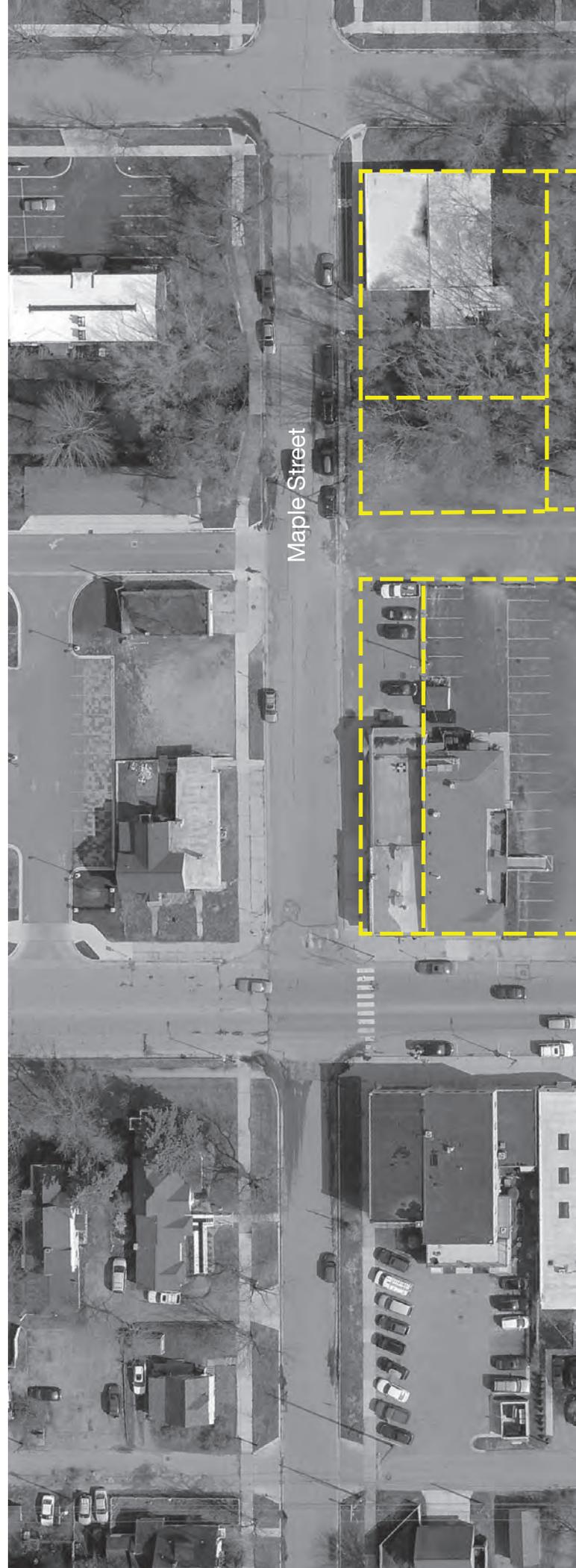
PROPERTY OWNERSHIP MAP

28-51-654-043-00

City of Traverse City

28-51-654-036-00

City of Traverse City



Third Street

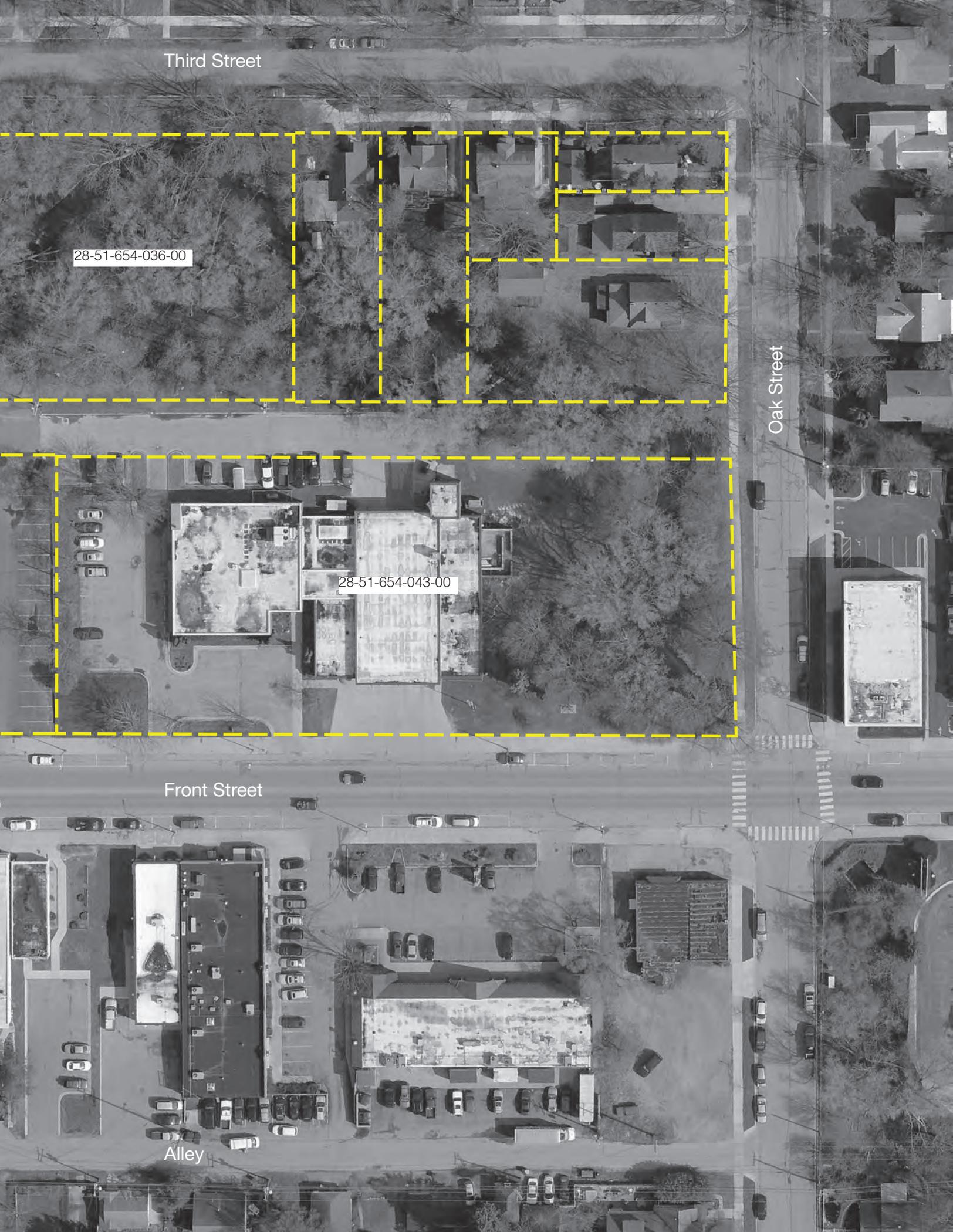
28-51-654-036-00

Oak Street

28-51-654-043-00

Front Street

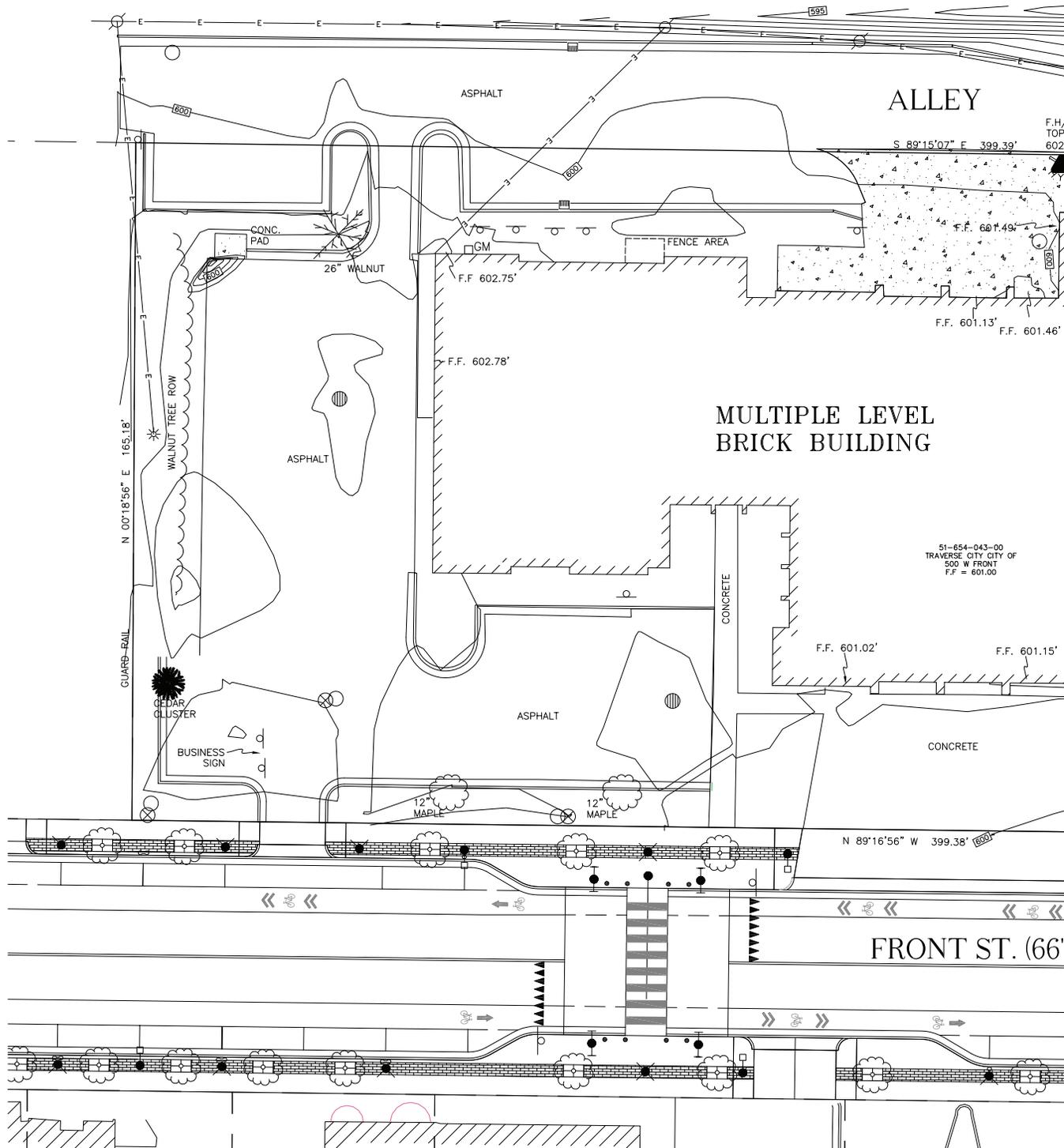
Alley



CITY LOT

TOPOGRAPHIC SURVEY

A topographic and boundary survey was completed at the beginning of the project.



CITY LOT

PROPERTY ZONES ANALYSIS MAP

The existing property functions as six unique spaces. Each of these spaces have overlapping and shared uses that include pedestrian and vehicular access, buildings, emergency vehicle clear zones, among others.

The alley is not part of the legal boundary of the property, but because it is a dead-end alley it functions as if it were a space in the property. The alley right-of-way continues east from the dead-end over the creek to Oak Street.

- 1 **Fire Station 1**
- 2 **Office Building and Parking Lot**
- 3 **Alley**
- 4 **Greenspace**
- 5 **Kid's Creek**
- 6 **Streetside**



Third Street

DEAD END ALLEY

Public Right-of-Way continues to Oak Street

Oak Street

3

2

1

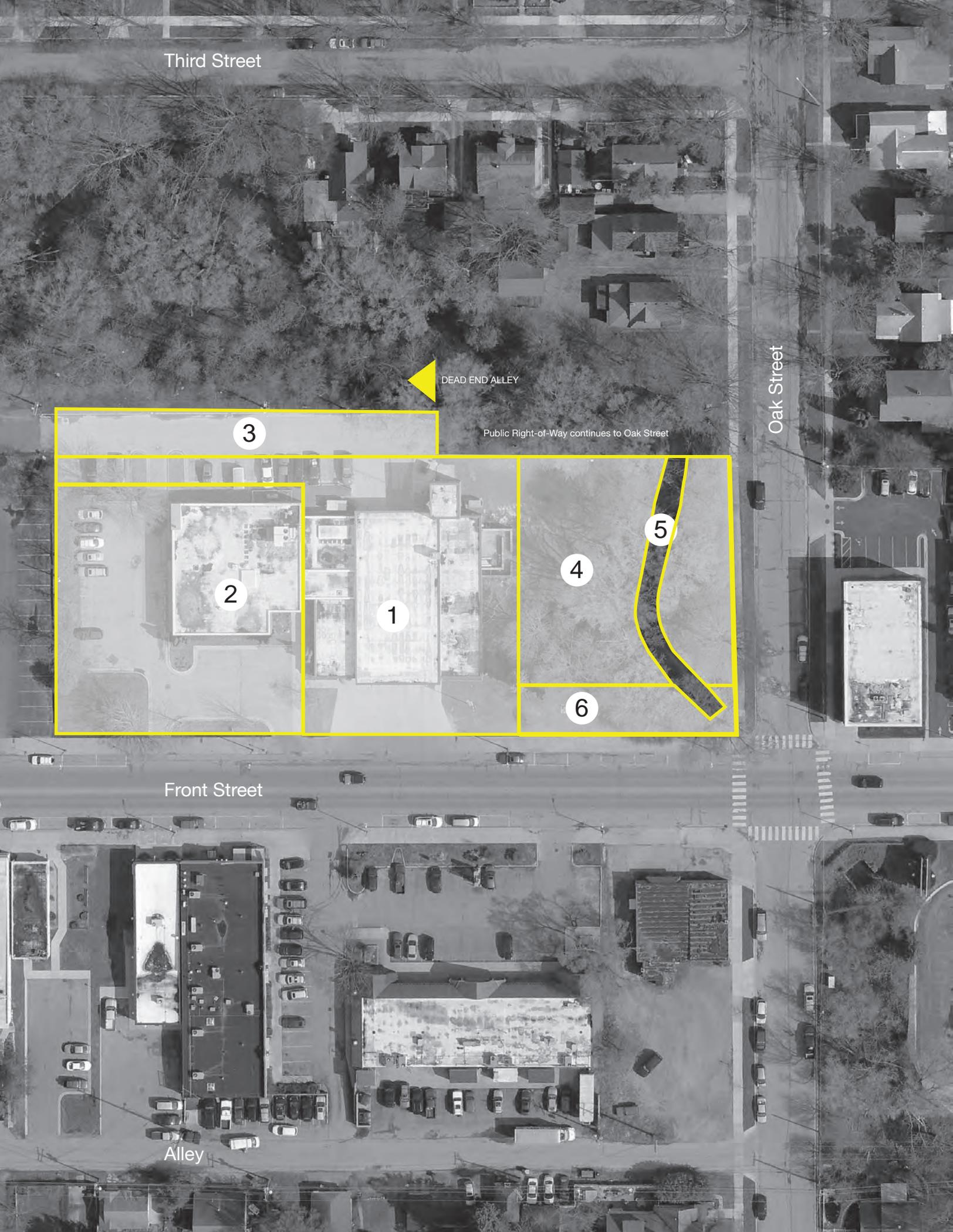
4

5

6

Front Street

Alley



CITY LOT

BUILDING ANALYSIS MAP

The existing building was constructed in the 1970s. The current use of the building as a fire station and leased offices provides challenges due to the building being originally designed for the city as a single owner. The building now functions as two separate buildings that are connected - common hallways have been closed off, but all utility infrastructure still functions as one building.

The current zoning for the property is "Government / Public District" with 25 foot minimum building setbacks and 25 foot minimum parking setbacks. Building heights can go as high as 60 feet.

 Access Door



Third Street

Oak Street



Front Street

Alley

CITY LOT

PARKING & CIRCULATION ANALYSIS MAP

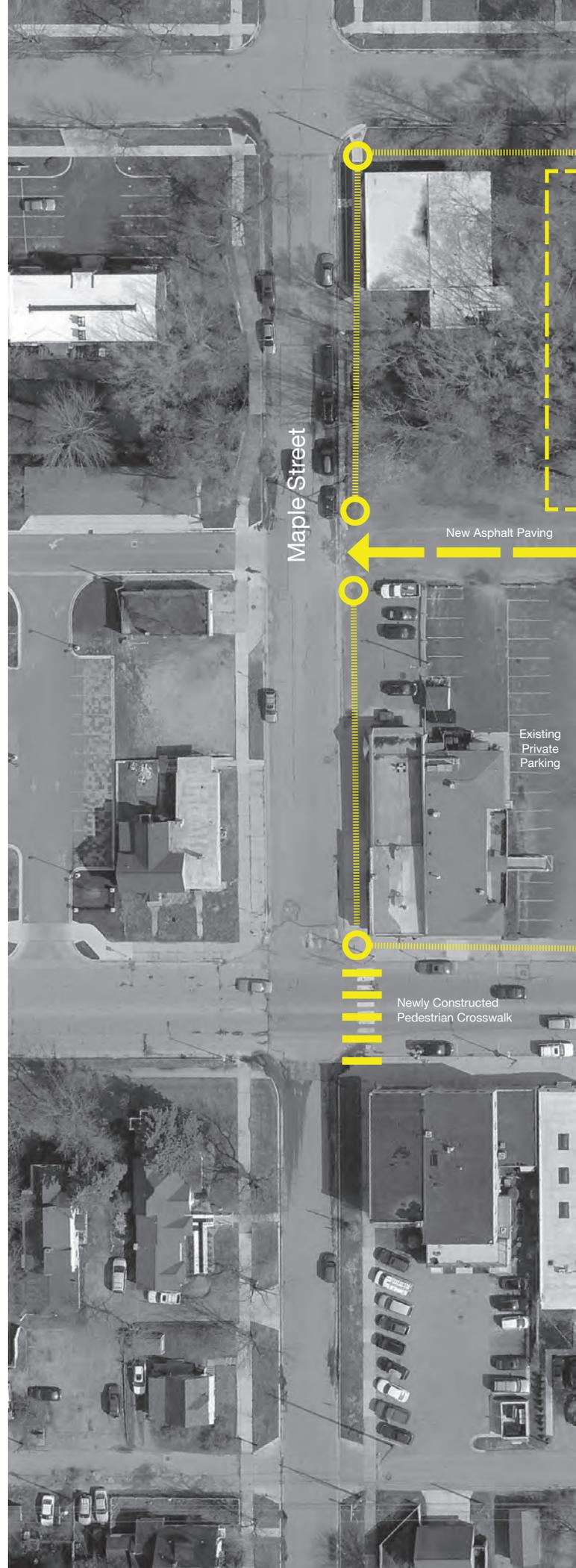
The existing property and building is overcrowded by parking - most likely the effect of 25 foot building and parking setbacks which encouraged the structures to be designed set-back from the public right-of-way.

Vehicular circulation and pedestrian circulation are both limited on the property. The dead-end alley limits vehicle access to off-street parking and constrains delivery and other maintenance trucks including garbage pickup due to the inability to maneuver and turn around. The recent elimination of a curb-cut and newly reconstructed driveway off of West Front Street aligned the driveway with the existing parking lot and improved circulation and access.

Access management along West Front Street would be greatly improved if the remaining driveway opening was closed and the parking lot along the street removed - collaborating with the adjacent property to the west to develop one shared parking lot should also be considered.

Pedestrian access to the property is limited to one sidewalk coming off of the public right-of-way. The greenspace on the corner of Oak and Front has no sidewalks and is not accessible.

No transit stops or bicycle storage exist along the property.



Third Street

Opportunity for new pedestrian connection to Third Street through existing public property

DEAD END ALLEY

Oak Street

Parking (11 Spaces)

Parking (18 Spaces)

Parking (6 Spaces)

Greenspace

Driveway Removed

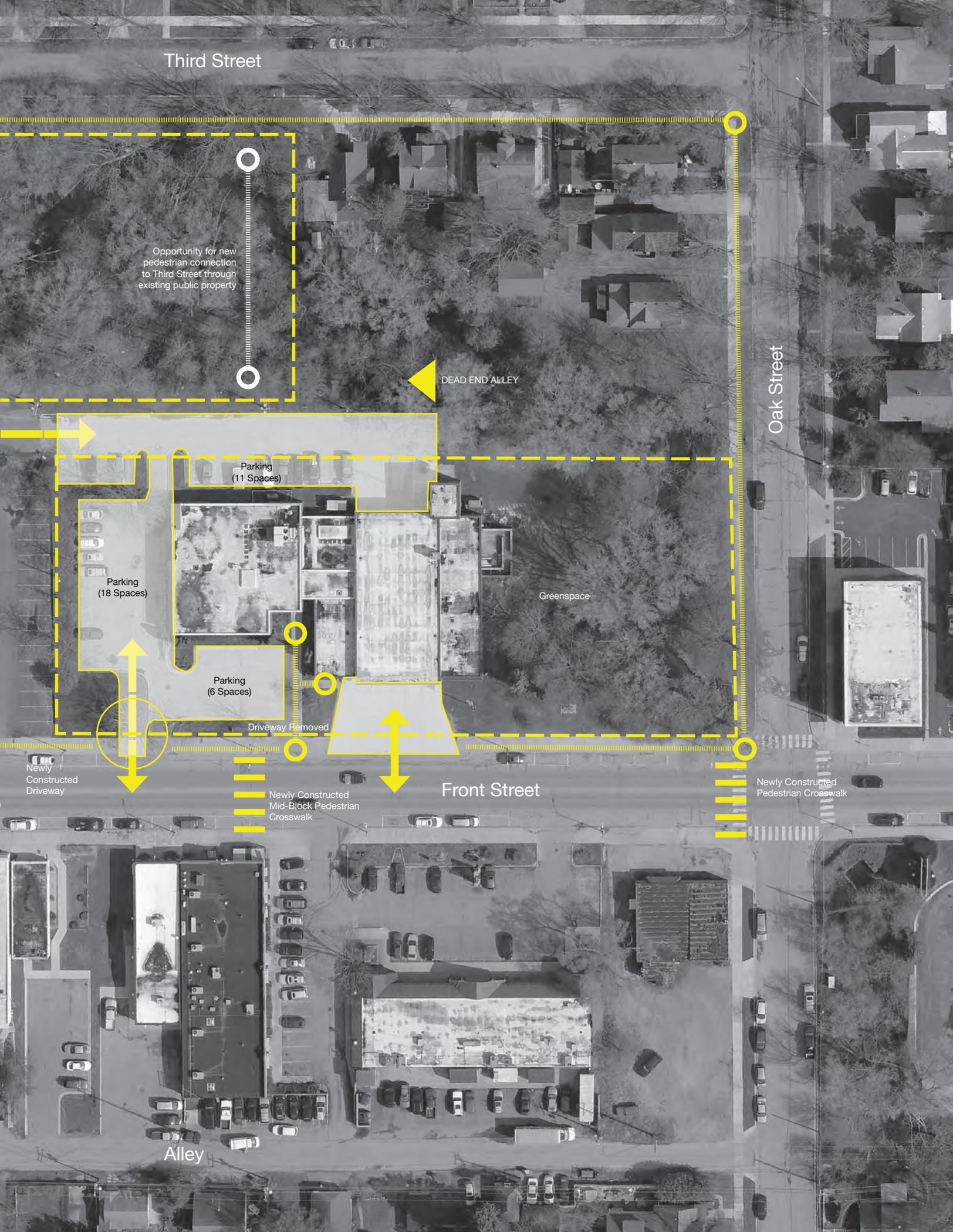
Front Street

Newly Constructed Driveway

Newly Constructed Mid-Block Pedestrian Crosswalk

Newly Constructed Pedestrian Crosswalk

Alley



CITY LOT

LANDSCAPE ANALYSIS MAP

The existing landscape on the property is unique in character, specifically the greenspace and creek corridor along the eastern edge of the property. Kid's Creek is an important tributary to the Boardman River Watershed and overall Grand Traverse Bay Watershed.

Steep slopes along the creek corridor make it difficult for pedestrian access; moreover, vegetation and trees have been allowed to develop.



Third Street

Wooded

Wooded

Wooded

Kid's Creek

Wooded

Wooded

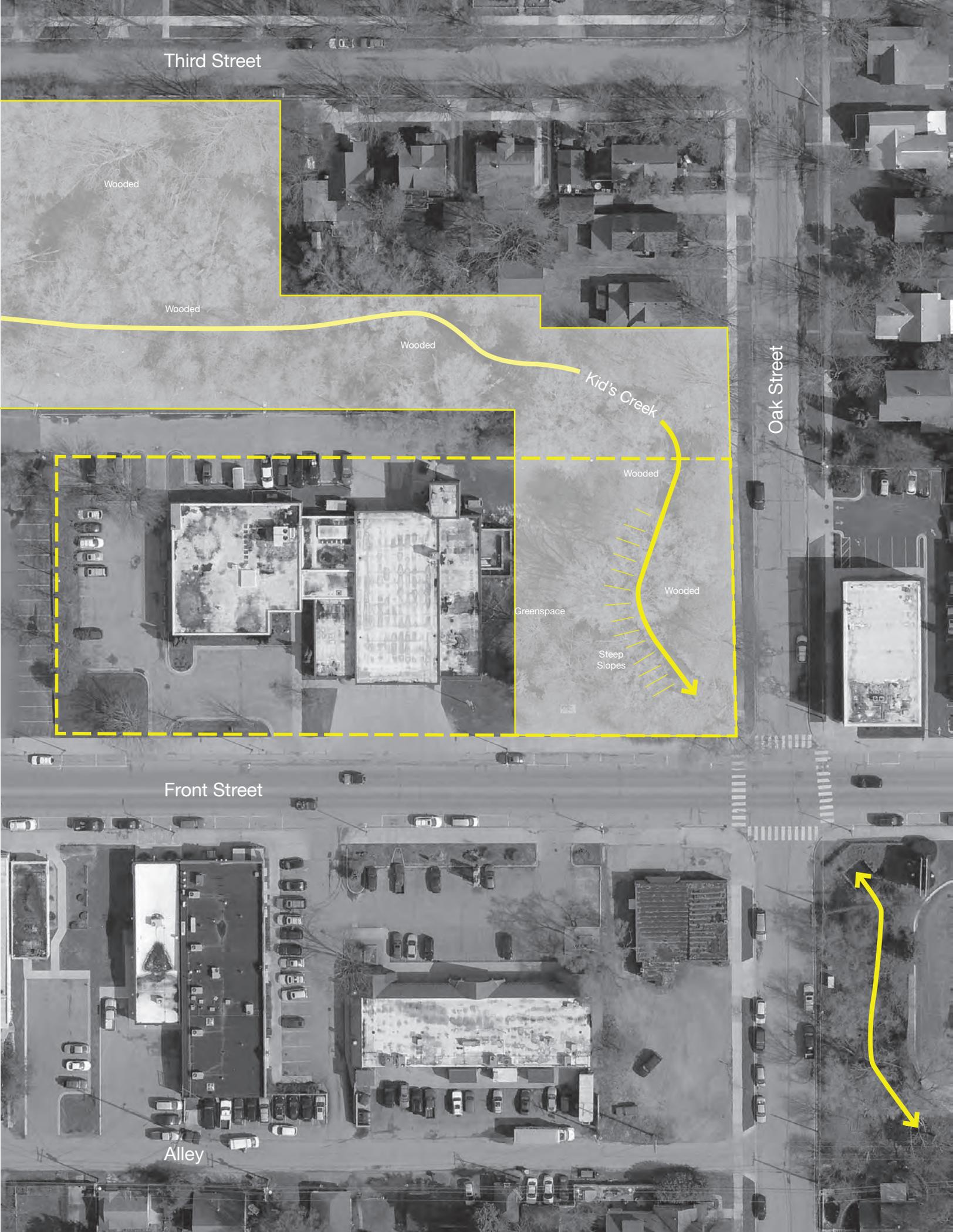
Greenspace

Steep Slopes

Oak Street

Front Street

Alley



ENT

ALT 3



MAPS SERVICE

PROJET
DE DEVELOPPEMENT



04

COMMUNITY ENGAGEMENT

community engagement

Everyone Involved

Steering Committee

Passive Public Input

Pop-up Demonstration

Project Partner Interaction and Feedback

Stakeholder Input

Children and Teenager Input

Open House 1 - Community Picnic

Open House 2 - Concept Release Party

Placemaking is about collective vision - a hands on approach to community engagement. The City Lot project was built around community-based participation at its center.

The Goal

Discover the community's inspiration and potential to plan for a public space that will contribute to people's quality of life, well being, attract and retain talented young professionals, entrepreneurs, business owners, and improve economic investment in the West Front Street neighborhood.

Everyone Involved

The City Lot Steering Committee worked closely with the Design Team and the Michigan Municipal League to extend invitations to local partners, stakeholders, and the public.

Leaders from the City of Traverse City, the City Fire Department, the West Front business community, nearby neighborhood associations, schools, natural resource protection organizations, community health and wellness groups, and arts and culture organizations were all invited.

The following project partners and stakeholders were identified and were asked to participate in listening session meetings with the Design Team. Listening sessions lasted between 45-60 minutes. Ideas collected were used to help to inform conceptual design planning and considerations for the property's alternatives for future use. The Design Team encouraged the stakeholders to be candid, direct and creative about the ideas, challenges, opportunities and recommendations they had. The Design Team wanted to know how their organizations, constituents and others in the community have been using this the property and what they would like to see happen with it in the future.

Questions included: What do you like and appreciate most about how it is currently being used? What would you like to see changed? What do you hope stays the same? How do you think this property should be used in the future?

Project Partners

Role: Have made a financial commitment, or physical ownership, and/ or have invested something in the property

- City of Traverses City
- Traverse City Parks Department
- Traverse City Fire Department
- Grand Traverse County
- Michigan Municipal League (MML)
- Michigan State Housing & Development Authority (MSHDA)

Stakeholders

Role: Inform, share ideas and perspectives

- West Front Street property owners & merchants
- Watershed Center of Grand Traverse Bay
- Central Grade School/TCAPS
- Central Neighborhood Association
- Slabtown Neighborhood Association
- Downtown Development Authority
- Grand Traverse Conservation District
- Crooked Tree Art Center
- Denos Museum Center
- Michigan Legacy ArtPark

Steering Committee

Steering Committee members were selected by the City Planning Department, the Design Team, and by recommendations from the community. While all of the Steering Committee members listed below were invited to participate in monthly meetings and volunteer to support the project not everyone was able to attend meetings and actively engage.

Brian Haas	Parks Commission
Brooke DiGiacomo	Parks Commission
Mike Busley	West Front Street Property Owner
Jake Kaberle	West Front Merchant - Employee
Nick Perez	At-Large City Resident
Ashlea Walter	Central Neighborhood
Jennifer Tank	Central Neighborhood
Kelsey Stephenson	Student
Don Bollard	NoFro Neighborhood
James Bruckbauer	Central Neighborhood
Leah Bagdon-McCallum	Traverse City DDA Board
Sarah Bageris	Central Grade School
Mike Boudjalis	West Front Street Property Owner
Linda Koebert	Planning Commission

Passive Public Input

pas-sive

adjective

1. accepting or allowing what happens or what others do, without active response or resistance.

synonyms: submissive, acquiescent, unresisting, unassertive, compliant, pliant, obedient, docile, tractable, malleable, pliable

Different ways of seeking public input or engaging people can sometimes be referred to as passive public input; moreover, the Design Team specifically chose to emphasize and accept the “passiveness” of community engagement for the City Lot project. The Design Team wanted the community’s ideas to organically develop slowly for the first 8 weeks of the the project - the benefits included allowing the Design Team to begin to make connections between the analysis and observations gathered for the property, what the project partners and stakeholders were saying, and most importantly the design inspiration that was coming from the community.

The Passive Input Phase of the project included engaging the community through the use of a public chalkboard to write ideas on, the citylot.org website’s Your Voice page, facebook project page, along with other social media sites Twitter and Instagram. The Design Team and Steering Committee members also organized planned events at the property including yoga in the corner greenspace, a planned stop along NORTE youth cycling organization weekly bicycle ride, an outdoor classroom for a local elementary school, and as a studio for local artists using a portion of the property to paint in.

The Passive Input Phase of the public engagement process made this project what it is - taking the project more slowly at the beginning and allowing ideas to marinate and begin to connect themselves.

Discover the community’s inspiration and potential to plan for a public space that will contribute to people’s quality of life, well being, attract and retain talented young professionals, entrepreneurs, business owners, and improve economic investment in the West Front Street neighborhood.

Pop-up Demonstration

Placemaking + Tactical Urbanism = Tactical Placemaking

Tactical Urbanism

An umbrella term used to describe a collection of low-cost, temporary changes to the built environment, usually in cities, intended to improve local neighborhoods and city gathering places.

Tactical Urbanism is also commonly referred to as guerilla urbanism, pop-up urbanism, city repair, or D.I.Y. urbanism.

The Design Team introduced the concept to the Steering Committee early on in the project as a hands-on approach to community engagement.

The Design Team randomly selected different ideas from the public chalkboard, website, and social media and then “acted them out” on the property using different materials to demonstrate how the spaces could be used.

The pop-up demonstration was held in conjunction with the first public open house - a community picnic. Ideas expressed on-site ranged from community gardens, natural playscapes for children to a new community center. Raised wood planters were constructed and filled with plantings donated from a local landscape nursery, permeable pavers were arranged on the ground in the alley to demonstrate how green infrastructure could be implemented to improve storm-water runoff into the creek, and tree stumps were strategically placed to allow children a place to play while enjoying live music with their family. A basketball court was created in a parking lot to represent activities that could take place inside a new community center and cafe tables were placed along the street to provide an outdoor seating plaza.

Project Partner Interaction & Feedback

The project partners for the City Lot project were engaged at different times throughout the project. The Parks and Recreation Department and Traverse City Fire Department were engaged early on. The fire department was again invited to a meeting with city staff to review the concept alternatives. Grand Traverse County staff did not participate in any community engagement activities or meetings, but instead provided a letter from the county planning director.

Traverse City Parks and Recreation

Below, are some of the comments that have been paraphrased from a September 1st, 2015 interview with the City's Parks Director Lauren Vaughn.

What is your general impression of the property?

“The parks department has been doing sporadic maintenance on the site for years, but is not primary custodian; not a strong sense of ownership as a park property or public space. The parcel is not referenced in the current parks and recreation plan. The current plan calls for adding parks where there are not existing parks; this park may fit into that goal. Currently there are no additional resources for the site's development or improvement.”

From your lens, what are the key assets or strengths of the property?

“Neat the way it is, its nice to have a natural space in an area of town where there is not a lot of green space.”

What would you like to see protected, maintained, or pre-served?

“I appreciate the management of the property by the fire department. We need to reinforce the “no alcohol” policy for the property. The new street lighting might help with safety and encouraging “no place to hide”.”

What would you change about the way that the property is currently used or designed? What are your ideas for future uses?

“I would like to see new steps leading to creek, replace the existing retaining walls, a picnic area, places to sit – benches overlooking creek. If western side of parcel had space for an ice rink, we could incorporate. We could explore alignment between code enforcement and fire department in terms of building uses and office space.”





2024 PHLA
177

GRAND TRAVERSE COUNTY
FRONT





OUTDOOR SEATING



CITY LOT

CITY LOT



ADVENTURE PLAYGROUND



CITY LOT

How would you like to be involved in the property/project in the future?

"I will assume whatever role is determined, see what others want the parks department to do with the site if necessary."

How can we stay in touch with you?

"Please keep the Parks Department in the loop throughout the project - get in touch as conceptual plans are created."

Traverse City Fire Department

The Design Team held a meeting early on with the fire department - Fire Station 01 is currently located on the property. The meeting was held on Thursday, August 13, 2015 with the Fire Chief Jim Tuller and Captain Mike Sheets.

Below, are general comments and input received from the interview.

The fire chief and Captain Sheets expressed concern about not being included in the conversation of whether Fire Station 01 would remain at this location or be relocated. They also mentioned they were not included in the grant submittal to the Michigan Municipal League which provided the planning dollars to complete the City Lot project.

In 2003 Mike Sheets and the Grand Traverse County Construction Code official evaluated separating the existing building into two separate buildings.

The greenspace on the corner is used for training and overflow storage of vehicles and trailers. For as long as Captain Sheets can remember, the fire department has maintained the property.

Training on-site occurs during employee shifts - examples of training exercises include hazmat and ladder training. All training is completed outside in the summer and indoor during the winter months. The nearest fire training center is over 10 miles away and according to Captain Sheets is really a training center for teaching volunteer firefighters, not full-time firemen working in an urban setting.

Current challenges the station is facing include high costs to update the building and maintain state and federal guidelines, maintenance costs, limited parking, and space for

training.

Overview of Meeting Outcomes and Next Steps:

- There was agreement that good partnerships are based on open communication and trust.
- There was agreement that the Fire Department would be invited to the table for any future meetings or discussions among City Lot team members regarding the potential future of the fire station.
- There was agreement that any "good news or bad news" would be shared directly and openly with partners.
- The fire department looks forward to being a project partner.

"The fire station and outdoor greenspace and creek area is really like our house and outside is our backyard," explains Chief Tuller.

Traverse City Staff

The Design Team held a meeting on October 29, 2015 together with the Traverse City manager Marty Colburn, City Planner Russ Soyering, and City Engineer Tim Lodge to review planning and design progress.

The Design Team presented design progress for the three conceptual plans that were being developed - plan view drawings were shared along with preliminary renderings of each concept.

No comments or reactions were shared for Alternative 1. Alternative 2 centered around more questions than comments. City staff expressed interest in learning more about how much buildable space was available on the property and what the fire department thought of improved training facilities on the property including a training tower.

Alternative 3 and the idea to sell off a portion of the property to private development in the form of 1-3 lots also raised questions that included:

- What will be the maximum building height for the private parcels?
- The form-based code consultants have pointed to 2-4 stories. Do 2 story buildings support the economics of development based on current property values and development costs?
- Current zoning on the property allows for 60' buildings.
- Could a second story be added to the existing fire station?

The Design Team provided an overview of the City Lot Work Plan and timeline of events to the City Manager Marty Colburn. The overview outlined why the grant submittal, which originated during design development for W. Front Street redesign, changed from looking at the corner greenspace to include the entire city property at 500 W. Front Street.

Reasons included:

- The City owns 70% of the block
- A goal of the City is to build vibrancy in the newly emerging District.
- City planning is simultaneously working on form-based code in this area.
- These are conceptual outcomes that will be born from ideas and inspiration from the community.
- Taking a broader look at city assets to start a conversation about future investments. This is a public space that at least a portion will remain a public asset and will be used to service public needs.

City staff expressed that long-range plans for the fire station have not changed - the plan calls for two stations. The city currently does not have any capital project planned for either fire station other than general maintenance and upkeep. It was also mentioned that the city does not have a facilities manager; currently facilities management is done by the city engineer, department of public services, and the fire department. The City Engineer, Tim Lodge, expressed that the City may "need to look at a longer-term strategy and comprehensive plan for all public buildings and facilities".

The Design Team opened discussion with staff related to building and property ownership and the current lease

agreement in place with Grand Traverse County for office space. City staff expressed that there is incomplete documentation due to staff turnover and previous negotiations between city and county administrators. City Manager Colburn said the lack of understanding regarding the office building ownership at 500 West Front Street is an issue he will likely discuss with incoming Grand Traverse County Administrator Tom Menzel.

General comments from City Planner, Russ Soyring:

- Wants to show conceptual drawings at Tuesday November 3rd staff meeting.
- Potential cap on land that could be occupied by parking? (Want to limit "overbuilding" parking areas.)
- Also review landscaping requirements – decorate our parking lots and also improve tree canopy

General comments from City Engineer, Tim Lodge:

- Add floodplain to conceptual map
- Add area where lamprey barrier will go in Kids Creek – 45 degrees from the tower (per USACE) – Also potential source of funding for implementation from USFW
- Connect it to Front Street topography
- Open to previous pavement, but education and our capacity to manage (vacuum out every year, etc.) is limited. We do not have enough money or staff time to do this.

Traverse City Fire Department & City Staff

The fire department was re-engaged at a meeting on November, 4 2015 together with the Traverse City manager Marty Colburn and City Planner Russ Soyring to review the three conceptual plans.

Chief Tuller expressed that he sees the benefit of public engagement related to property's use and connection with fire department. When he was asked if he thought Fire Station 01 and fire stations in general should open their doors more to the community he mentioned they need to balance that "openness" with getting work done and also addressing safety considerations, protecting staff and facility from harm or theft. He shared that in bigger cities, less engagement is happening with the community and surrounding neighborhoods, due to the amount of calls and "run" volume.

(Please refer to Section 5 - Plans and Design for a complete description of the concept alternatives)

Response to Alternative 2 | Civic Hub

Represents highest investment of land's use and estimated time and capital expenditures of three options. The fire chief shared interest in the design concept for fire training tower and learning more - everyone agreed that more research and discussion would be needed.

The fire chief asked about the proposed new fire station in Alternative 2 and whether it would provide more square footage and was enthusiastic to learn that additional space would be available for both offices and truck bays. The fire chief even responded that it would not be "unrealistic to include helicopter pad."

Response to Alternative 3 | Economic Investment

The fire chief expressed concern about losing parking spaces for staff with this design option. City Planner, Russ Soyring offered to explore alternatives which maintain adequate parking for all uses which could include other parking options for private developments (underground parking, etc.). Russ Soyring liked the idea of a multi-story fire building, just from an efficiency of downtown space use. The fire chief followed up with "It would really increase our available space. It would be good to have equipment on first floor, offices on second floor."

The fire chief has no concerns with more public being drawn into the area and property - it was expressed that they would need to balance security with interaction.

There was also discussion about connecting police and fire departments. Chief Tuller reported that city police and fire departments work very well together - staff feel connected, even off duty. It was asked if there was a potential to reconnect departments on the property. The Design Team responded that it could be explored, but would need to understand the history of what prompted the departure of police department from property.

The City Manager Marty Colburn expressed that he sees the City Lot planning process as a partnership and sees the need for inclusive, participative engagement.

Grand Traverse County

Grand Traverse County staff did not participate in any community engagement activities or meetings, but instead provided a letter from the County Planning Director, John Sych.

Mr. Sych provided the following information.

"Earlier this year, the County went through a process to evaluate the option of moving COA and MSUE to the Governmental Center. It also including looking at the construction of a new building at the County's Lafranier Road campus. The long range capital improvement of the plan is to locate operations at either the Boardman Campus or the Lafranier Campus. The Board of Commissioners determined that neither the move to the Gov Center or the new building were viable options and that COA and MSUE will be at the West Front Street location for the foreseeable future. The City owns the building but the County maintains it and has put a considerable amount of dollars into the building over the last several years. The building has many complications including an HVAC system that is tied to both the office side and the fire station side. Also, there is no fire wall between the offices and fire station so it would be expensive to divide the building.

"When the County moved to the West Front Street location, City Police moved to the County's Law Enforcement Center on Woodmere. The original arrangement was that property ownership was to transfer and the West Front Street location was to become County property. The default agreement is that the County stays at the West Front location and pays no rent while the City stays at the Law Enforcement Center and pays no rent. So in essence, if the County were to move out of the West Front location, the City would have to start paying for its Police Department location at the Law Enforcement Center.

"Ultimately, the building, with its multiple levels, make it undesirable and inadequate for any office operations, including COA and MSUE. The building is crowded and most every space is used.

However, the County at this time does not have a viable alternative to the location and expects to maintain the location for now."

Mr. Sych expressed the county would be interested in continuing the conversation as the City Lot project moves along and after it is complete.

Stakeholder Input

The Design Team held meetings with stakeholders on September 1st, 2015. Stakeholders were invited to participate in combined like groups - Natural Resources, Art and Culture, and Neighborhoods.

The following notes reflect the ideas and outcomes that were shared by stakeholders who participated in listening sessions that were designed to solicit feedback regarding future potential uses for the City Lot property. Parcel and aerial maps were shared for reference along with background information about the project. Each group of participants was asked the same questions:

- From your lens, what are the key assets or strengths of the property?
- What would you like to see protected, maintained, or preserved?
- What would you change about the way that the property is currently used or designed? What are your ideas for future uses?
- How would you like to be involved in the property/project in the future?
- How can we stay in touch with you?

Natural Resources Meeting

Participants included representatives from The Watershed Center Grand Traverse Bay and the Grand Traverse Conservation District.

From your lens, what are the key assets or strengths of the property?

- One of the only greenspaces within the City.
- The contouring and landform along the creek is nice.
- When you go down the slope of the green space, you have no idea how close you are to West Front Street.
- Greenspace provides resources protection.
- It's greatest value is that it is there for us to protect.

What would you like to see protected, maintained, or preserved?

- Leave the creek area alone
- Needs some habitat improvement

What would you change about the way that the property is currently used or designed? What are your ideas for future uses?

- Invite people to play and discover this place, but be careful about what you build and what you attract. Create space for discovery such as jumping from rock-to-rock. Keep things natural. No treated timbers.
- This is not a high quality fishing spot – not enough density or opportunity.
- Bridging might be possible over to Oak, but this area does flood, so you would have to stay really high over the water. It would be expensive.
- The snow piles that the City is leaving in the alley are creating and contributing to sedimentation in the creek; there is an opportunity to address this and restore the area.
- Needs a berm on northwest side of property and prevent erosion and gulying.
- Be conscious of the myrtle – it is stabilizing the slope, but it is also invasive.
- You could expand the office area to accommodate more uses, including for the fire station – maybe an all-season training area for the fire station.
- No preference regarding future use of buildings, but if buildings are improved or constructed, would like to see green infrastructure and/or green roofs used, as well as some signage that could help to educate the public about the impacts and benefits.
- Would like to see pervious pavement used if alley is reconstructed. Potential opportunity to work with the Michigan Department of Environmental Quality on this.

How would you like to be involved in the property/project in the future?

- The Watershed Center has a group of volunteers who are actively monitoring this section of creek through their Adopt-A-Stream program; there is an opportunity to expand this program and for more volunteers to get involved in monitoring.

How can we stay in touch with you?

- Get in touch when conceptual plans are developed and will assess potential future involvement based on concepts presented
- Could have Conservation District inventory the site's natural features

Arts and Culture Meeting

Participants included representatives from the Crooked Tree Arts Center, the Michigan Legacy Art Park, and the Dennos Museum.

From your lens, what are the key assets or strengths of the property?

- Natural area.
- No parking for natural area.
- Contemplative space; it feels like a sanctuary.

What would you like to see protected, maintained, or preserved?

- Green space within the City will become more rare over time. Leave this as an urban oasis and contemplative space.
- Maintain the creek as a natural area.

What would you change about the way that the property is currently used or designed? What are your ideas for future uses?

Ideas for green space:

- Chess tables.
- Permanent chalkboard.
- Host "graffiti art classes" and teach kids how to stencil.
- Space for temporary art installations.
- Nice space for local business owners and employees along Front Street to have lunch.
- West Front Street is "sunbaked." Need more greenery up by the street and to create a buffer from the street.
- Make it more pedestrian friendly.
- The property feels "deep and dark" and like it may not be safe.
- Be careful about what you do; don't create a space that becomes a teenage party place.
- Not a good space for large number of people to gather for events.
- Could include public art in this space.

- Could host Plein Aire events/demonstrations.
- Opportunity to host small acoustic music gatherings in this space; could partner with adjacent restaurants to do it.
- Could display the fire station's historic pumper truck with some interpretive storytelling.
- Could host small and meaningful events, like an annual memorial candle lighting (e.g. Sept 11th), pumpkin lighting, or peace ceremony in this space; event could create ownership of place.
- Could be a mobile book site or "little library" site.
- Could "leverage" the creek by hosting art classes for kids that encourage creation of naturally-inspired whimsical creatures and/or explore a "dark fairytale" theme and connect with a reading list; could use found objects from site; these pieces could be sculptural and longer-lasting.
- Also nice to "leave it alone" as there are not many natural spaces like this in the downtown area.

If new buildings are constructed on the Lot:

- Would like to see some indoor space for kids, such as a climbing structure.
- Potential branch library location.
- Green roofs on building.
- More City offices move to this location.
- Space for teens/young adults.
- If buildings are to be razed, could do what they did in the Five Points in the Bronx and allow and encourage creative graffiti art in short-term.

How would you like to be involved in the property/project in the future?

- Once you decide what to build or maintain, then pursue potentially incorporating art
- Both Crooked Tree and Michigan Legacy Art Park offered to provide connections to artists

How can we stay in touch with you?

- Get in touch after conceptual designs are created

Neighborhood Association Presidents Meeting

Representatives from Central Neighborhood and Slabtown Neighborhood participated. General comments that relate to future use and design.

From your lens, what are the key assets or strengths of the property?

- Its history – there used to be an ice rink on the property.
- The character of the green space
- The fire department

What would you like to see protected, maintained, or preserved?

- Keep things small.
- Maintain connection to fire department – thank them for maintaining the property.
- Keep the fire department located on the property
- Leave the natural area the way it is.

What would you change about the way that the property is currently used or designed? What are your ideas for future uses?

- Keep the fire department on the property.
- Ask the fire department about their expansion needs.
- Would like to have the fire department not parking on green space/park area; “curb fire station sprawl” on site
- More trees on tree lawn.
- Clean up the site, but keep it informal, maintain a light touch.
- Minimize people down in the ravine.
- Name the park after the first responders.
- Create a lookout over the creek; viewing area on Oak Street sidewalk to look down on creek.
- Could develop/redevelop half of the parcel; leave space in front of buildings to maintain openness and green space near sidewalk.
- Concerned development would necessitate ADA improvements which would “overdevelop” the site and cause it to lose it’s character.
- “There should be more green space and setbacks in front of buildings” (comparison was made between Hotel Indigo and Candle Shoppe).
- Concerned that Traverse City is “turning into urban Grand Rapids” and losing its “green and natural downtown”.
- “There should be free parking” in this area.
- Could have small scale acoustic music events, or poetry readings, or Beach Bard-styled family-friendly events in park area.
- If a transition to a more native landscape, or a stream bank restoration is planned, want to see the plan for how

the process will proceed and management throughout the process to keep it looking nice, or at least communicate and intervene throughout the process to help ensure the desired final state is reached according to a schedule.

- Plan improvements around a long service life, to ensure improvements don’t become substandard prematurely, leaving the space looking derelict.
- Keep cost of maintenance in mind when planning any improvements, ensure City commitment to maintaining any changes.

How would you like to be involved in the property/project in the future?

- Keep informed; share conceptual plans.
- How can we stay in touch with you?
- Keep informed; share conceptual plans.

Children and Teenager Input

An important component of Placemaking and community engagement is ensuring that public input is rooted in the community and all ages are encouraged to participate. The Design Team and Steering Committee chose to engage children and teenagers using several different methods.

The first opportunity for children and teens to participate was part of Norte Youth Cycling’s weekly TC Rides Event where over 50 people met at a city park - families and children ages 1-15 and toured Traverse City neighborhoods and streets with a planned stop at the City Lot property where cyclists were asked to walk the property and make comments on the public chalkboard.

The second opportunity that engaged the youth was at the first open house and community picnic. They were provided with “kid-friendly” comment cards for the self-guided walking tour and had the opportunity to engage in demonstration activities including live music and natural play elements.

Children and teens were again engaged at the final open house held at a local craft brewery. The Design Team reached out to local arts organization, Blackbird Arts, to participate in a hands-on activity.





Open House I - Community Picnic

On September 16, 2015 from 5:00 – 8:00 p.m., the public was invited to attend a family-friendly Community Picnic at 500 West Front Street (City Lot property) to share ideas about the future use and design of the property.

The Community Picnic event featured an “open house” format. Six stations were set up to share information about specific areas of the property. Small temporary signs summarized the site’s history and condition and shared ideas from the community about future potential uses that were offered to the Design Team by project stakeholders in focus-group styled meetings, and by the public via comments shared on the City Lot project website and on the Chalkboard that had been installed on the property.

(Please refer to the following 4 pages that includes the Tour Map from the Community Picnic and information that was included on the self-guided tour stations.)

Some of the on-site stations included “pop-up demonstration” concepts and temporary furniture installations including:

- Natural playscape composed of tree stumps, located in the green space near Kids Creek.
- Basketball half-court in the parking lot in front of the office building.
- Raised garden beds in the parking area.
- Café-styled tables and chairs along the sidewalk area on Front Street.
- Temporary outdoor entertainment and performance space, positioned near the east side of the fire station.

Community members had an opportunity to explore the property at their own pace and share ideas about the concepts and future design of the property via Comment Cards that were offered at the registration table.

This free event will also featured food provided by an adjacent business, Little Bohemia. Acoustic music was provided that also helped to create a picnic atmosphere while featuring the temporary performance area.

Approximately 65 people participated in this event. Although demographic data were not gathered, observation and

informal questions posed to participants illustrated that there were neighbors, people of all ages, families with children, and County employees who work in the office building on the site present at the event. Two people mentioned to a Design Team member that they lived in the low-income (subsidized) apartments located a few blocks down the street. It appeared that many of the people who attended the event walked or rode their bikes to the property.

After the event, the Design Team reviewed the Comment Cards. Comments received helped to inform the creation of the three alternative design concepts.



4
STATION

GRACE

COMMENT CARD

ALCY

STATION



What do you think about the proposed changes to the park? Please write your comments on this card and place it in the box below.

NAME: _____

ADDRESS: _____

PHONE: _____

EMAIL: _____

DATE: _____

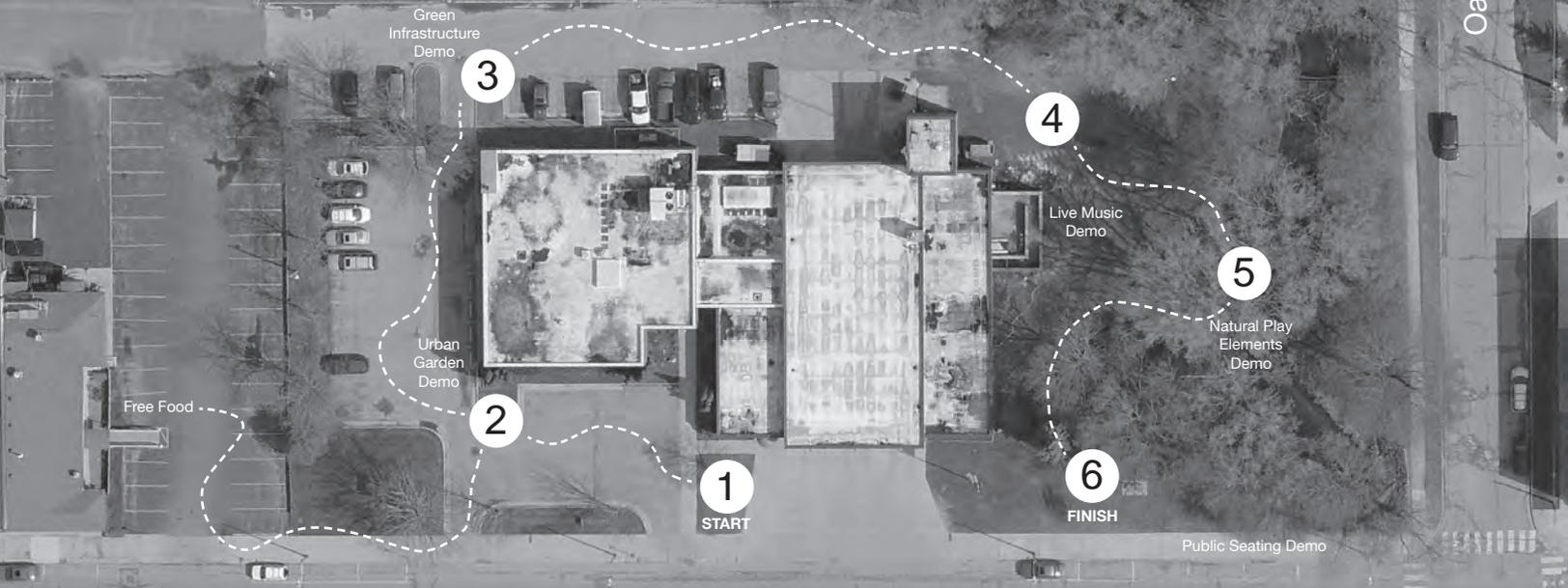
...to the park, but some use it to relax. The park is a great place to spend time with family and friends. We would like to see more picnic tables, temporary art installations, "pop-up" neighborhood music concerts, family-friendly storytelling sessions or poetry readings, natural playcape elements, and foot bridge connection over the creek to Oak Street.

Third Street

SELF-GUIDED TOUR MAP LEGEND

- 1 Fire Station 1
- 2 Office Building and Parking Lot
- 3 Alley
- 4 Greenspace
- 5 Kid's Creek Streetside
- 6 Streetside

Oak Street



Front Street

Alley

1

FIRE STATION

what we've heard

Is Fire Station-1 being relocated or torn down?

At this time there are no proposed plans to relocate or tear down the fire station.

Some have suggested ideas that could support and build a stronger relationship between firefighters and Traverse City families and community.

Ideas have included community gardens, shared basketball courts, annual events and programming on the property.

things to consider

Fire Station-01 was built in 1975.

Times change and the current building does not adequately support operations at the station.

The fire fighters don't have access to the office building next door.

The office building attached to the fire station is leased to Grand Traverse County's Commission on Aging and MSU Extension.

The fire fighters use the adjacent greenspace and alley behind the building for training exercises.

2

OFFICE BUILDING & PARKING LOT

what we've heard

Public officials once considered splitting the property into two separate parcels

The property was proposed to be split, separating the existing fire station and office building into two stand alone parcels.

Some City residents have asked whether the Office Building could become a community center.

Splitting the property into separate parcels has been discussed more recently as part of the West Front Street Reconstruction Project and City Lot Project. Splitting the property would allow the City to sell a portion of the property to private development or redevelop it as a community center or indoor gymnasium.

What about gardens or possibly an urban farm?

Several comments from the Public Chalkboard pointed to the possibility of creating public gardens or an urban farm adjacent to the fire station.

things to consider

Who owns these buildings?

The City owns the property and the buildings. They were built in the 1970s. Space is leased to Grand Traverse County.

Is the office building connected to the fire station?

The fire station building and the office building were originally one connected space. However, doorways connecting the two structures have been boarded up and closed off. The space that the County leases and the fire station function as two independent spaces with separate entrances and uses.

The building is not currently leased at full capacity.

Some offices have been moved to other County office buildings. Currently, Michigan State University Extension and The Commission on Aging are both housed in the office building. Their customers use the parking lot area.

County Planning has discussed consolidating offices .

The County Planning Department has discussed short and long-term plans for office consolidation and discussion has occurred on whether it would make sense to move the Commission on Aging offices and the MSU Extension to County offices on La Frainier or Boardman Ave.

3

ALLEY

what we've heard

Who uses the alley?

Customers who frequent the businesses along this portion of West Front Street use the alley to access parking areas.

The fire department currently uses portions of the alley area to maneuver and store its equipment, to conduct training exercises, and for overflow staff parking during peak seasons, such as during festivals.

What's up with the big snow pile that's usually at the northwest corner of the alley during the winter?

The City and adjacent businesses use this area to pile snow that has been plowed and removed from areas in the neighborhood.

things to consider

Water quality professionals have indicated that the snow piles are a source of sedimentation that can hurt the water quality of Kids Creek. These professionals have offered ideas for consideration that will keep sediment from flowing into the creek.

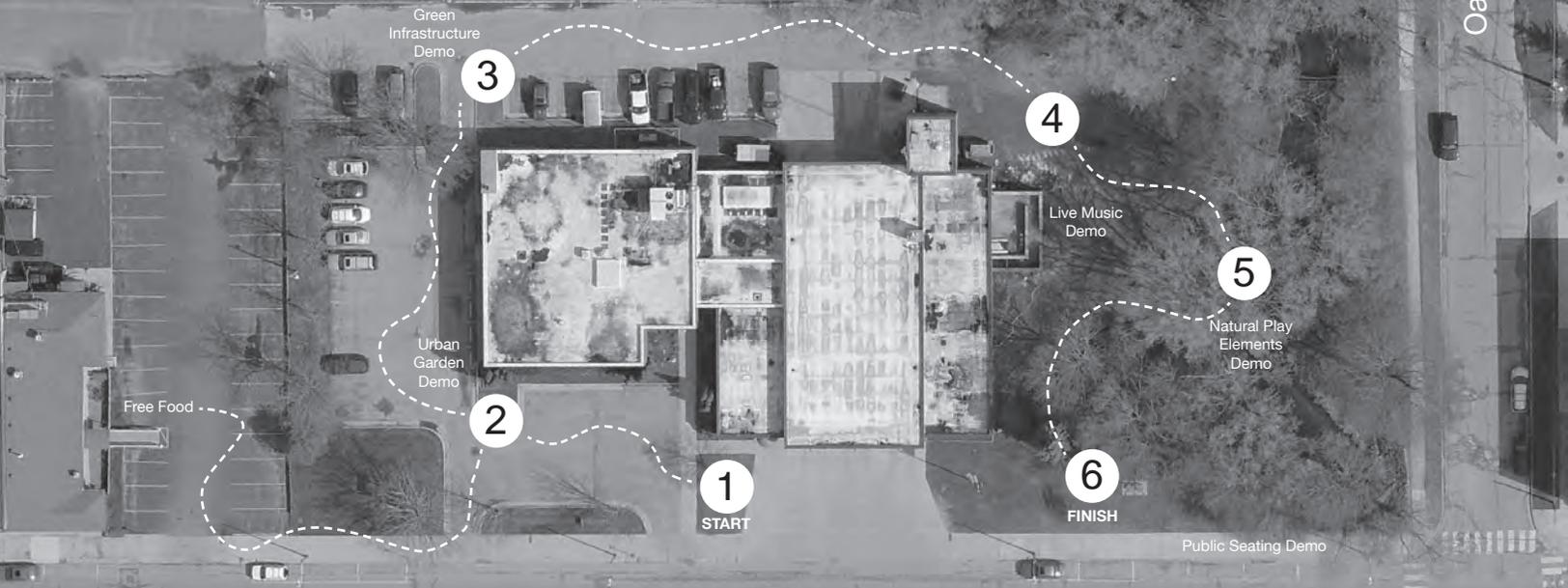
The alley does not extend past the fire station building on the east side; it does not connect to Oak Street.

Third Street

SELF-GUIDED TOUR MAP LEGEND

- 1 Fire Station 1
- 2 Office Building and Parking Lot
- 3 Alley
- 4 Greenspace
- 5 Kid's Creek Streetside
- 6 Streetside

Oak Street



Front Street

Alley

4

GREENSPACE

what we've heard

Is this area a park?

This area is not classified as a City park, but some use is for relaxation. The space is open to the public.

Who maintains this space?

The fire department has voluntarily maintained the greenspace for decades. They have planted their own gardens near the fire station building. The City provides support and helps to manage the space when large trees need to be trimmed or removed, such as after a storm.

things to consider

This area is the only public greenspace within the West Front Street corridor.

Representatives from adjacent neighborhoods have expressed a preference for keeping this space green and relatively quiet in terms of uses.

The steps leading to the creek have been there for at least 30 years.

There are some invasive plant species, like myrtle, on the slopes leading to the creek.

Ideas that have been suggested for this space include: picnic tables, temporary art installations, "unplugged" neighborhood music concerts, family-friendly storytelling sessions or poetry readings, natural playscape elements, and foot bridge connection over the creek to Oak Street.

5

CREEK

what we've heard

What creek is this?

This is Kids Creek. It flows into the Grand Traverse Bay.

Some people have asked if a bridge could be built over the creek.

How good is the water quality?

According to data provided by The Watershed Center, stream quality is relatively poor.

Are there fish in the creek?

According to local anglers and conservation groups, this is not a really good fishing spot.

Natural-Nature Play

Several comments from the Public Chalkboard indicated interest in building on what's already there - building on the natural-enchanted feel of the creek corridor

things to consider

You can view the stream from the sidewalk along Oak Street, as well as from the greenspace area.

Some slopes on the property are relatively steep. Access to the creek is rather rustic.

A neighborhood family monitors the creek through an Adopt-A-Stream program coordinated by The Watershed Center.

6

STREETSIDE

what we've heard

Seating Seating Seating.

Several people have expressed the need for public seating along West Front Street

A place to eat lunch or sit and relax

Comments from the Public Chalkboard as well as property owners and stakeholder groups along West Front Street have expressed the need for a pocket park or plaza space that people could sit in have lunch in or sit and relax while taking a break from shopping.

Keep the Public Chalkboard.

Several comments through social media and the public chalkboard have mentioned that it would be cool to have some type of public chalkboard in this space to provide a place to make temporary art, advertise an event or leave a message for a friend.

things to consider

West Front Street wants to have an identity.

Property owners along West Front Street have expressed the desire to build an identity or brand for West Front and their neighborhood. The space along the street could help support the street by providing valuable public space.

The City has struggled with people abusing alcohol in this space.

Open House II - Concept Release Party

The public was invited to attend a family-friendly Open House to review newly created conceptual drawings for the future use and design the Traverse City-owned City Lot property on Tuesday, November 10 from 4:00 – 6:30 p.m. at the Workshop Brewing Company, located at 221 Garland Street, Traverse City.

At the public Open House, three conceptual designs were presented for review. Each of the three alternative concepts that were offered illustrated a birds-eye view from above, and also street-level design concepts. Community members were welcomed at a registration table and were offered comments cards with four questions designed to engage and prompt their feedback on the designs.

“ One of the goals for the Concept Release Party was to create a fun, relaxed and welcoming atmosphere at the event. ”

Blackbird Arts, a local non-profit group, collaborated in hosting the event. The organization offers year-round creative programs for children, families, and adults. They cater to all ages and ability levels in a supportive and relaxed environment that is focused on individual learning. They create classes that encourage creative exploration through meaningful connections and discoveries.

The City Lot Design Team’s goals in engaging this partner in the event included:

- Creating an activity that would engage people in a creative and kinesthetic, hands-on way (as an alternative to sharing ideas via comment cards or online) .
- Creating a place-based piece of community art that reflected a public vision for the City Lot property.
- Creating a fun, relaxed and welcoming atmosphere at the open house event.

- Blackbird Arts staff designed and guided an all-ages community arts activity to encourage people to consider their personal connections and visions for City Lot. The activity culminated in with the creation of a collaborative piece of art.

Free pizza and acoustic music were also provided at the event.

Approximately 45 people attended the Concept Release Party. Demographic data were not formally gathered, but casual observations indicated that there was a mix of ages of among participants including people over 60, Millennials, and people with relatively young children.

The Design Team reviewed comment cards after the meeting.

An online public survey was launched at 6pm on the same day of the Concept Release Party.

(Please refer to Section 5 - Plans and Design for a complete description of the concept alternatives)

CITY LOT

CONCEPT RELEASE PARTY

WORKSHOP BREWING CO.

(located in Downtown Traverse City's Warehouse District)

TUESDAY NOV. 10th 4-6:30p

The "City Lot" property is a property owned by the City of Traverse City. It is located across West Park Street between Little Bohemia Restaurant and Oak Street. The property includes the existing fire station, an adjacent office building, a parking area, an alley, open green space, and a portion of Kick Creek.

Three conceptual designs that offer alternative visions for the future use of the property will be shared. Community members are encouraged to attend the open house to review and share feedback on the conceptual designs.

open house format

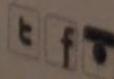
stop by anytime

family friendly

art activity for kids

free food

live music



Please visit City Lot on Facebook, follow on Twitter, and subscribe to our newsletter and up to date. Also visit our website, www.citylot.org.

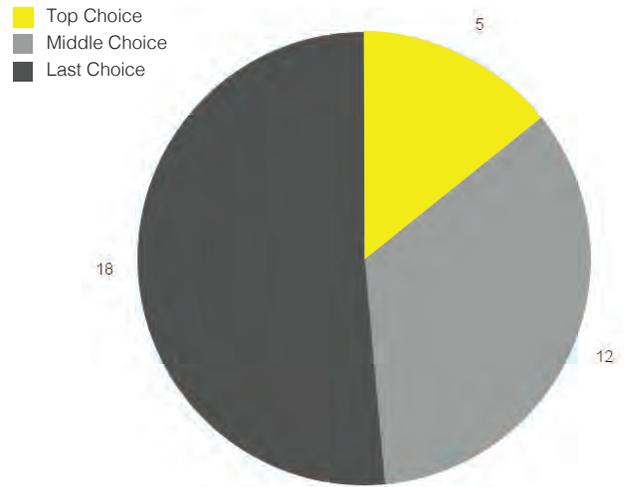
[YOU DECIDE WHAT WILL BE THERE]

Concept Release Party Comment Card Responses

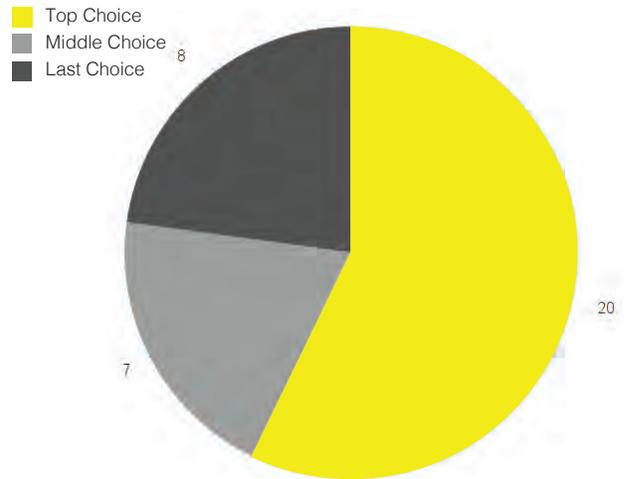
The following pie charts are representative of the community's response to the concept alternatives on display at the open house. Attendees were asked to rank the conceptual plans based on their preference for the property's future potential use and design. Ranking their top choice as "1" and last choice as "3".

Please rank the conceptual plans based on your preference for the property's future potential uses and design. Rank your top choice as "1" and your last choice as "3".

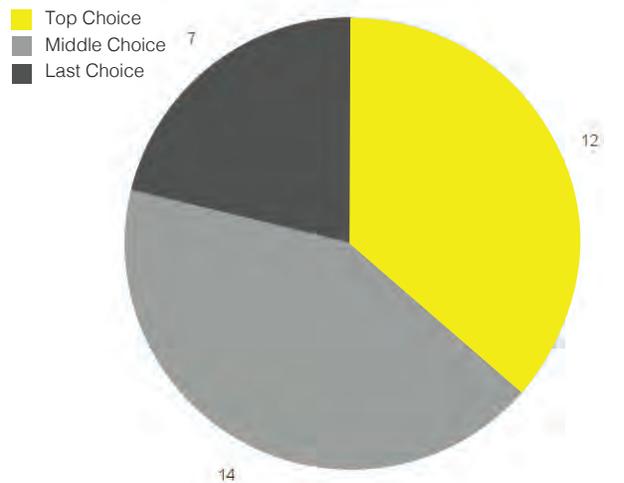
Alternative 1 – Remodel It



Alternative 2 – New Civic Hub



Alternative 3 – New Public and Private Uses



Concept Design Survey Results

The Design Team released an online survey at the end of the Concept Release Party to provide attendees a place to provide additional input and allow those who were unable to attend an opportunity to review the concept alternatives and provide their ideas. The survey was open for two weeks, from Tuesday November 10th to Friday November 27th. The concept alternative plans and graphics that were used at the Concept Release Party were on display at the Traverse Area District Library while the survey was open.

A little over 130 people participated in the online survey, over 90% of the participants indicated they reside in the 49684, 49685, 49686 zip codes. The average age of the participate was between the age of 35 and 44. Six people over the age of 75 completed the survey - no one under the age of 24 participated in the survey.

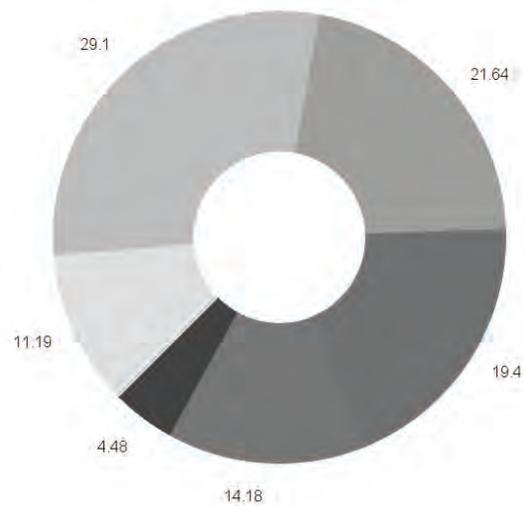
“ A little over 130 people participated in the online survey, over 90% of the participants indicated they reside in the 49684, 49685, 49686 zip codes. ”

Alternative 2, which included an idea to invest in civic buildings and public spaces, received the highest preference rating related to uses and future vision for the property. Responses from the Concept Release Party also pointed at Alternative 2; however, the major difference between the survey results and comments cards was participants preferred Alternative 3 - Private Development as their second choice, and Alternative 2 as their last choice on the comment cards, but the order was reversed on the survey results which gave preference to Alternative 1 as the second choice and Alternative 3 as the third.

The Design Team completed a review of the survey results and have provided the information on the following pages.

What is your age?

- 25-44
- 35-44
- 45-54
- 55-64
- 65-74
- 75 or older

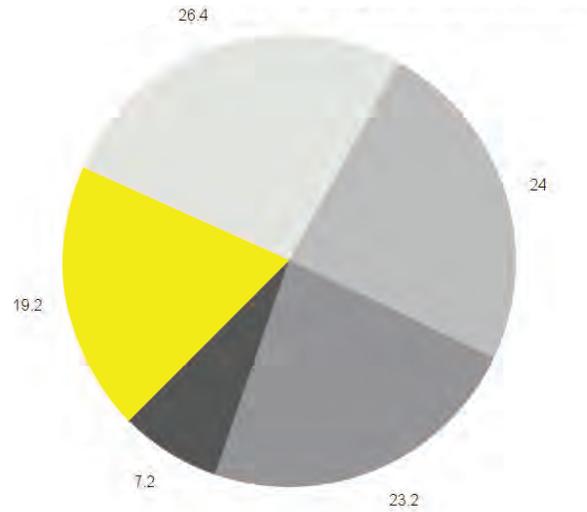


How closely does each alternative conceptual plan align with your vision for the future of the City Lot property?

People Answered: 129 Skipped: 5

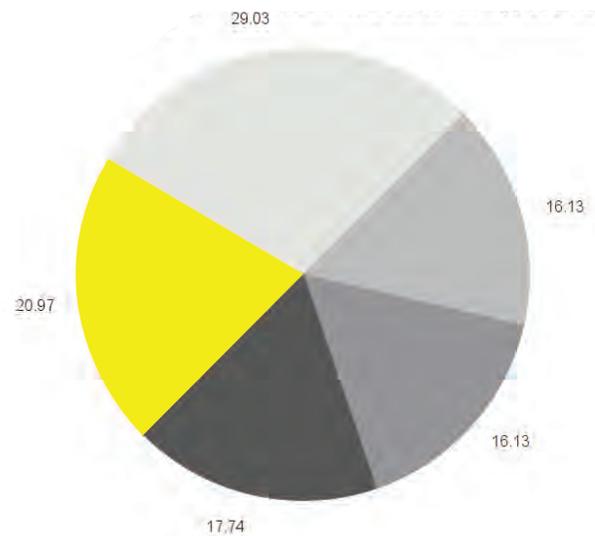
Alternative 1 – Remodel It

- All of the uses presented match my preferences
- A majority of the uses presented match my preferences
- About half of the uses presented match my preferences
- A few of the uses presented match my preferences
- None of the uses presented match my preferences



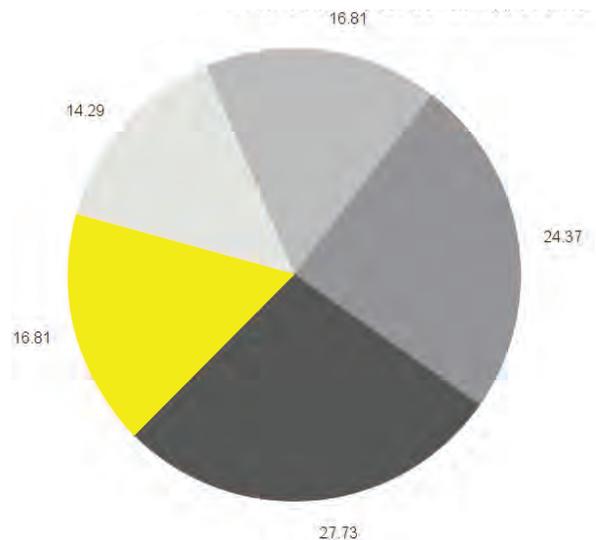
Alternative 2 – New Civic Hub

- All of the uses presented match my preferences
- A majority of the uses presented match my preferences
- About half of the uses presented match my preferences
- A few of the uses presented match my preferences
- None of the uses presented match my preferences



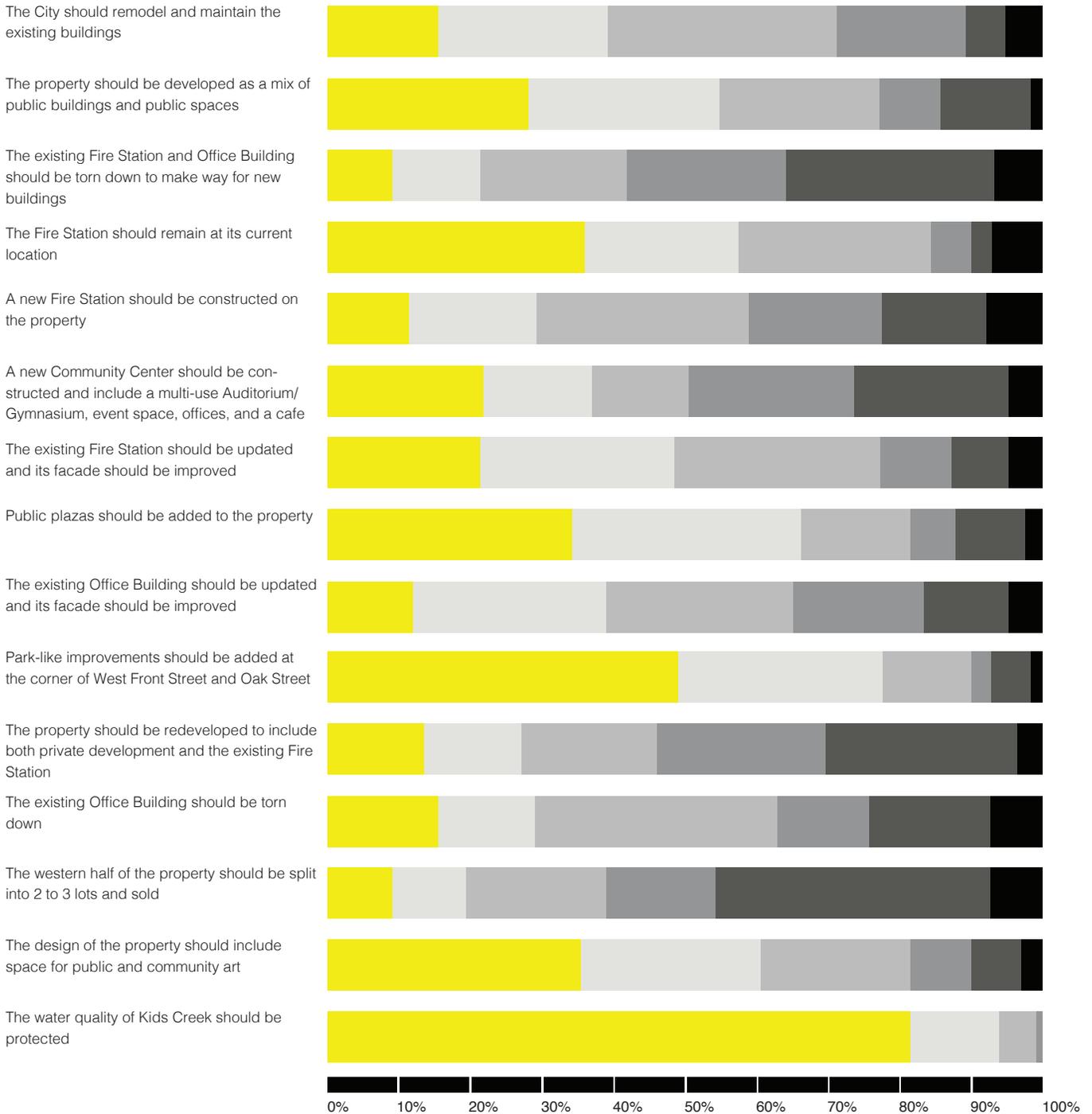
Alternative 3 – New Public and Private Uses

- All of the uses presented match my preferences
- A majority of the uses presented match my preferences
- About half of the uses presented match my preferences
- A few of the uses presented match my preferences
- None of the uses presented match my preferences



Please select the option that best describes your level of agreement with each statement.

People Answered: 133 Skipped: 1





05

PLANS AND DESIGN

plans and design

Concept Development

Alternative 1 - Remodel It
Alternative 2 - Civic Hub
Alternative 3 - Private Development

CITY LOT

Based on community visioning concept plans were prepared for the public property and included details on different use options as well as ideas on design elements including seating, play, lighting, public art, and more.

The planning and design phase of the project included developing three Conceptual Design Alternatives - each one unique in its path to how it was conceived. Many different ideas and community conversations were inspiration for the designs.

Concept Development

Three conceptual plans were developed for a second public open house, held in early November. The plans were developed by the Design Team and were inspired by the community's ideas that were gathered through the public chalkboard, citylot.org website's Your Voice page, and social media. The first open house, which was held as a community picnic in September, also provided the Design Team insight by exploring the community's ideas through demonstration before starting the conceptual design plans.

(Please refer to Section 4 - Community Engagement for a complete description of the open houses)

The three conceptual design plans were presented for review and comment at a second Open House - held at a local craft brewery as a "Concept Release Party". Each of the three concept alternatives were developed in plan and then explored using three-dimensional digital models. Illustrations included a birds-eye view from above, two street-level views, and one elevation.

ALTERNATIVE 1 - REMODEL IT

The first alternative focused on the strengths of the existing site while addressing some of the challenges that were identified by the community, stakeholder, and project partner conversations.

The fire station and office building would remain intact and in their current location. The building would be mechanically separated to allow more flexibility in use - separating

the buildings mechanical and electrical systems would allow the City to continue to lease the building the Grand Traverse County or another future tenant. The building code would require a firewall be constructed to separate the uses.

Both the fire station and office building interior would be updated and the building facade would be modernized.

Site improvements would include replacing the parking lot along the street with public space amenities including seating, tables, trees, and landscaping. Public space improvements would also be completed at the corner of Oak and West Front Street - a plaza space along the street would provide seating, interactive public art, and social interaction.

An expanded fire training area and vehicle and trailer storage would be created at the east end of the existing alley.

Last, improvements would be made to the greenspace and lawn area and to access Kid's Creek.

Additional Design Options

Option 1

- Add a second story to the existing fire station

Option 2

- Construct an addition to the office building between the existing building and the street.

ALTERNATIVE 2 - CIVIC HUB

Alternative 2 embraced the concept that explores developing the property as a community asset - a civic hub of public buildings and spaces that would be available for the community. The concept was derived from a combination of the community's ideas, it organically developed during the passive public input phase of the project.

The existing building would be removed and new buildings constructed in an updated site arrangement that maximizes the opportunities for different activities on site. New buildings would include a fire station, offices and classroom, fire training tower, auditorium / gymnasium, event and gallery spaces, offices, and cafe.

Underground parking would be added to support the fire department and community center activities.

Site improvements would include the development of three new public plazas and park-like improvements at the corner of Oak and West Front Street.

" The concept was derived from a combination of the community's ideas, it organically developed during the passive public input phase of the project. "

ALTERNATIVE 3 - PRIVATE DEVELOPMENT

The third alternative explored different scenarios related to how the property could be used if some or all of the land was sold to private development. In all of the scenarios it was determined the office building connected to the fire station would be removed. The western half of the property would be split into two to three lots and sold.

The existing fire station would remain in its current location, similar to Alternative 1, the station's interior would be updated and the building facade would be modernized.

A public plaza and walkway would be constructed between the existing fire station and future buildings to the west. The plaza would include space for public art or sculpture, a fountain or water feature, seating, and trees.

Last, improvements would be made to the greenspace and lawn area and to access Kid's Creek.

Additional Design Options

Option 1

- ALTERNATIVE 3 (PLUS +) construct a new Fire Station

Option 2

- Demolish the Office Building and Fire Station, construct a new Fire Station on the western edge of the property, complete a lot division for new private lots on the eastern half of the property adjacent to the greenspace

Option 3

- ALTERNATIVE 3 (MINUS -) selling the western half of the property to private development and instead create a public space with gardens.

ALTERNATIVE 1 - REMODEL IT



REMODEL IT

The Fire Station and attached Office Building would remain in their current location.

key changes

The Fire Station and Office Building would get facade improvements.
Facade improvements might include new doors for the fire station, new windows, siding, and paint.

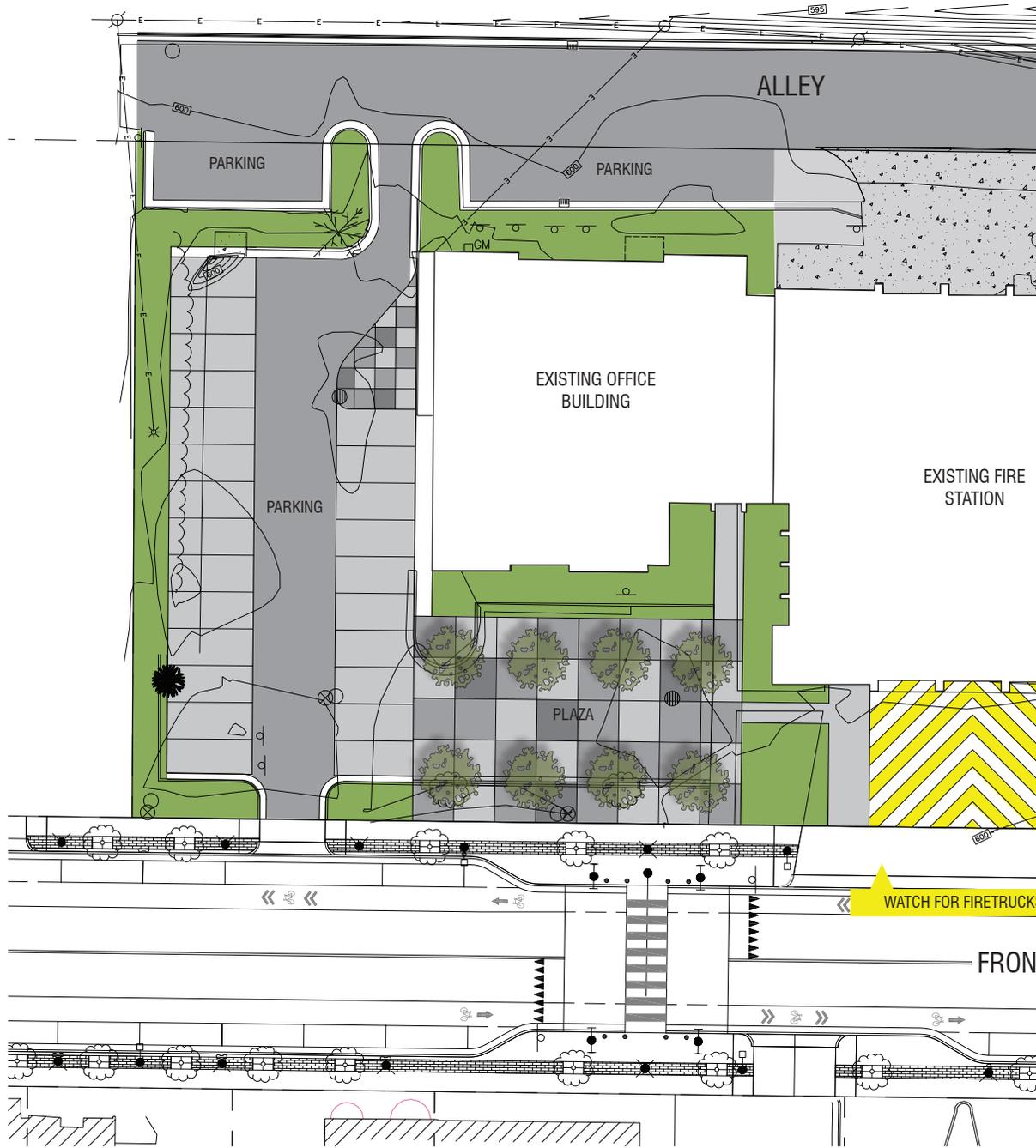
The Fire Station would get minor interior upgrades and improvements.
Interior upgrades would only include minor improvements to meet the latest safety, security, and energy codes set by Federal and State guidelines. General maintenance improvements would also be completed.

The Fire Station and attached Office Building utilities would be separated.
Currently, the Fire Station and Office Building are attached physically and mechanically. The buildings would remain physically connected, but all mechanical, electrical, and plumbing connections would be separated.

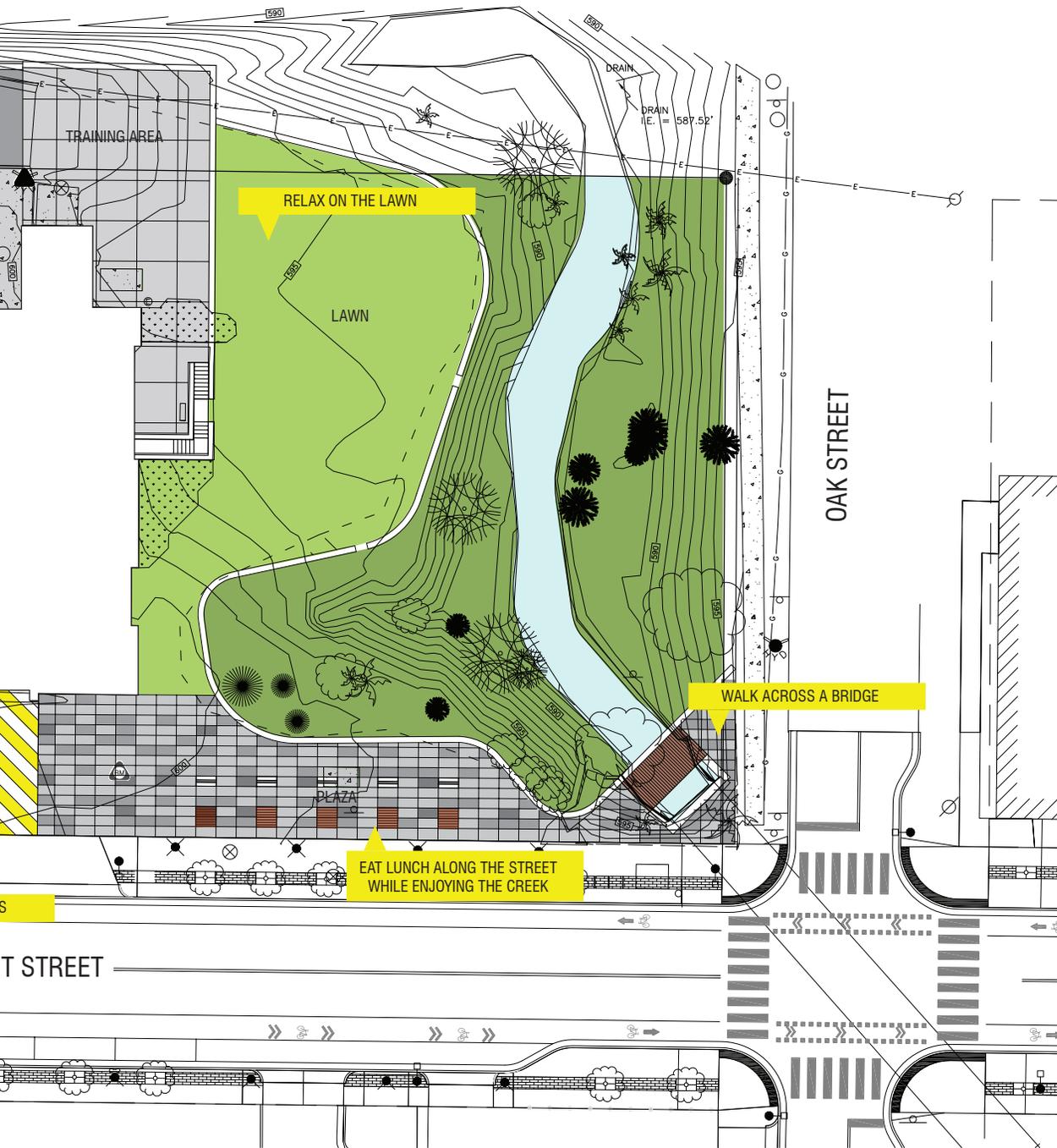
The property would get minor site improvements.
Minor site improvements would be completed that include removing parking along W. Front Street and replacing it with a public plaza, lighting improvements, and general landscaping.

A new public plaza would be added at the corner of W. Front St. and Oak St.
The plaza space would be improved access, seating, and landscaping.





ALT 1



placemaking impact



things to consider

The City's current lease arrangement with the County.

The office building attached to the fire station is leased to Grand Traverse County's Commission on Aging and MSU Extension.

The Fire Department is currently using all available space and has no room to expand.

The "City Lot" property is almost 90% of a city block.

The current building and site layout do not maximize the potential development opportunity of the site.

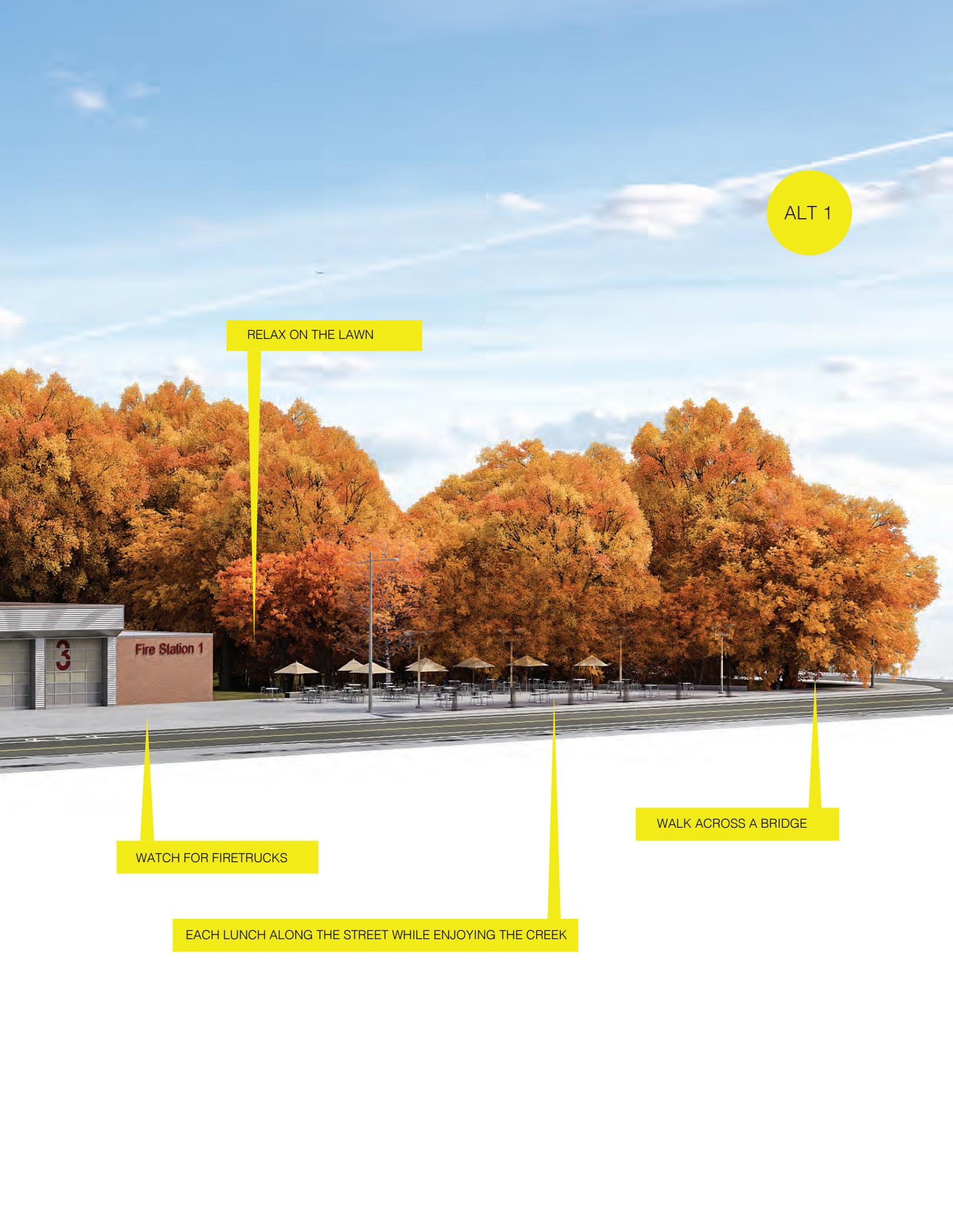
ALT 1

RELAX ON THE LAWN

WATCH FOR FIRETRUCKS

WALK ACROSS A BRIDGE

EACH LUNCH ALONG THE STREET WHILE ENJOYING THE CREEK





ALT 1



ALTERNATIVE 2 - CIVIC HUB

ALT 2

CIVIC HUB

Develop the property as a mix of public buildings and public spaces.

key changes

The existing Fire Station and Office Building would be torn down to make way for new buildings.

The current building does not adequately support operations at the station and the attached office building needs to be modernized in order to continue to support office activities.

A new Fire Station would be constructed on the western edge of the property.

The new fire station building would include modern amenities and provide the Traverse City Fire Department with infrastructure needed for the future.

A Fire Training Tower would be constructed.

Currently, the Fire Department uses the property for on-site staff training. The addition of a fire training tower and

associated facilities would improve fire fighter training.

A Community Center would be constructed and include a multi-use Auditorium / Gymnasium, event space, offices, and cafe.

A community center with a mixed of uses would bring much needed vibrancy to the property, provide a place to recreate in the wintertime, a place to meet friends and attend an event, office space, and an opportunity for the public to have increased interaction with their Government and Fire Department

Three new public plazas would be added throughout the property.

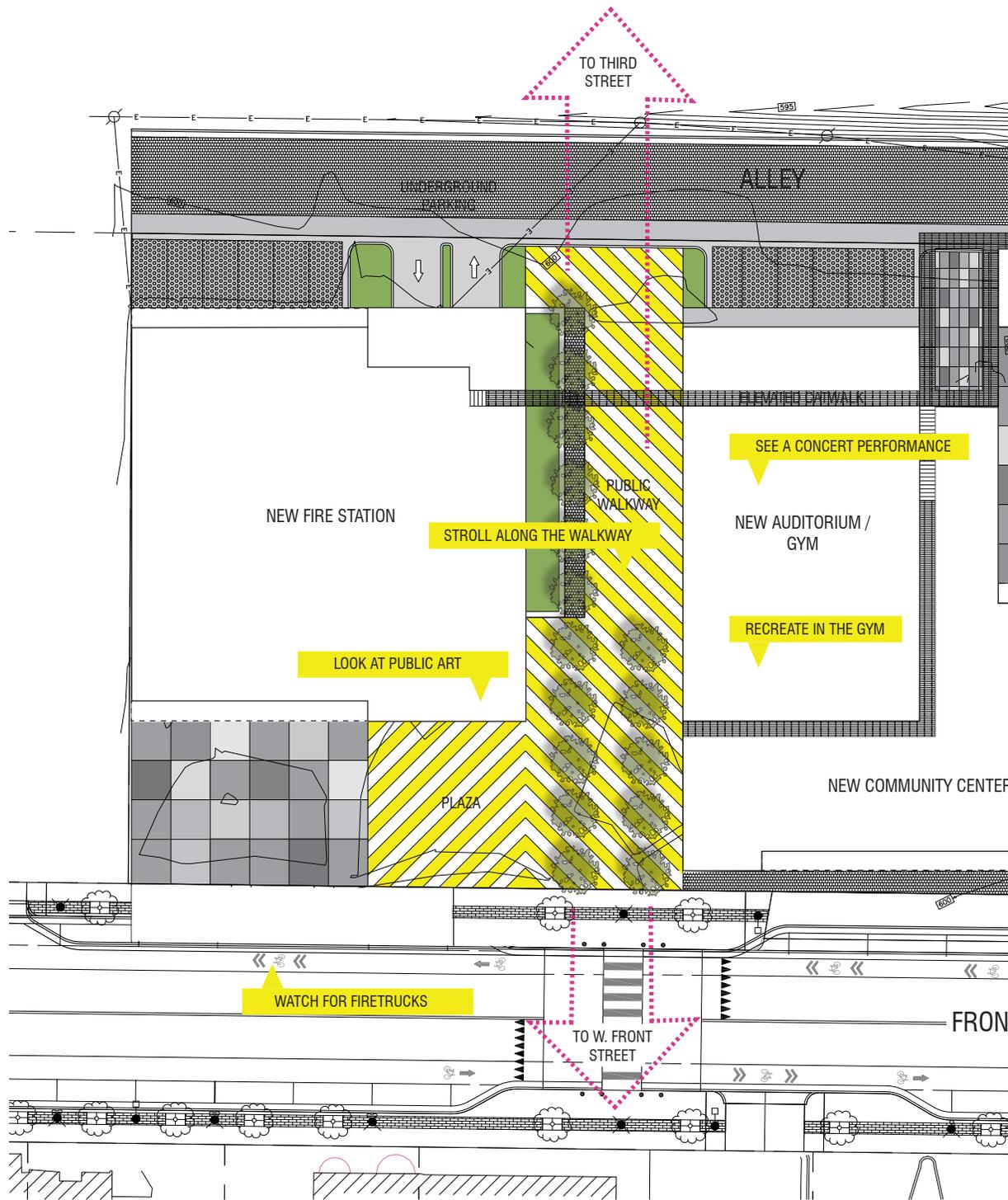
The public spaces would provide outdoor event space, spaces to recreate with your family and friends, spaces to see a small event or concert, and

most importantly public space to support economic development in the West End District.

Park-like improvements would be added at the corner of W. Front St. and Oak St.

Improvements might include a new bridge over Kids Creek, seat walls, landscaping, and a series of elevated catwalks that would provide users an experience similar to the fire training facilities and provide low-impact access to the creek ecosystem.





placemaking impact

RECREATE IN THE GYM

STROLL ALONG THE WALKWAY



WATCH FOR FIRETRUCKS

LOOK AT PUBLIC ART

things to consider

Redeveloping the property for public use would require significant planning and investment

The County would need to relocate the MSU Extension and Commission on Aging Offices

ALT 2

WALK ALONG THE CREEK ON AN ELEVATED CATWALK

SEE A CONCERT PERFORMANCE

ENJOY A CONCERT ON THE LAWN

WATCH FIREMAN TRAIN

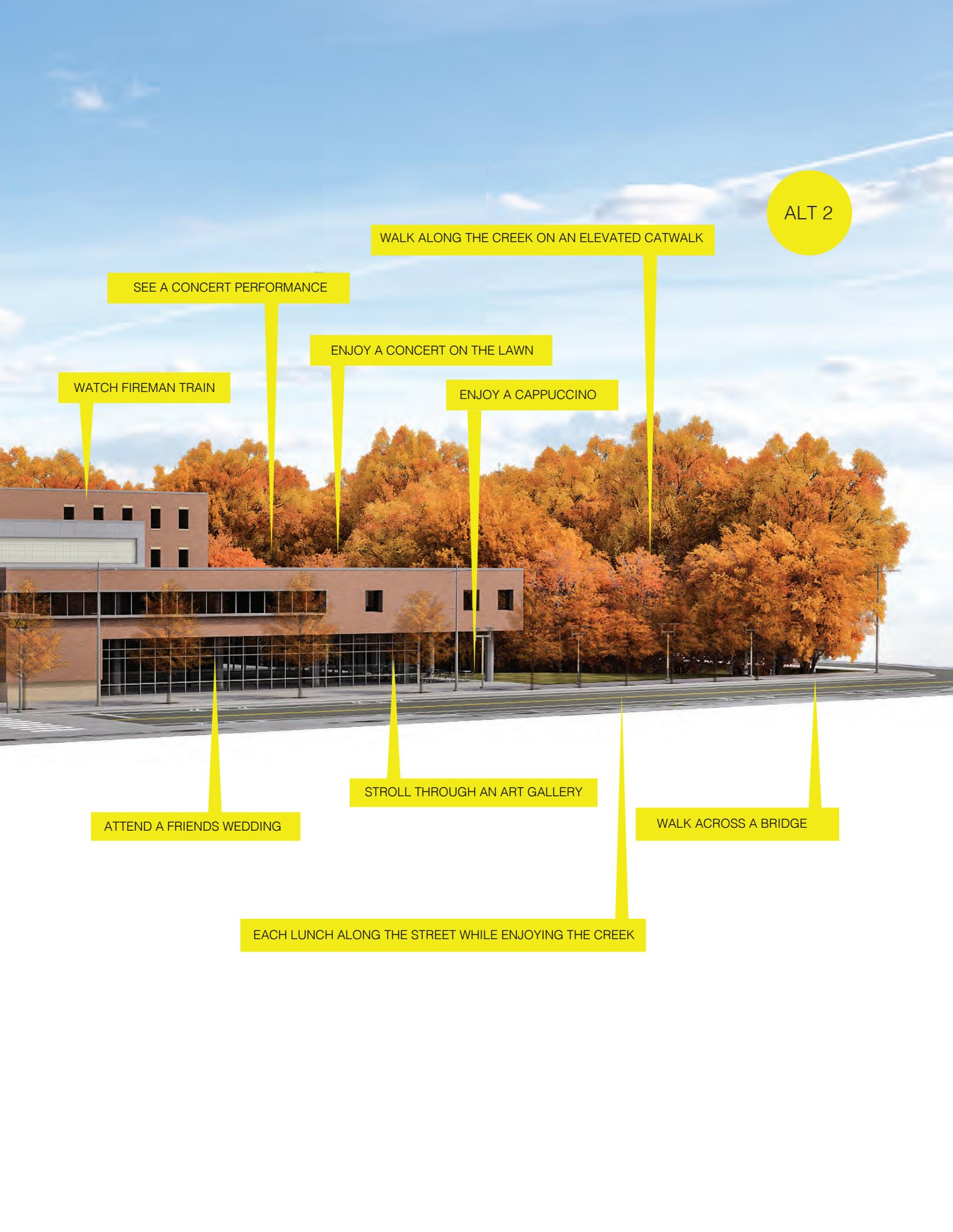
ENJOY A CAPPUCCINO

STROLL THROUGH AN ART GALLERY

ATTEND A FRIENDS WEDDING

WALK ACROSS A BRIDGE

EACH LUNCH ALONG THE STREET WHILE ENJOYING THE CREEK





Fire Station 1

ALT 3



ALTERNATIVE 3 - PRIVATE DEVELOPMENT



PRIVATE DEVELOPMENT

Redevelop the property to include both private development and the existing Fire Station

key changes

The existing Office Building would be torn down.

The current building does not adequately support operations at the station and the attached office building needs to be modernized in order to continue to support office activities.

The western half of the property would be split into 2 to 3 lots and sold.

After the newly created form based code for West Front District is approved, the City can decide the best way to complete lot divisions.

The existing Fire Station would remain in its current location.

The Fire Station would get a facade improvement.

Facade improvements might include

new doors for the fire station, new windows, siding, and paint.

The Fire Station would get minor interior upgrades and improvements.

Interior upgrades would only include minor improvements to meet the latest safety, security, and energy codes set by Federal and State guidelines. General maintenance improvements would also be completed.

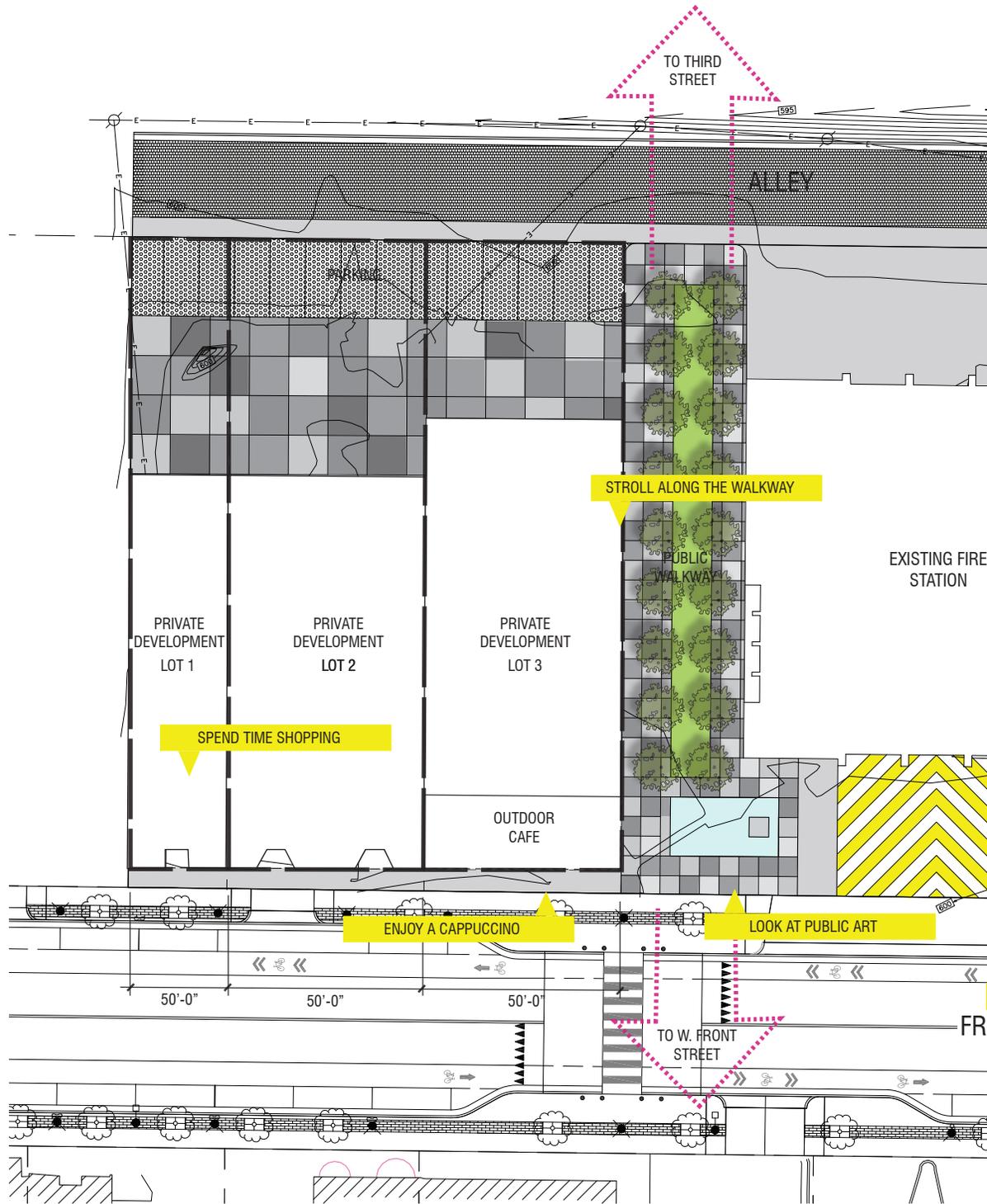
A public plaza and walkway would be added between the Fire Station and proposed Private Development.

The public spaces would provide spaces to recreate with family and friends, a space for a water feature and public art, and most importantly public space to support economic development in the West End District.

Park-like improvements would be added at the corner of W. Front St. and Oak St.

Improvements might include a plaza space, new bridge over Kids Creek, seat walls, landscaping, and a large boulders that would provide seating along the creek.





ALT 3



placemaking impact

STROLL ALONG THE WALKWAY



SPEND TIME SHOPPING

ENJOY A CAPPUCCINO

things to consider

The County would need to relocate the MSU Extension and Commission on Aging Offices.

The proceeds from the real estate sale of the lots to private developers could be used for public improvements.

ALT 3

RELAX ON THE LAWN

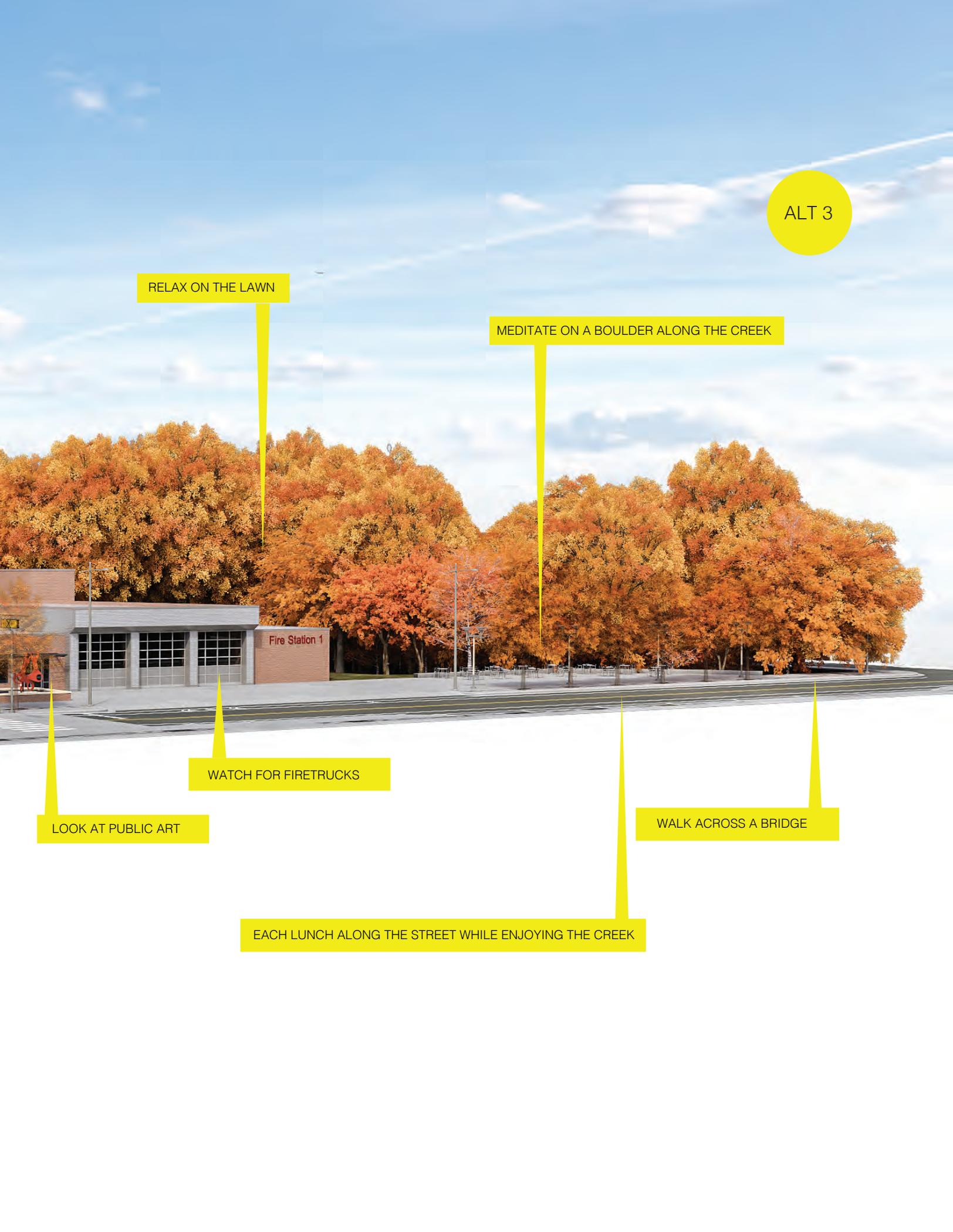
MEDITATE ON A BOULDER ALONG THE CREEK

WATCH FOR FIRETRUCKS

LOOK AT PUBLIC ART

WALK ACROSS A BRIDGE

EACH LUNCH ALONG THE STREET WHILE ENJOYING THE CREEK





ALT 3





Fire Station 1

06

PREFERRED ALTERNATIVE

preferred alternative

Experiential Design

CITY LOT

Discover the community's inspiration and powerful plan for a public space that will contribute to people's quality of life, well being, attract and retain talented young professionals, entrepreneurs, business owners, and improve economic investment in the West End District and Downtown Traverse City.

The community's preferred alternative capitalizes on Placemaking's multi-faceted approach to planning, design and management of public spaces. It makes the most of the local community's assets, inspiration, and potential, with the intention of creating a public space that promote people's health, happiness, and well being.

The community's preferred design concept is developing the property as a hub of public buildings and spaces. A new fire station and training facility, multi-use auditorium/gym, public offices, and leased space that includes artist incubator space, gallery space, and a cafe. The public spaces would include two plazas and central walkway between the buildings and park-like improvements to the greenspace and Kid's Creek at the corner of Oak and West Front Street. Learn more below about what the plan has to offer as you guided through an experiential design of the property.

After lunch you stroll into the community center and grab a coffee for yourself and cookies for the kids at the cafe.

You walk across the hall to the art gallery and artist incubator space that is featuring a local artist from the SoFo Neighborhood.

You meander down the hallway and stumble upon a dance class in session in the auditorium. The kids notice a climbing wall and ask if they can come back on Saturday during open gym.

You stroll out the back doors and into the plaza space, firefighters are walking high above on the catwalks, and you find a table and the kids run into the greenspace and down to the creek where they explore on giant glacial erratic stones and run along a system of catwalk suspended above Kids Creek."

Experiential Design

The Design Team used words and images to orchestrate a compelling experience that someone could enjoy as they spend time on the property and in the West End District.

"Hook up your bike carriages, grab the kids, and jump on your bicycles. Ride from Central Neighborhood, SoFo, Slabtown, or Oldtown down to the West End District.

Stop at Mary's Kitchen Port and grab the famous Gobbler Sandwich .

Head over to the Civic Hub and use the new mid-block crosswalk to make your way to the public plaza on the corner of Oak and Front where you dine along the street and spend time people-watching.

It starts to rain lightly so you and the kids move under the building canopy and the covered cafe area to finish your lunch.

" Learn more below about what the plan has to offer as you guided through an experiential design of the property"



Hook up your bike carriages, grab the kids, and jump on your bicycles. Ride from Central Neighborhood, SoFo, Slabtown, or Oldtown down to the West End District.

Mary's Kitchen Port

Stop at Mary's Kitchen Port and grab the famous Gobbler Sandwich.





Head over to the Civic Hub and use the new mid-block crosswalk to make your way to the public plaza on the corner of Oak and Front.



Enjoy lunch along the street in the plaza space and spend time people-watching.





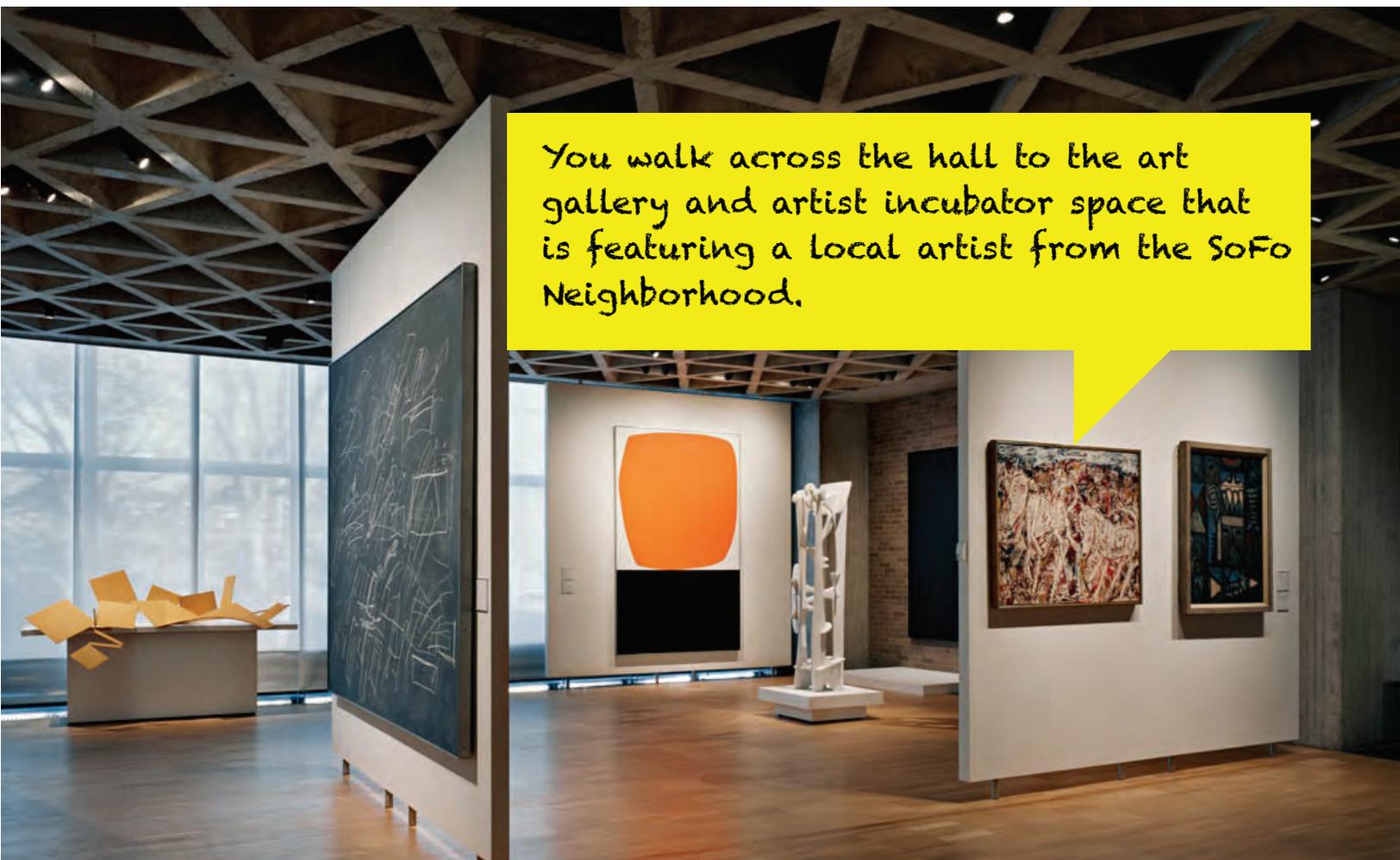
It starts to rain lightly so you and the kids move under the building canopy and the covered cafe area to finish your lunch.



After lunch you stroll into the community center and grab a coffee for yourself and cookies for the kids at the cafe.



You walk across the hall to the art gallery and artist incubator space that is featuring a local artist from the SoFo Neighborhood.





You meander down the hallway and stumble upon a dance class in session in the auditorium



The kids notice a climbing wall and ask if they can come back on Saturday during open gym.



You stroll out the back doors and into the plaza space, firefighters are walking high above on the catwalks, and you find a table to sit down at.







The kids run into the greenspace and down to the creek where they explore on giant glacial erratic stones and run along a system of catwalk suspended above Kids Creek.



07

NEXT STEPS

next steps

Short-Term Recommendations

Long-Term Actions

Placemaking is about collective vision - a hands on approach to planning and design of public spaces.

In order for a placemaking project to be successful, or any public project, local government and civic leaders need to embrace the community. Placemaking shows people just how powerful their collective vision can be. Placemaking helps people understand the value of the public spaces they use everyday - parks, downtown streets, public buildings, plazas, walkways, markets, and entire neighborhoods. Placemaking builds a sense of ownership, placemaking builds community and a strong community can do anything.

The Recommendations have been separated into two key categories based on how they relate to future implementation: short-term recommendations and long-term actions. Together, these categories provide recommendations at different points of time, at different scales, and in relation to multiple systems.

access will be best served if physical improvements or developments are coordinated with event and activity programming.

Short-Term Recommendations

Recommendation No. 1

Invite public use and access

Objective

Placemaking is all about engaging the community. Citizens have not been actively using the City Lot property since the ice rink was maintained. The PlacePlans process invited residents to use the public property on West Front Street in ways they had not in over three decades. People attended a yoga class on the lawn, neighborhood families enjoyed a community picnic with live music and with food from local businesses, and artists spent a day painting landscape scenes.

Tasks

1. The fire department has been stewarding the property in an unofficial capacity for years. Any exploration of future uses of the property should include open dialogue with the fire department staff and current tenants in the office building to discuss their needs and expectations and appropriate levels of public access.
2. Placemaking is not just about design; it's about people and how they engage with spaces. Public use and

Recommendation No. 2

Implement short-term improvements that enhance the public space

Objective

Improving a public space does not need to be expensive, and it does not need to take a lot of time. By implementing low cost and low risk improvements to the public spaces on the property the public will have new amenities to enjoy and the City will be able to test and evaluate uses and impacts. Short-term changes could include new amenities such as public art, portable landscaping, improved access to the creek, and outdoor seating.

Ideas include:

- Temporarily removing the parking lot in front of the office building and converting it to a plaza space;
- Adding cafe tables and chairs at the corner of Oak and West Front Street;
- Adding bicycle racks.

Tasks

1. Identify project champions and potential sponsors from Traverse City's philanthropic and business community.
2. Collaborate with local designers and technical experts to develop concept plans and help activate the improvements.

3. Connect with businesses within the West Front Street community, and with the Downtown Development Authority, to plan events and programs that feature the public space and amenities and connect people to the West End District
4. Reach out to Bay Area Transportation Authority (BATA) to request a bus stop be added along West Front Street adjacent to the property.

Recommendation No. 3

Build programming for events and activities

Objective

Building a program of events and activities on the property will continue to facilitate and support placemaking efforts and bring people to the West End District to spend time recreating, shopping, and dining out.

Tasks

1. Work with the Downtown Development Authority to assist in planning an annual calendar of events for the property and for the West End District.
2. Collaborate with the fire department and current office tenants to enhance events that they are hosting, or planning to host on the property (e.g. Annual Picnic hosted by fire department)

Recommendation No. 4

Continue to engage public and community participation

Objective

Strong brands inspire people to connect with businesses and services and with each other.. The “brand” of the City Lot project helped to inspire people to get involved with the City Lot PlacePlans effort. The City Lot brand could be used as a tool to continue to engage the public with this property.

Tasks

1. Work with a communications specialist to further develop the City Lot brand and marketing efforts, including the website and social media, related to the property and the West End District.
2. Coordinate branding and marketing efforts related to City Lot with other engagement needs related to the growth and development of the West End District.
3. Consider using the branding, marketing and engagement tools used for the City Lot project as a model for the way that the City engages with the public related to the future use and development of other public properties.

Recommendation No. 5

Consider opportunities for additional planning

Objective

The City Lot planning process revealed a lot of questions about the City’s priorities and needs related to the future of the City Lot property. Specific questions included the maintenance and capacity of the fire station, the County’s office space needs, and financial considerations related to City facility and infrastructure development and maintenance. The City would benefit from a more comprehensive planning process that identified facility needs that included the buildings and assets on the City Lot property.

Tasks

1. Complete a needs assessment and analysis of the condition of Traverse City’s physical facilities and assets.
2. Develop a capital improvement plan for facilities, including a funding strategy.
3. Complete a building and site feasibility study for the City Lot property to determine what kinds of public facilities the property can reasonably support.

Recommendation No. 6**Define the City’s approach to address under-utilized or “unrecognized” public properties****Objective**

Planning and development of the West Front Street property will not occur in a vacuum. The City owns and maintains many properties for public use and enjoyment. The PlacePlans process highlights the need for the City to complete a strategic planning process that includes an inventory of all Traverse City-owned properties. This process could be integrated with the Five-year Recreation Plan process and could help to define the vision, values, site improvements, activities, management, maintenance goals, and funding strategy for each property and for the City’s park system. The outcome of this process would help to define the strategy for moving forward with potential changes to the West Front Street property.

Tasks

1. Assemble a steering committee to oversee the strategic planning process. The committee could be the Parks and Recreation Commission or the Planning Commission, or another existing committee or subcommittee that is empowered to take leadership of the process.
2. Appoint a City staff member as the point of contact and leader/facilitator of the process.

Long-Term Actions**Recommendation No. 7****Look for opportunities to develop partnerships once a clear vision for the property has been realized****Objective**

Many successful public spaces are developed and sustained through partnerships, and with the support of private charitable contributions. Consider implementing a partnership and fund development program to support capital improvements and future programming and stewardship of the property.

Tasks

1. Identify goals and needs for the property.
2. Identify costs and funding needs.
3. Build relationships and explore partnerships with not-for-profit groups whose visions and goals align with the goals and needs for the property.
4. Build relationships and explore partnerships with other public agencies and public institutions whose goals align with the goals and needs for the property.
5. Create a fund development plan and identify potential public and private sources of funding for the property.
6. Allocate resources and staff time to manage a fund development program and fundraising activities.
7. Invest in programmatic capacity to build partnerships with businesses and volunteers to help develop and maintain the public spaces on the property.
8. Develop creative programs that can provide opportunities for the community to support through donations, crowdfunding, and volunteerism.

Recommendation No. 8**Implement efforts to protect water quality and manage vegetation****Objective**

Protecting water quality and managing the natural area on the property was an important theme in this process. The current property maintenance program is limited to part-time and volunteer management that includes mowing the adjacent lawn areas, and removing hazardous trees and limbs. The Watershed Center Grand Traverse Bay monitors stream quality with the support of neighbors and volunteers.

Tasks

1. Support efforts to monitor and address threats to the creek corridor and to water quality.
2. Consider training volunteers and/or staff, or partnering with other groups who specialize in conservation, landscaping or gardening efforts, to conduct field assessments and monitor the health of trees and plants.
3. Develop a maintenance and pruning cycle for vegetation.
4. Complete an invasive species assessment and management plan.
5. Develop and implement a tree management plan on the property.

Recommendation No. 9**Develop a life-cycle analysis and eco-balance program for the existing buildings, trees, and other assets identified on the property****Objective**

When considering all aspects of sustainability and the life cycle of a building, tree, or other long-term investment it is important to consider the life of that investment from the time of implementation, life-long maintenance to proper use and/or disposal of the materials and waste generated when the asset is removed.

This recommendation addresses the end of a building or tree's life cycle and identifies strategies to extend the resource after it is removed from the property. The purpose of this recommendation is to develop creative ideas for reusing the raw materials at the end of their lifecycles.

Tasks

1. Identify potential partnerships with businesses or organizations that specialize in recycling.
2. When trees are removed, use them for a City project, or offer them to local businesses, including restaurants or art centers, for reuse or reclamation.
3. Establish criteria and develop guidance materials for purchasing building materials and planting trees and other vegetation on City-owned properties.

APPENDIX B

Development Feasibility Study



January 18, 2016

Luke Forrest
Michigan Municipal League
1675 Green Road
Ann Arbor, MI 48105

RE: DRAFT Recommendations for Traverse City's W. Front St. Overlay District

Introduction

The Michigan Municipal League (MML) tasked Peter Allen & Associates with conducting a real estate feasibility analysis of two sites along W. Front St.:

1. 441 W. Front St., owned by Huntington Bank (441 W. Front St);
2. The lot to the west of the fire station and The Little Bohemian (530 W. Front St.).

MML hired Nederveld Land Planners to create 2 potential site plans based on the new zoning scenarios for the Huntington Bank site. They also hired Nate Elkins, Influence Design Forum (IDF), to create renderings and a site plan for three 2-story, mixed-use, private development for the Fire Station Site.

We used the designs provided by Nederveld and IDF, and information from the draft Form Based Code (FBC) for the uses, density and square foot data for our analysis.

Our assumptions are based on market research from a myriad of local factors, namely:

- Rental rates for retail, residential and office uses;
- Recent sales prices of condos;
- Local, downtown, Millennial job growth
- Local salaries for the 22-35 year old college educated worker and what type of housing that demographic prefers;
- Costs construction for various types of construction;
- Land values;
- Ratios including return on cost, cost and level of debt, before tax cash flows and loan-to-values;
- Local capitalization rates.

In both developments FBC zoning recommended a mixed-use building, with retail at grade and housing or office above. Although mixed-use buildings are more complicated to build and to finance, we believe the City should insist on retail at grade as a way to "excite the sidewalk." Retail at the sidewalk is always good public policy, especially along a main corridor like Front Street.



Investigating how to develop affordable housing, close to centers of work and entertainment, for the 22 to 35 year old Millennial worker, was a dominant theme of our research. How to make it “pencil out” or work for private developers is hard, especially in urban centers with high land costs and mixed use preferences.

One successful way is to encourage new development around multi-modal transit options and existing dense walkable environments. Parking costs can add \$10K to \$45K per unit to the construction costs, depending on whether it is surface or underground garage parking.

Encouraging developers to build a more dense product with less parking is smart. Building in walkable urban environments close to transit options in turn promotes the likelihood that the residents can reside without car ownership. Eliminating annual car ownership costs, averaging over \$7,000 per year for all expenses, can make more expensive downtown housing more manageable. Trends in Ann Arbor and Grand Rapids show parking can be reduced, improving affordability of the project.

Our research showed local Traverse City developers are beginning to reduce parking ratios; providing units without parking and your new Form Based Code certainly encourages this trend. There well could emerge a market for non-car owners. Parking maximums, instead of parking minimums, are encouraged in the new overlay districts. (See the “Affordability” tab in the Proforma for an analysis of how car ownership affects a tenant’s ability to afford higher housing costs.)

We have attached an exhibit with creative strategies other cities and developers are using to reduce parking expenses.

Another strategy to make housing more affordable is to make the units smaller. This is also being done successfully in other highly desirable downtowns. We recommend developers test the market with 450-500 SF studio units as a way to make very livable units more within the reach of a Millennial worker’s income.

We also investigated the option of a **for sale retail condo product at grade and a for sale residential condo on the top floor. Both additions dramatically improve the overall profitability of the development.**

Disclaimer: We used the best information and assumptions available to us to date to analyze the various options for development. We cannot guarantee, however, any specific numbers in these proforma. Any potential developers for these sites should conduct their own, independent research.

The Proformas

944 N. Main
Ann Arbor, MI 48104

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fax 734.769.8560



Attached are two proformas for Huntington Bank (Site A) and three for the Fire Station (Site B).

The various major assumptions in the model are in blue. It is recommended that you use the digital version of the Pro Formas provided to the MML, so that you can adjust the assumptions to your comfort level. The key ratios and returns are as follows:

(1) Return On Cost (ROC), which is the stabilized Net Operating Income (NOI) upon completion, divided by the Total Cost of the Development, including Acquisition and Hard & Soft Costs. This ROC ratio should be around 8-10%, 2% above the local cap rate.

(2) A Debt Coverage Ratio of 1.25 or more, which is important because banks need to make sure the NOI exceeds the debt service by a safe margin.

3) Finally, we feel that Before Tax Cash Flow (stabilized NOI less Debt Service), divided by the equity invested, should yield 8-10% per year before income taxes.

You will also notice that on the "Proforma" tab, you can adjust the commercial and residential rents as a per cent above the "Operating revenues" box, so if you want to adjust rents 20% up, you would enter 120%. You can use the same process for adjusting the property taxes.

We assumed no incentives, grants, MBT, Brownfield tax credits, environmental remediation, New Market tax credits, PILOT, or other subsidies. **We assumed a market rate development.** Common popular incentives which bridge the gap between the realities of the market and getting a project off the ground are used widely, but these were **not** assumed in this exercise.

The major assumptions between the various proformas are written at the top of the first two tabs in orange.

Summary Findings for 441 W. Front St. (Huntington Bank)

The first two proformas analyze a three story mixed-use building, called a "Flex Building Type" in the FBC. The building is snug against the Front St sidewalk and the parking is in the rear of the site, with no set backs. As you will notice in the proformas, neither Option 1 nor Option 2 make economic sense to a private developer. This is not surprising as current market rents simply do not justify new construction, especially for residential.

Current market rate rents for a one bedroom apartment downtown are about \$1.50/SF/Mo., or about \$1000/mo. Feasible rents need to be about \$2.20/SF or **\$1500 per month** to make sense for new development. For new development to cost justify, some combination of higher rents, incentives, lower construction costs, cheaper land cost, and/or PILOT's, must be applied.



In option 2, with 40% more on site parking and less high profit retail, the model shows even weaker feasibility. Retail use in Traverse City is marginally more profitable than residential rental, with lower construction costs and higher net rents. Adding parking is not "profitable" to build, and contributes negatively to overall feasibility due to the loss of higher profit retail.

Once the Red Mill District is built out, higher rents and direct connectivity to major new retail and residential across the street will certainly help.

Summary Findings for 530 W. Front St. (Fire Station Site)

The next three proformas analyze the two story, ten thousand square foot residential over retail development depicted in IDF's "Private Lot 2" in "Alternative 3." We explored three different scenarios with this property, the first two analyzing what an additional floor of market rate and workforce housing does to the numbers. In the 3rd exercise we modified the third floor from residential rental to five 1200 SF market rate for sale condos overlooking Kid's Creek.

Since this site is a city owned property, we also played with various land costs, and tax captures, trying to generate land sales proceeds to help pay for the proposed park on the other side of the Fire Station.

The rents and for sale prices that a developer could charge for this new development might increase 10% *if* that new park amenity were created nearby. Nearby pocket parks are exactly the kind of places that could draw Millennials and Empty Nesters to W. Front St. The park will also benefit from more density built around it.

Option 1 explores one 2000 SF and three 1000 SF retail bays fronting W. Front. The eastern bay is set back a bit as shown on IDF's renderings as a way, we assume, to give a smoother transition from the widened sidewalk. On the second floor are 5 market rate studio units, and 5 "workforce" units priced at 80% of AMI. Conceivably all the residential units get a parking spot. The rents have been blended at \$1.65/SF/Mo. If a developer can assume free land cost and pay roughly 20% of the full property tax rate, only then does this development pencil out.

Option 2 adds an additional third story. Ten more units of market rate and workforce subsidized housing with no additional parking. Because the residential rents are so low and the residential is more expensive to build than the retail, it still does not "pencil out," or support an adequate rate of return to attract equity and debt.



Option 3 also has three stories, but this time luxury condos replace residential rentals. We added an elevator and covered parking to the construction cost, and we assumed these 5 units would sell for \$320/SF. Parking would all go toward the condos in this model.

It is very hard to show one proforma that combines a for sale product with a rental product. Therefore, we show preselling the condos with 100% of the presales going towards the equity required. In this option, we assumed full property taxes at 100% of value and we assumed that the land is sold to a developer for \$35.00/SF, or about \$280,000. This option showed profitability. Importantly, the land sales proceeds could help pay for the park.

This last model also highlights why so many developers are doing for-sale luxury condos, and not rental housing for Millennials. For sale, owner occupied space, both retail at grade and top floor residential, add significantly to the profitability of the development, the quality of the design and materials and, in this case, the subsidy of Millennial rental housing in the middle floors.

Please contact Peter Allen peter@ptallen.com or Douglas Allen douglas@ptallen.com or if need a digital copy of the excel model.

Thank you for the opportunity to work with you on this project and look forward to seeing W. Front Street evolve.

Respectfully Submitted,

Peter Allen, President

Douglas Allen, Vice President



Exhibit A

Strategies for Local Jurisdictions

Conduct a comprehensive review of parking requirements.

Reduce parking requirements for specific locational and demographic factors.

Reduce parking requirements when TDM programs are implemented.

Reduce parking requirements in exchange for fees in lieu.

Adopt maximums to complement minimum parking requirements or establish parking medians.

Allow for shared parking at mixed-use development projects and in mixed-use areas.

Designate parking management districts and develop area parking management plans for those districts.

Parking management plans might include areawide parking caps, regulation of on-site parking facilities through parking ordinances, shared parking arrangements, construction of centralized publicly owned parking facilities, and pricing strategies.

Allow landscaped reserves to meet parking requirements.

Establish residential parking permit programs.

Revise local zoning ordinances to create transit oriented development and traditional neighborhood design zones that allow a mixing of uses, increased densities, affordable housing, reduced parking requirements, and pedestrian oriented and environmentally friendly design.

Enact ordinances to require employers who offer subsidized parking to offer eligible employees the option of taking the cash equivalent of free parking.

Form public-private partnerships to provide shuttle service from peripheral parking locations and transit stations to employment site and the central business district.

□ Require a certain percentage of spaces to be designated for carpools or vanpools.

Form public-private partnerships to provide vanpool services or car sharing programs.

Require development projects to include bicycle parking and reduce minimum parking requirements given the provision of bicycle parking over the required amount.

Encourage unbundling of housing and parking costs.

Set parking prices in municipal structures to benefit priority users such as high occupancy vehicles and compact cars.

Implement time-based pricing to set prices higher during peak periods and increase overtime.

Provide signs, maps, and brochures to provide accurate information to users on parking facilities and availability.

Elicit public involvement and include all stakeholders from the start in planning parking policies and programs.



Strategies for Developers

- Provide an appropriate amount of parking given carefully estimated parking demand, as opposed to oversupplying parking.
- Seek opportunities to share parking between uses within a development project or with complementary uses in close proximity.
- Pursue transit-oriented development and traditional neighborhood design projects to create compact, mixed-use, pedestrian-friendly, walkable communities with viable alternatives to the personal automobile.
- Reserve close in, secure, covered, or otherwise preferable parking spaces for carpools and vanpools.
- Provide bicycle parking facilities including racks and lockers.
- Unbundle the cost of parking from the rent or purchase price of residential and commercial units or buildings.
- Charge users for the cost of parking and set parking rates to benefit priority users such as high occupancy vehicles and compact cars.

Strategies for Employers

- Offer employees eligible for subsidized parking the option of taking the cash equivalent of free parking.
- Provide transit subsidies or discounted transit passes.
- Work with the public sector and/or other area employers to provide shuttle service from peripheral parking locations and/or transit stations.
- Work with the public sector and/or other area employers to develop and implement vanpool or car sharing programs.
- Reserve close in, secure, covered, or otherwise preferable parking spaces for carpools and vanpools.
- Provide bicycle parking facilities including racks and lockers and provide bicycle amenities such as showers and clothes lockers on-site.
- Implement a guaranteed ride home program.
- Provide information kiosks or bulletin boards to inform employees of ridesharing opportunities and programs.
- Charge users for the cost of parking and set parking rates to benefit priority users such as high occupancy vehicles and compact cars.

From: Driving Urban Environments: Smart Growth Parking Best Practices
<http://www.mass.gov/hed/docs/dhcd/cd/smartgrowth/parking.pdf>

APPENDIX C

Draft Form-Based Code

TRAVERSE CITY FORM-BASED CODE





Traverse City Form-Based Code

Adopted: xxxxxx

Effective: xxxxxx

The Traverse City Form-Based Code was a collaborative effort between the City of Traverse City and the Michigan Municipal League.

The Consultants for the Traverse City Form-Based Code:

Mark F. Miller AIA AICP, Nederveld, Inc.

Lynée Wells AICP, Williams & Works

Cover photo courtesy of Dr. Gary Kaberle.

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WHAT IS A FORM-BASED CODE?

Form-Based Codes (FBC) represent a paradigm shift in the way that we regulate the built environment. This shift was necessary because the conventional, use-based approach to zoning has been shown to be ineffective for regulating diverse, urban, mixed-use environments.



The City of Traverse City is using Form-Based Coding to implement and achieve the vision, goals, and outcomes related to the built form that were established by previous planning endeavors conducted by the City in collaboration with stakeholders, business leaders, property-owners, and citizens. These plans include the [2009 City of Traverse City Master Plan](#) (including approved Sub Plans) and the [2013 City of Traverse City Corridors Master Plan](#). These plans and strategies envision a city that is a walkable, mixed-use, urban place with a diversity of housing choices, vibrant retail and restaurants, neighborhood-based services, and a mix of job opportunities.

The formal short definition of a Form-Based Code is as follows:

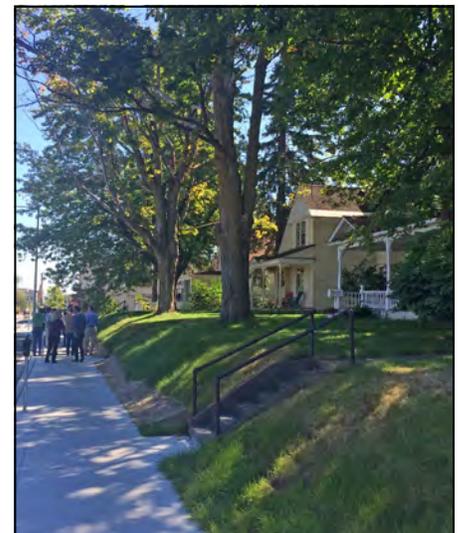
Form Based Codes foster predictable built results and a high-quality public realm by using physical form (rather than separation of uses) as the organizing principle for the code. These codes are adopted into city or county law as regulations, not mere guidelines. Form-Based Codes are an alternative to conventional zoning.

- Form-Based Codes Institute

Unlike conventional codes that utilize use as a framework, FBCs use the intended form and character of a place (or context) as the organizing principle of the code and regulate a series of important elements not just to create good individual buildings, but rather a high-quality urban place.

The naming conventions in FBCs reflect the intended physical form and hierarchy of different places, so instead of a zone being labeled “single-family residential,” it might be called “Neighborhood Edge,” and instead of a zone being called “commercial” or “mixed use,” it might be called “Main Street.” The terms “neighborhood” and “main street” tie back to the intended physical form or place. Both of these Context Areas likely include a mix of uses and different building types that create vibrant walkable urbanism.

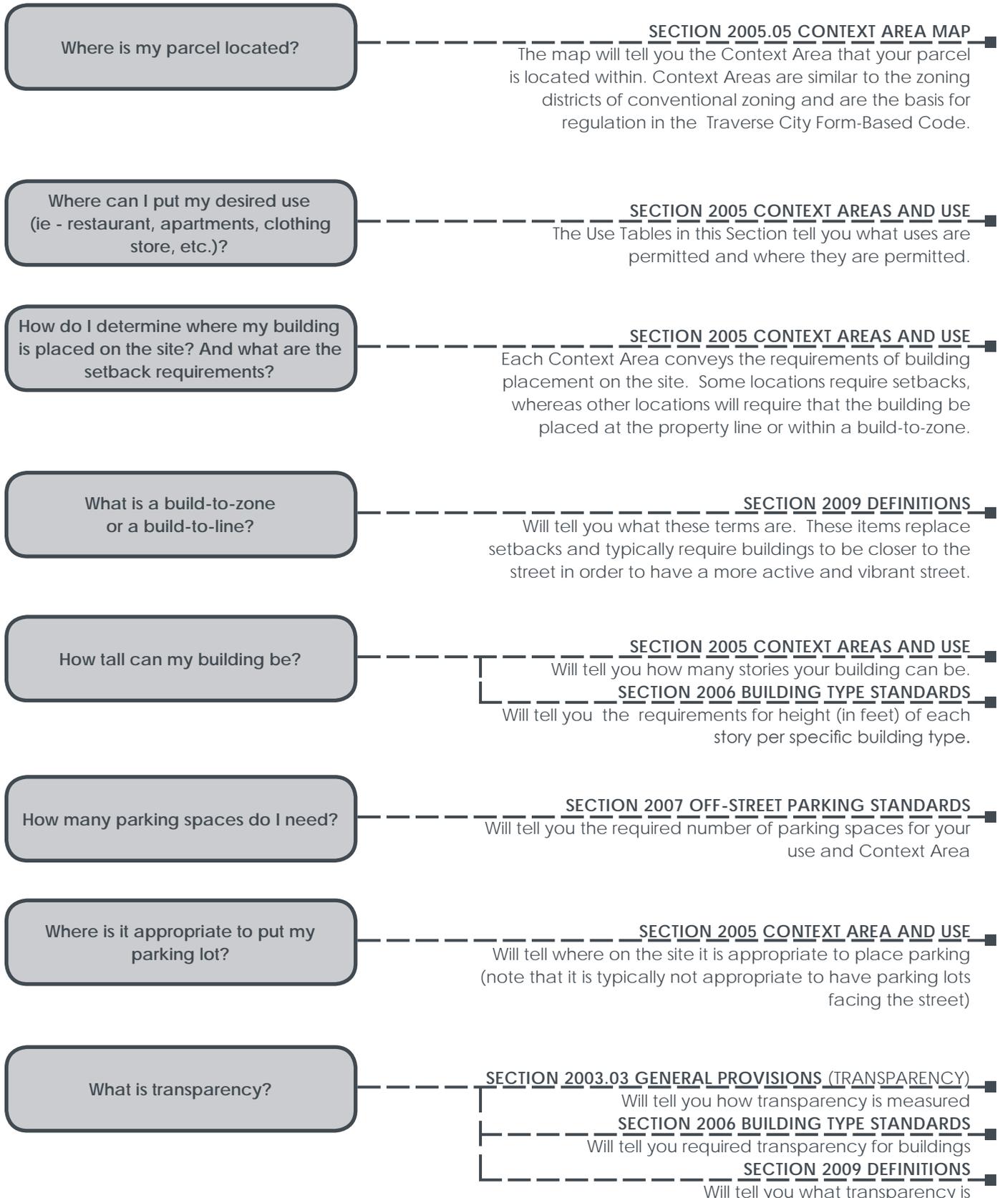
It is also important to note that while FBCs primarily regulate an intended physical form, they also regulate use secondarily. FBCs often allow a range of uses that are carefully chosen to maximize compatibility between use and the intended physical form. The use tables are simplified and categorized by use type, and clearly defined, to allow a greater degree of administrative decision-making related to particular uses.



INTRODUCTION

TRAVERSE CITY FORM-BASED CODE WAYFINDING

The following graphic is a guide to finding your way around the Traverse City Form-Based Code by providing a quick reference to where to find the answers to common questions that a user of this code may have.



HOW TO USE THE TRAVERSE CITY FORM-BASED CODE

FORM BASED CODES AND THE PUBLIC REALM

The Traverse City Form-Based Code (FBC) is a development regulation (a type of zoning code) that emphasizes the physical character of development (its form) and de-emphasizes the regulation of land use.

The Traverse City FBC emphasizes the design of the public realm by regulating individual building character and the public realm.

The public realm is the area defined by the building walls, the streetscape and the street.

The Traverse City Form-Based Code is organized by Context Areas (similar to conventional zoning districts) and Building Types with Frontage Types. Frontage Types are specific to each Building Type and regulate how the building engages the public realm.

The Traverse City Form-Based Code also regulates land use, parking requirements, signs, and subdivision standards.

The Context Areas in the Traverse City FBC are within a Form-Based Code Area, which is the area on the City of Traverse Zoning Map (located Part 13, Title 2, Chapter 1359 of the City Zoning Ordinance) that is zoned as a Form Based Code District.

The **Public Realm** illustration on this page depicts the components of the public realm and references where each component is regulated within the Traverse City Form-Based Code.

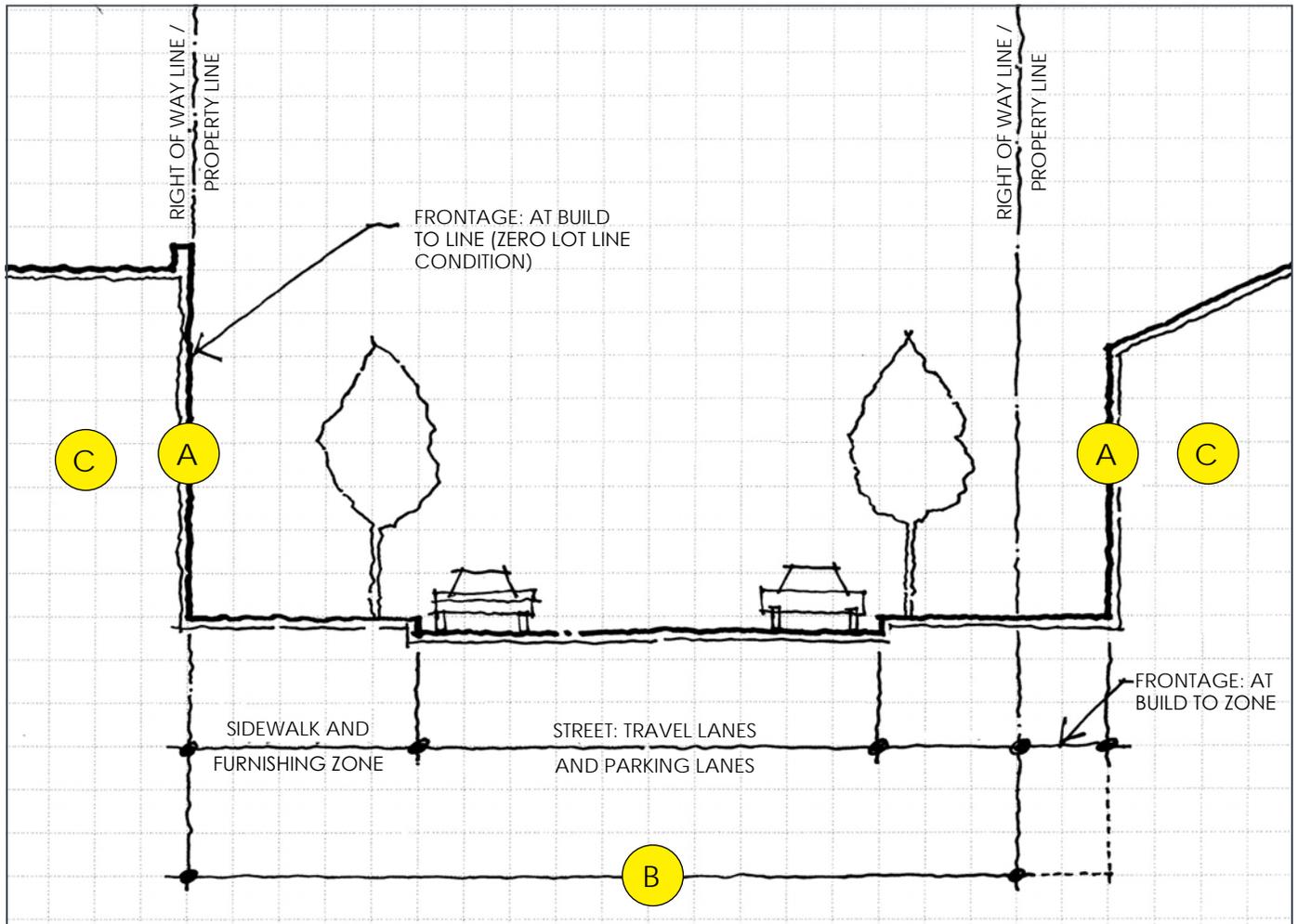
A Building Type: Section 2006 contains standards for Building Types that describe the various forms of buildings that are permitted as part of this Form-Based Code. Each Building Type has its own specific massing, composition, and vertical dimension.

Building Types also offer a variety of Frontage options that can be selected as part of the development. Frontages define the architecture and design components for the buildings entrance and street-facing facades.

B Public Realm (streets): Streets are not part of the regulation for this Form-Based Code.

C Use: Section 2005 contains use requirements for each Context Area. Context Areas are similar to conventional land use zoning districts. Each Context Area includes permitted Building Types, building height, site placement, and includes permitted and special uses.

ILLUSTRATION: PUBLIC REALM AND RELATED FORM-BASED REGULATIONS



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2001.00 TITLE

The following document shall be known as the Traverse City Form-Based Code.

For development standards not covered by the Traverse City Form-Based Code, the other applicable sections in the municipal Zoning Ordinance shall apply. All development shall also comply with all other local, state or federal regulations and ordinances.

2001.01 PURPOSE

The Traverse City Form-Based Code is intended to support redevelopment within Traverse City through the establishment of Context Areas, Building Types, frontage types by creating a compact, transit-oriented development pattern that fosters walkable corridors, mixed uses, and a diversity of residential development.

Throughout this Form Based Code, photographs are used for illustrative purposes only.

The Traverse City Form-Based Code reflects the desires and outcomes of the 2009 City of Traverse City Master Plan (including approved Sub Plans) and the 2013 City of Traverse City Corridors Master Plan.

Redevelopment within the Form-Based Code Area shall adhere to the provisions and standards established in this form-based code in order to realize the vision set forth in the previously referenced Plans.

The Traverse City Form-Based Code is a legal document regulating Building Types and frontage types wherever its Context Areas are applied. It shall do so in conjunction with the municipal Zoning Ordinance for areas zoned Form-Based Code (FBC) on the zoning map, by regulating land development to ensure a compact, urban form.

2001.02 SCOPE

The Traverse City Form-Based Code is a mandatory code that applies to all new development and redevelopment within the boundaries of the Zoning Map or other locations within the municipality where the applicable Context Areas have been applied as outlined in 2002.00, Applicability.

The boundaries generally include all lands that abut West Front Street beginning just west of North Division Avenue and extending east to all parcels on both sides of Hall Street.

Within the Traverse City Zoning Ordinance, properties zoned and thus regulated by the Traverse City Form-Based Code are within the Form Based Code (FBC) district. This district directs property owners and applicants to this Code for development standards. Wherever there is a conflict between the Traverse City Form-Based Code and other sections of the City's Zoning Ordinance (as applied to particular development within the FBC district), the requirements specifically set forth in the Form-Based Code shall prevail.

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2002.00 APPLICABILITY

The Traverse City Form-Based Code shall apply to development within the boundaries of the Form-Based Code District depicted on the Traverse City official Zoning Map. Development shall include the following:

- A. New development.
- B. Modifications to existing buildings:
 - 1. Building Footprint. Increasing or decreasing a building footprint by twenty-five percent (25%) or greater in area or when the cost of the addition is greater than or equal to fifty percent (50%) of the current assessed value of the building or structure. Phased construction to avoid compliance with this standard or breaking up construction such that the thresholds are avoided shall be prohibited.
 - 2. Building Facade.
 - i. Increasing or decreasing the building façade transparency by more than fifty percent (50%). Phased construction to avoid compliance with this standard or breaking up construction such that the 50% threshold is avoided shall be prohibited.
 - ii. For properties listed in the State or National Register of Historic Places or are located within a Local Historic District, the Secretary of Interior Standards for Rehabilitation shall supercede this Form-Based Code.
- C. Any change in land use impacting parking requirements.
- D. The Planning Commission may, at the request of the applicant, waive the applicability of this Code upon a finding that adhering to the Code would place undue hardship on the applicant. Should the Planning Commission waive the applicability of the Form-Based Code, the underlying district provisions shall apply. Underlying district provisions shall be determined as the previous zoning district prior to the rezoning to the Form-Based Code district.

2002.01 SITE PLAN REVIEW

- A. Full Site plan/plot plan. To expedite the development process, development zoned Form-Based Code that comply with the provisions of this Code shall require site plan review and approval by the City's Planning Director or Zoning Administrator.
 - 1. Section 1366.01 in the Traverse City Zoning Ordinance shall govern the type of submittal required, being either a full site plan or site diagram, and the waiver process.
 - 2. Review and approval shall be conducted by the City's Building Official for single-family detached dwellings and modifications to comply with accessibility requirements.
- B. Site Plan review procedures and requirements. Site plan submittal and review shall follow the processes set forth in Section 1366.02 of the Traverse City Zoning Ordinance, except review and approval shall be conducted by the City's Planning Director or his or her designee. Site plan required data shall adhere to Section 1366.03 of the Traverse City Zoning Ordinance, unless waived or required by the City's Planning Director per Section 1366.03, b.
- C. Standards for Granting Site Plan Approval. Site plan approval shall follow the standards of Sections 1366.04 and 1366.05.
- D. Planning Commission review. Full site plan review by the Planning Commission shall be required for any Master Site and Facilities Plan. Review standards are included in Section 1366.08 for Master Site and Facilities Plans.

2002.02 SPECIAL LAND USES

- A. Special Land Uses. Certain uses may require special land use review and approval by the Planning Commission. The special land use review and approval process shall adhere to Section 1364 of the Traverse City Zoning Ordinance. Specific standards for special land uses are determined by Context Area and Use, refer to Section 2005.

2002.03 FORM-BASED CODE DEPARTURES

- A. Minor Departures. The Zoning Administrator may, at the request of an applicant, waive certain minor adjustments to context area boundaries, building frontage standards and building type standards as outlined in Table 2002.03a.
- B. Major Departures. The Planning Commission may, at the request of the Zoning Administrator or applicant, waive certain major deviations to context area boundaries, building frontage standards and building type standards. Table 2002.03b provides a summary of major departures.
- C. Findings for Code Departures. The applicable reviewing body shall find that a departures to the Form-Based Code:
 - 1. Does not materially change the circulation and building location on the site;
 - 2. Does not alter the relationship between the buildings and the street;
 - 3. Does not allow a use not otherwise permitted in this Form-Based Code; and
 - 4. The departure is the minimum required necessary to meet the intent of the Form-Based Code.

2002.04 ADOPTION AND EFFECTIVE DATE

- A. City of Traverse City
 - 1. Adoption. The City of Traverse City Form-Based Code was adopted at a regular meeting of the Traverse City City Commission on xxxx.
 - 2. Effective Date. The City of Traverse City Form-Based Code shall take effect and be in force on and after xxxx in the City of Traverse City.

2002.03a MINOR DEPARTURES (by Zoning Administrator)			
SECTION	TYPE	MODIFICATION	FINDINGS
SECTION 2005 CONTEXT AREA	Area or boundary of context area	Not to exceed 15% increase or decrease in area or dimension	Changed conditions, existing development pattern, or consistency with Master Plan, When possible, boundaries shall follow parcel lines
SECTION 2006 BUILDING FRONTAGE	Location requirement, including required building line	Not to exceed 1' deviation in standard	Constraints related to topography, pattern of existing adjacent facades, or lot dimensions
SECTION 2006 BUILDING COMPOSITION	Transparency	deviation ≤ 5%	Constraints related to topography, pattern of existing adjacent facades, or lot dimensions
	Sign Band/ Horizontal Expression Line	deviation ≤ 6"	
SECTION 2006 BUILDING TYPE	Storefront base or pilaster	deviation ≤ 2"	Constraints related to topography, pattern of existing adjacent facades, or lot dimensions
	Size and massing	Not to exceed 5% deviation in standard	
SECTION 2006 BUILDING TYPE	Entrance intervals	Not to exceed 10% deviation in standard	Constraints related to topography, pattern of existing adjacent facades, or lot dimensions
	Story height		

2002.03b MAJOR DEPARTURES (by Planning Commission)			
SECTION	TYPE	MODIFICATION	FINDINGS
SECTION 2005 CONTEXT AREA	Area or boundary of context area	Not to exceed 30% increase or decrease in area or dimension	Changed conditions, existing development pattern, or consistency with Master Plan, When possible, boundaries shall follow parcel lines
SECTION 2006 BUILDING FRONTAGE	Location requirement, including required building line	Not to exceed 2' deviation in standard	Constraints related to topography, pattern of existing adjacent facades, or lot dimensions
SECTION 2006 BUILDING COMPOSITION	Transparency	deviation ≤ 10%	Constraints related to topography, pattern of existing adjacent facades, or lot dimensions
	Sign Band/ Horizontal Expression Line	deviation ≤ 1'	
SECTION 2006 BUILDING TYPE	Storefront base or pilaster	deviation ≤ 4"	Constraints related to topography, pattern of existing adjacent facades, or lot dimensions
	Size and massing	Not to exceed 10% deviation in standard	
SECTION 2006 BUILDING TYPE	Entrance intervals	Not to exceed 10% deviation in standard	Constraints related to topography, pattern of existing adjacent facades, or lot dimensions
	Story height		

2003.00 APPLICABILITY

Section 2003 identifies provisions that are general to all Traverse City Form-Based Code Context Areas.

Each Context Area established in this code shall meet the requirements of Section 2003. If there is a conflict between this Section and the individual requirements of the Context Area or Building Size and Massing Standards, the requirements of the Context Areas or Building Size and Massing Standards shall govern.

2003.01 HEIGHT MEASUREMENT OF BUILDINGS

- A. Building heights shall be measured in number of stories.
- B. Story height shall be measured from floor to ceiling for each floor of a building as indicated by specific building type.
- C. Attic and basements are not counted as stories.
- D. Overall building height (in feet) shall be measured as the vertical distance from the established grade to the highest point of the roof for flat roofs, to the deck line for mansard roofs, and to the mean height for gable, hip, gambrel and A-frame roofs.

2003.02 OUTDOOR SEATING

- A. Outdoor seating shall be permitted with the following building envelope types:
 1. Mixed Use Building
 2. Retail Building
 3. Flex Building
 4. Cottage Retail Building
 5. Live/Work Building
 6. Civic Building
- B. Outdoor seating shall require sketch plot review and approval by the Zoning Administrator.
- C. A minimum pedestrian clear space of six (6) feet shall be provided at all times.
- D. Outdoor dining areas shall be designed so as to be architecturally compatible with existing structures on the site.
- E. If located on public property or within the public right-of-way, an encroachment permit shall be required. Such permit shall be obtained through the applicable City department(s).

2003.03 TRANSPARENCY

Facade Transparency requirements for building elevations facing principal and secondary frontage lines are indicated as a percentage of clear glass to solid wall in Section 2006 Building Type Standards. Transparency shall be subject to the following requirements:

- A. Clear Glass. Only clear or lightly tinted glass in windows, doors and display windows shall be considered transparent.
- B. Calculation. The calculation of the percentage of transparency shall include only the glass within the windows, doors and display windows.
- C. Reflective Surfaces. The use of highly reflective surfaces, including reflective glass and mirrors is prohibited on the ground floor.
- D. Security Shutters. Exterior steel barriers, hurricane curtains and other security devices are not permitted on the exterior of the building. If they are located in the interior of the building, they may not be visible from the sidewalk or public right-of-way during business hours.
- E. Interior Display. Interior display shelves and merchandise are not permitted to block or obscure clear views into or out of the building at windows, doors or display windows that are included as part of the required transparency.
- F. Stairwells. Where stairwells are introduced to building walls that face streets or public rights-of-way, the exterior wall of the stairwell and exit door shall be at least forty (40) percent transparent at the ground floor and twenty (20) percent transparent at upper floors.

2003.04 ROOF TOP SCREENING

All rooftop mechanical, communication, and similar devices shall be screened from view of adjacent properties and streets. Screening shall be so designed as to be an integral part of the building. The screening material shall match the building's material and color or be another material or color that is compatible with the building exterior.

2003.05 TRASH ENCLOSURES

Open storage or refuse areas, including trash enclosures shall adhere to the following:

- A. Opaque Screen Wall. An opaque screen wall (vertical structured barrier to visibility at all times such as a fence or wall) is required around three (3) sides of the dumpster and trash bin area. Height shall not exceed six (6) feet.
- B. Trash enclosures shall not be placed or face a primary or side street.
- C. Trash enclosures shall be located behind the front building wall.

2003.06 ACCESSORY BUILDINGS, STRUCTURES AND USE

A. Accessory buildings and structures shall adhere to the following when accessory to these building types:

ACCESSORY BUILDINGS AND STRUCTURES		
ATTRIBUTE	DETACHED HOUSE	OTHER BUILDING TYPES
NUMBER OF UNITS	One per lot	Two; review and approval by Zoning Administrator is required
SIZE OF UNIT	Up to 1080 square feet	Less than principal building; review and approval by Zoning Administrator is required
HEIGHT OF UNIT	One story, up to 14', unless Carriage House Building Type (Refer to Carriage House Building Type in Section 2006.19 for height requirements)	
ACCESSORY BUILDING SETBACKS	Setbacks shall adhere to those of the applicable Context Area and shall be setback from front property line by 40' Shall be separated from main building by 10' Shall not be closer to property lines than the main building	
ACCESSORY BUILDING COMPOSITION	Any part of accessory building facing a front or side street shall adhere to the transparency requirements of the main building, per Building Type Standards, Section 2006.	
EXCEPTIONS	Accessory buildings shall not be permitted with detached house containing a carriage house on the same property.	Accessory buildings and structures are permitted in all Context Areas.

B. Drive-through Uses. Drive-through and related auto-oriented accessory uses are required to use the Drive-Through Frontage. Refer to Section 2005 Context Areas and 2006 Building Type Standards

2003.07 NONCONFORMITIES

Any lawful use of any land or building existing on **INSERT ADOPTION DATE** and located in a zoning district in which it would not be permitted as a new use under the regulations of the Traverse City Form-Based Code is hereby declared a nonconforming use and not in violation of this section, subject to the regulations of this Section.

- A. Nonconforming Uses of Buildings and Structures. Nonconforming uses of buildings and structures in the Form-Based Code shall adhere to the provisions of Chapter 1370.
- B. Nonconforming Due to Building Size and Massing. For buildings and structures that do not conform to the building size and massing standards of this Form-Based Code, but are otherwise conforming to use, certain relief is provided and such buildings and structures shall be deemed conforming. Alterations, repair, maintenance or other activities requiring building permit shall conform to the provisions of this Form-Based Code when such actions meet the Applicability provisions contained in Section 2002.
- C. Nonconforming Signs. Nonconforming signs shall meet the provisions of Chapter 1476.
 - 1. Nonconforming Sign Removal Incentive. In an effort to encourage the eventual elimination of nonconforming signs, protect public health, safety, and welfare, as well as reduce visual clutter and improve the aesthetics of the area, the following incentive is established to encourage conformance with Section 2009. The removal of a non-conforming sign and replacement with a conforming sign shall afford the applicant an additional 10% of sign area, exceeding the maximum permitted in Section 2009.

2003.08 LIGHTING

- A. Exterior site lighting, other than flag and decorative lighting, shall be confined to the development site and conform to the following:
1. Lamps and luminaries shall be shielded, hooded and/or louvered to provide a glare free area beyond the property line and beyond any public right-of-way, and the light source are not directly visible from beyond the boundary of the site.
 2. The light from any illumination source shall be designed so that the light intensity or brightness at any property line shall not exceed one (1) foot candle.
 3. Lighting fixtures shall have one hundred percent (100%) cut off above the horizontal plane at the lowest part of the point light source. The light rays may not be emitted by the installed fixture at angles above the horizontal plane. No light fixture shall be mounted higher than fifteen (15) feet above the average grade of the site.
 4. There shall be no lighting of a blinking, flashing, or fluttering nature, including changes in light intensity, brightness or color. Beacon and search lights are not permitted.
 5. No colored lights shall be used at any location or in any manner so as to be confused with or construed as traffic control devices.

2003.09 FENCING

Fencing shall be permitted with approval of the Zoning Administrator. Fencing shall adhere to the following additional provisions:

- A. Fencing shall be permitted in rear and side yards only, and located behind the front building wall.
- B. Fencing shall be a maximum of three (3) feet in height along side property lines; and six (6) feet in height at rear property lines and permitted in the NE context area for detached house building types only.
- C. Chain link fencing shall be prohibited.

2003.10 BUILDING WALLS FACING WATERWAYS

Building walls that face waterways shall have the same frontage requirements as the primary street frontage requirement for the Building Type. Refer to specific Building Type in Section 2006.

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2004.00 APPLICABILITY

The subdivision of lands within the Form-Based Code district shall adhere to Chapter 1244 and 1246 of the Traverse City Code of Ordinances, except as provided herein. Note that where the Design Standards within Chapter 1246 contradict the standards herein, the standards herein shall take precedence.

2004.01 PROCESS AND PROCEDURES

The subdivision process and procedures shall adhere to those identified in Chapter 1244, as amended.

2004.02 STREETS, CROSSWALKS AND PEDESTRIAN WALKWAYS

- A. Alleys. Alleys may be permitted in plats intended for all building types.
- B. Cul-de-sacs. Cul-de-sacs shall not be permitted within the Form-Based Code district.
- C. Curvilinear pattern. Residential streets may be curvilinear or rectilinear.

2004.03 BLOCKS

Block length shall not be less than 350 nor more than 800 feet, centerline of street to centerline of street.

2004.04 LOTS

- A. Corner lots. Corner lots in a residential plat shall have sufficient extra width to permit building setbacks and build-to requirements on both primary and side streets.
- B. Residential lots for detached house and duplex types shall have frontage not less than 40' on at least one street.
- C. Residential lots serving live/work and/or rowhouse building types shall be not less than 18' width on the primary street.
- D. Residential lots not listed above, shall be not less than 50' width on primary street.
- E. Lots for non-residential building types, including mixed use, shall be at least 20' in width on primary street.
- F. Refer to Section 2005 for minimum lot sizes per Building Type.

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2005.00 PURPOSE

Section 2005 identifies the Context Areas and Uses established for the Traverse City Form-Based Code and provides the attributes that are allowed in each Area. These attributes include use, building types, and building height. These Context Areas ensure that proposed development is consistent with the desires and outcomes of the 2009 City of Traverse City Master Plan (including approved Sub Plans) and the 2013 City of Traverse City Corridors Master Plan.

Each of the Context Areas described in this Section represent a spectrum of development character and intensity, ranging from the most urban intense (Downtown Edge) to the least urban intense (Neighborhood Edge). Each Context Area establishes character through its use of Building Types (Section 2006).

2005.01 APPLICABILITY

Each Context Area established in the Context Area Map shall meet the standards of this Section. Each Context Area includes permitted and special uses (if applicable), Building Types, and building height. Key maps are provided to quickly discern the context area location within the City of Traverse City.

2005.02 CONTENTS OF THIS SECTION

The properties subject to the Traverse City Form-Based Code are regulated in one of the following Context Zones.

- A. Downtown Edge (DE). Refer to Section 2005.08 for the intent and purpose, physical form requirements, range of land uses, and requirements for off-street parking placement.
- B. Main Street (MS). Refer to Section 2005.09 for the intent and purpose, physical form requirements, range of land uses, and requirements for off-street parking placement.
- C. Gateway (GW). Refer to Section 2005.10 for the intent and purpose, physical form requirements, range of land uses, and requirements for off-street parking placement.
- D. Neighborhood Edge (NE). Refer to Section 2005.11 for the intent and purpose, physical form requirements, range of land uses, and requirements for off-street parking placement.

2005.03 REQUIRED CRITERIA

In order for applications to be approved, each application shall meet the following criteria, as applicable

- A. Maintains the unique Context Areas identified on the Context Area Map (2005.04) and this Section to effectively implement the physical character envisioned in the 2009 City of Traverse City Master Plan (including approved Sub Plans) and the 2013 City of Traverse City Corridors Master Plan.
- B. Generates or maintains the intended physical character of the Context Area based on the policies and direction of the 2009 City of Traverse City Master Plan (including approved Sub Plans) and the 2013 City of Traverse City Corridors Master Plan.

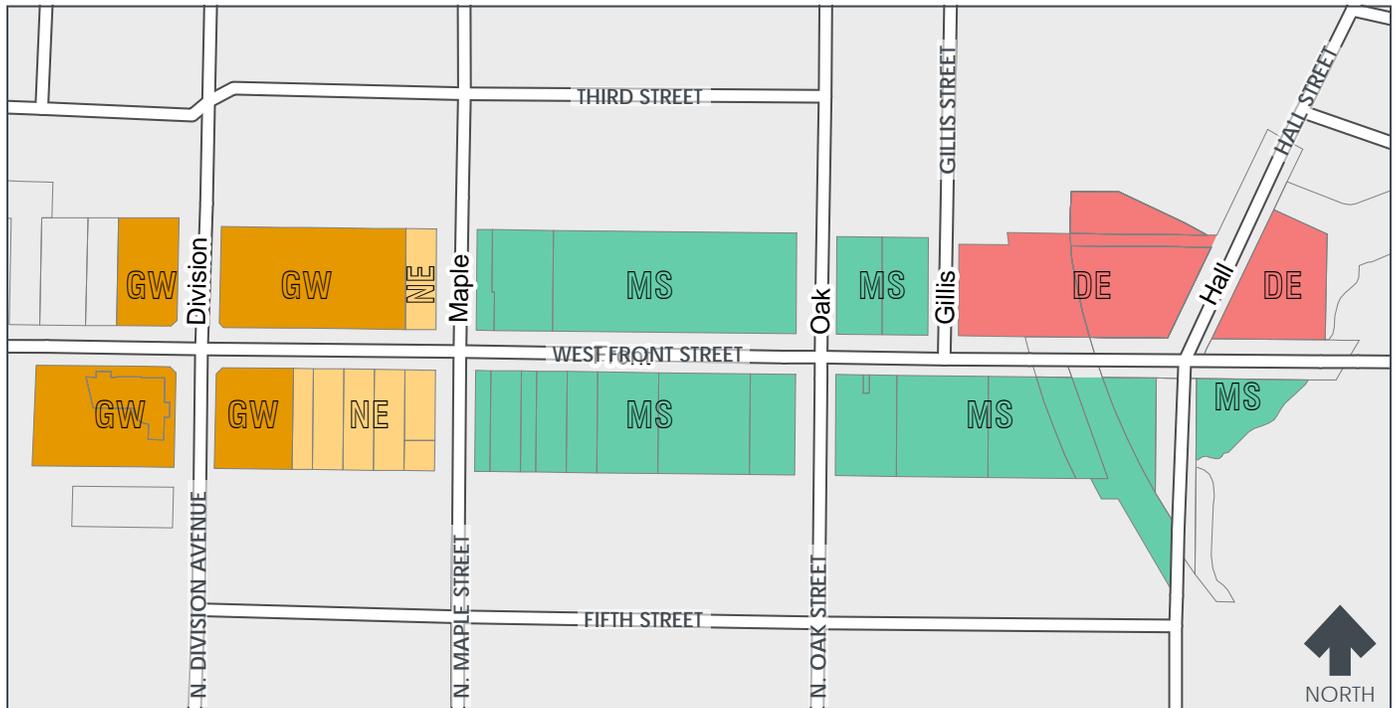
2005.04 SITES WITH MULTIPLE BUILDINGS

Sites that are larger than the lot size required by applicable Building Type may either:

- A. Leave the excess land open, in compliance with the requirements of the Context Area; or
- B. Design the site to accommodate multiple buildings per the site placement requirements for each Context Area.

2005.05 CONTEXT AREA MAP

This Map depicts Context Areas for the Traverse City Form-Based Code



CONTEXT AREA MAP KEY

DE DOWNTOWN EDGE

The **DE Context Area** is applied to parcels adjacent to the downtown core to provide a transition into downtown from other less intense areas. The Context Area promotes mixed-use commercial activities that reinforce and enhance a vibrant and walkable city.

The Context Area is characterized by mixed-use buildings set next to the sidewalk in order to create a defined street wall and promote commerce and shopping. These buildings contain street level retail uses with residential and office uses on the upper floors.

MS MAIN STREET

The **MS Context Area** is applied to parcels along commercial streets and adjacent side streets to promote a high level of walkability and vibrancy. The Context Area promotes a mixed of uses, diversity of building types, and higher density residential buildings.

The Context Area is characterized by a variety of buildings at or near the sidewalk in order to create a defined street wall and promote commerce and shopping. Buildings may contain retail uses and higher intensity residential uses at the street level, with residential and office uses on the upper floors.

GW GATEWAY

The **GW Context Area** is applied to parcels near and surrounding arterials and state highways to provide for appropriately scaled commercial nodes that can act as a gateway into downtown.

The Context Area is characterized by primarily commercial buildings at or near the sidewalk in order to create a defined street wall and promote commerce and shopping. Buildings may contain street level commercial uses with residential and office uses on the upper floors.

NE NEIGHBORHOOD EDGE

The **NE Context Area** is applied to parcels directly adjacent to residential neighborhoods to act as a transition from commercial areas. The Context Area promotes a mix of uses with a focus on residentially scaled building types.

The Context Area is characterized by primarily residential buildings at or near the sidewalk in order to create a defined street wall and promote street vitality. Buildings may contain retail uses and higher intensity residential uses at the street level, with residential uses on the upper floors.

Context Areas for the Traverse City Form Based-Code are summarized as follows:

MORE URBAN

LESS URBAN



DE DOWNTOWN EDGE	MS MAIN STREET	GW GATEWAY	NE NEIGHBORHOOD EDGE
			
<p>FORM and CHARACTER</p> <ul style="list-style-type: none"> A. Attached buildings B. Medium to large building footprint C. Building frontage at Build-to-Line (BTL) D. No side setbacks E. Storefront frontages 	<p>FORM and CHARACTER</p> <ul style="list-style-type: none"> A. Attached and detached buildings B. Medium to large building footprint C. Building frontage at Build-to-Zone (BTZ) D. Varied frontages with emphasis on commercial frontages on the ground floor 	<p>FORM and CHARACTER</p> <ul style="list-style-type: none"> A. Attached and detached buildings B. Medium to large building footprint C. Building frontage at Build-to-Zone (BTL) D. Varied frontages with emphasis on commercial frontages on the ground floor 	<p>FORM and CHARACTER</p> <ul style="list-style-type: none"> A. Detached buildings B. Medium to small building footprint C. Varied frontage within Build-to-Zone (BTZ) D. Primarily residentially scaled frontages like porches and stoops
<p>USES</p> <p>Commercial uses required on the ground floor with mix of uses on upper floors.</p>	<p>USES</p> <p>Mix of uses throughout with an emphasis on commercial uses on the ground floor.</p>	<p>USES</p> <p>Mix of uses throughout with an emphasis on commercial uses on the ground floor.</p>	<p>USES</p> <p>Limited and/or small scale commercial uses with an emphasis on residential uses.</p>
<p>BUILDING HEIGHT</p> <p>2 to 5 stories with floor heights per the requirements of specific Building Types. Also refer to Section 2005.07.</p>	<p>BUILDING HEIGHT</p> <p>2 to 3 stories with floor heights per the requirements of specific Building Types. Also refer to Section 2005.07.</p>	<p>BUILDING HEIGHT</p> <p>2 to 3 stories with floor heights per the requirements of specific Building Types. Also refer to Section 2005.07.</p>	<p>BUILDING HEIGHT</p> <p>2 story maximum with floor heights per the requirements of specific Building Types. Also refer to Section 2005.07.</p>
<p>BUILDING TYPES PERMITTED</p> <ul style="list-style-type: none"> ■ Mixed Use ■ Civic 	<p>BUILDING TYPES PERMITTED</p> <ul style="list-style-type: none"> ■ Mixed Use ■ Retail ■ Flex ■ Live / Work ■ Large Multi-plex ■ Small Multi-plex ■ Rowhouse ■ Carriage House ■ Civic 	<p>BUILDING TYPES PERMITTED</p> <ul style="list-style-type: none"> ■ Mixed Use ■ Flex ■ Live / Work 	<p>BUILDING TYPES PERMITTED</p> <ul style="list-style-type: none"> ■ Cottage Retail ■ Live / Work ■ Small Multi-plex ■ Rowhouse ■ Duplex ■ Detached House ■ Carriage House ■ Civic
<p>PARKING</p> <p>Off-street parking shall be provided in the rear of buildings with access by side streets and/or rear alleys.</p>	<p>PARKING</p> <p>Off-street parking shall be provided in the rear of buildings, or alternatively in the side yard screened with landscaping and a low masonry wall.</p>	<p>PARKING</p> <p>Off-street parking shall be provided in the rear of buildings, or alternatively in the side yard screened with landscaping and a low masonry wall.</p>	<p>PARKING</p> <p>Off-street parking shall be provided in the rear of buildings, or alternatively in the side yard screened with landscaping and a low masonry wall.</p>

2005.07 SUMMARY: PERMITTED BUILDING TYPE & HEIGHT PER CONTEXT AREA

BUILDING TYPE WITH FRONTAGE OPTIONS		CONTEXT AREAS			
		DE DOWNTOWN EDGE	MS MAIN STREET	GW GATEWAY	NE NEIGHBORHOOD EDGE
MIXED-USE BUILDING TYPE	 with STOREFRONT (depicted in photo)	5 Story MAX 2 Story MIN	3 Story MAX 2 Story MIN	3 Story MAX 2 Story MIN	
	with BALCONY	5 Story MAX 2 Story MIN	3 Story MAX 2 Story MIN	3 Story MAX 2 Story MIN	
	with DRIVE-THROUGH			3 Story MAX 2 Story MIN	
	with LIGHTWELL	5 Story MAX 2 Story MIN	3 Story MAX 2 Story MIN	3 Story MAX 2 Story MIN	
RETAIL BUILDING TYPE	 with STOREFRONT (depicted in photo)		1 Story building required		
	with LIGHTWELL		1 Story building required		
FLEX BUILDING TYPE	 with STOREFRONT (depicted in photo)		3 Story MAX 2 Story MIN	3 Story MAX 2 Story MIN	
	with TERRACE		3 Story MAX 2 Story MIN	3 Story MAX 2 Story MIN	
	with FORECOURT		3 Story MAX 2 Story MIN	3 Story MAX 2 Story MIN	
	with DOORYARD (depicted in photo)		3 Story MAX 2 Story MIN	3 Story MAX 2 Story MIN	
COTTAGE RETAIL BUILDING TYPE	 with STOREFRONT				2 Story MAX
	with DOORYARD				2 Story MAX
	with STOOP (depicted in photo)				2 Story MAX
LIVE / WORK BUILDING TYPE	 with STOREFRONT		3 Story MAX 2 Story MIN	3 Story MAX 2 Story MIN	
	with DOORYARD (depicted in photo)		3 Story MAX 2 Story MIN	3 Story MAX 2 Story MIN	2 Story building required
	with LIGHTWELL		3 Story MAX 2 Story MIN	3 Story MAX 2 Story MIN	
	with STOOP		3 Story MAX 2 Story MIN	3 Story MAX 2 Story MIN	2 Story building required

Context Areas that are shaded indicate Building Type and Frontage are not permitted in Context Area.

2005.07 SUMMARY: PERMITTED BUILDING TYPE & HEIGHT PER CONTEXT AREA (continued)

BUILDING TYPE WITH FRONTAGE OPTIONS		CONTEXT AREAS				
		DE DOWNTOWN EDGE	MS MAIN STREET	GW GATEWAY	NE NEIGHBORHOOD EDGE	
LARGE MULTI-PLEX BUILDING TYPE		with FORECOURT		3 Story MAX 2 Story MIN		
		with DOORYARD		3 Story MAX 2 Story MIN		
		with STOOP (depicted in photo)		3 Story MAX 2 Story MIN		
		with PROJECTING PORCH		3 Story MAX 2 Story MIN		
SMALL MULTI-PLEX BUILDING TYPE		with STOOP		3 Story MAX 2 Story MIN		2 Story building required
		with PROJECTING PORCH (depicted in photo)		3 Story MAX 2 Story MIN		2 Story building required
		with ENGAGED PORCH		3 Story MAX 2 Story MIN		2 Story building required
ROWHOUSE BUILDING TYPE		with LIGHTWELL		3 Story MAX 2 Story MIN		
		with STOOP (depicted in photo)		3 Story MAX 2 Story MIN		2 Story building required
		with PROJECTING PORCH		3 Story MAX 2 Story MIN		2 Story building required
DUPLIX BUILDING TYPE		with STOOP (depicted in photo)				2 Story MAX
		with PROJECTING PORCH				2 Story MAX
		with ENGAGED PORCH				2 Story MAX
DETACHED HOUSE BUILDING TYPE		with STOOP				2 Story MAX
		with PROJECTING PORCH				2 Story MAX
		with ENGAGED PORCH (depicted in photo)				2 Story MAX
CARRIAGE HOUSE BUILDING TYPE		Frontages not applicable to this Building Type. This Type shall only be used in conjunction with Detached House, Duplex, Rowhouse, or Live/Work Building Types.		2 Story building required		2 Story building required
CIVIC BUILDING TYPE		Frontages are not applicable to this Building Type.	5 Story MAX 2 Story MIN	3 Story MAX 2 Story MIN	3 Story MAX	2 Story MAX

Context Areas that are shaded indicate Building Type and Frontage are not permitted in Context Area.

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2005.08 DOWNTOWN EDGE (DE) CONTEXT AREA

A. CONTEXT AREA INTENT, DESCRIPTION AND FORM

INTENT

To reinforce, enhance, and support the downtown city core by providing local and regional service, retail, entertainment, civic, and public uses, as well as a variety of urban housing choices.

DESCRIPTION

The DE Context Area is applied to parcels adjacent to the downtown core to provide a transition into downtown from other less intense areas. The Context Area promotes mixed-use commercial activities that reinforce and enhance a vibrant and walkable city.

The Context Area is characterized by mixed-use buildings set next to the sidewalk in order to create a defined street wall and promote commerce and shopping. These buildings contain street level retail uses with residential and office uses on the upper floors.

FORM and CHARACTER

The following are generally appropriate form elements in this Context Area:

1. Attached buildings
2. Medium to large building footprint
3. Building frontage at Build-to-Line (BTL)
4. No side setbacks
5. Storefront frontages



B. CONTEXT AREA LOCATION



2005.07 DOWNTOWN EDGE (DE) CONTEXT AREA

C. STANDARDS FOR DOWNTOWN EDGE (DE) CONTEXT AREA

BUILDING SITE PLACEMENT

To determine the location of the building on the site including required Build-to-Line (BTL) and required setbacks refer to 2005.08.D.

BUILDING FRONTAGE SITE PLACEMENT

To determine the location of the building required building frontages on the site refer to 2005.08.E.

Specific requirements of permitted building frontages are located in Section 2006.

OFF-STREET PARKING SITE PLACEMENT

To determine the location of off-street parking on the site refer to 2005.08.F.

Number of parking spaces required and other specific parking requirements are located in Section 2007.

OFF-STREET PARKING ACCESS

To determine the access requirements for off-street parking on the site refer to Section 2005.08.G.

BUILDING ENCROACHMENTS

To determine what building elements can encroach into required setbacks, required Build-to-Zones, or public rights-of-way refer to 2005.08.H.

BUILDING HEIGHTS

To determine required building heights refer to Section 2005.08.I.

BUILDING TYPES CHARACTERISTICS

To determine permitted Building Type, permitted frontages, floor height, lot sizes, and building sizes refer to Section 2005.08.J.

Specific Building Type requirements are in Section 2006.

LAND USE

To determine permitted Land Uses in this Context Area refer to Section 2005.08.K.

2005.08 DOWNTOWN EDGE (DE) CONTEXT AREA

D. BUILDING SITE PLACEMENT

Buildings shall be located within the site per the following requirements and Diagram 5.01.

1. Front Build-to-Line (BTL) (at primary street):
 - Required BTL (no setback is permitted in this Context Area, building facade shall be at front property line).

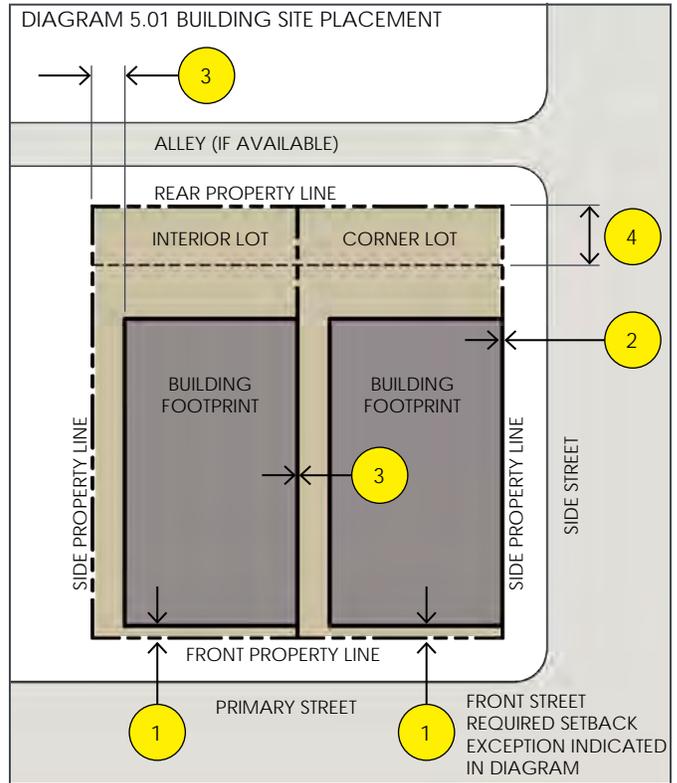
Exception: Properties with Front Street as primary street shall have the BTL setback 4 feet from front property line. (Depicted in Diagram 5.01)

Exception: Buildings with Lightwell Frontage may be setback from the property line per the requirements of the Lightwell Frontage.

2. Side Build-to-Line (BTL) (at side street):
 - Required BTL (no setback is permitted in this Context Area, building facade shall be at side property line).

Exception: Buildings with Lightwell Frontage may be setback from the property line per the requirements of the Lightwell Frontage.

3. Side Setback (at non-street locations):
 - 0 feet from side property line.
4. Rear Setback:
 - 0 feet from rear property line when no alley or street is present.
 - 5 feet from rear property line when alley or street is present.



E. BUILDING FRONTAGE SITE PLACEMENT (refer to Building Types in Section 2006 for permitted frontages)

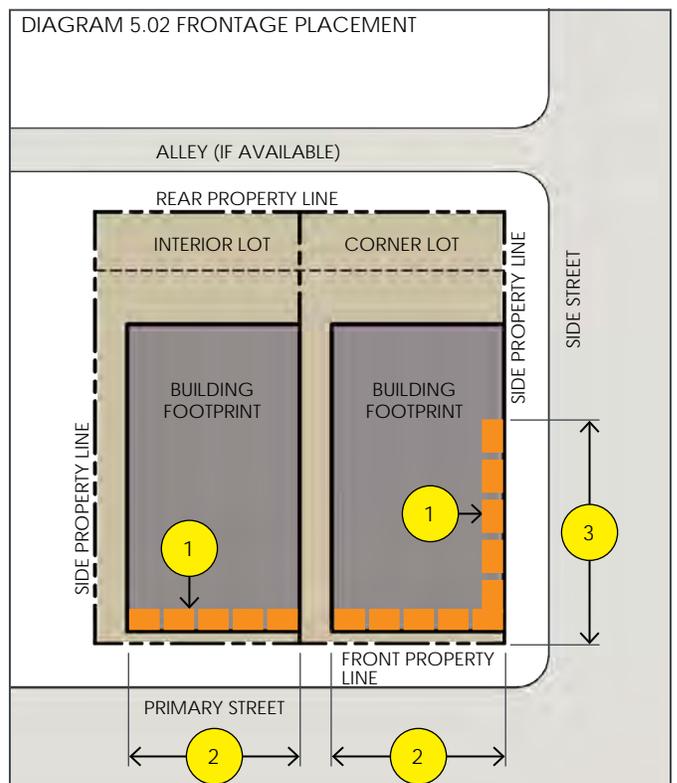
Building frontages shall be located per the following requirements and Diagram 5.02.

■■■■■ Indicates location of required building frontage

1. Required Frontage:
 - Buildings shall incorporate one (1) permitted frontage on sides facing primary streets, side streets, public rights-of-way, and/or civic space. Refer to specific Building Type for permitted frontages (Section 2006).

Exception: Flex Building Type may incorporate multiple Frontages as allowed by specific Building Type requirements (refer to Section 2006).

2. Frontage at Primary Street
 - Frontages on primary streets shall extend the entire length of the front building wall.
 - For corner sites, the frontage shall begin at the corner.
3. Frontage at Side Street
 - Frontages on side streets shall extend minimum 70% along side building wall, beginning at the corner.

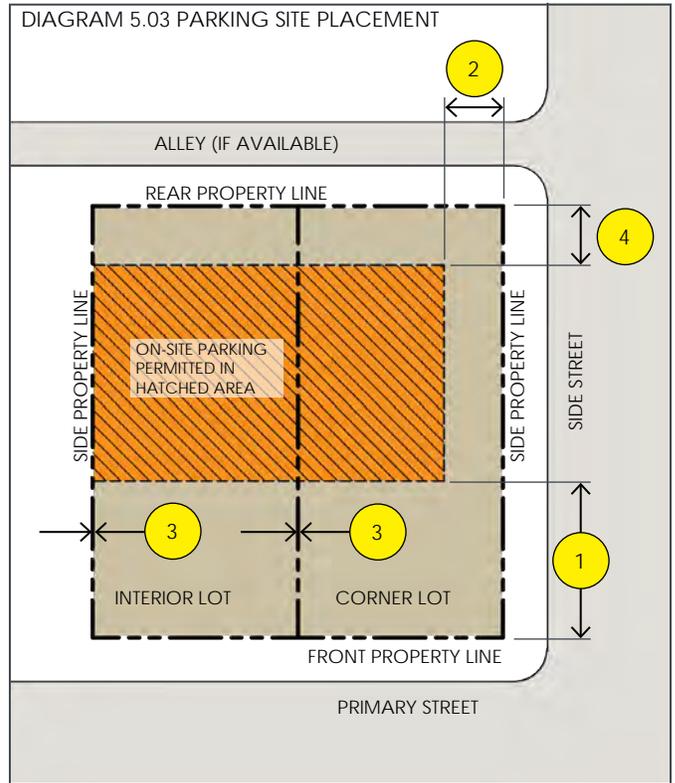


2005.08 DOWNTOWN EDGE (DE) CONTEXT AREA

F. OFF-STREET PARKING SITE PLACEMENT

Parking shall be located within the site per Diagram 5.03.

1. Front Setback:
 - 40 feet minimum from front property line.
 - Parking shall be screened from the primary street by a building.
2. Side Setback (from side street):
 - 5 feet minimum from side property line.
 - Parking shall be screened from side street by a building and/or wall or landscaping (refer to Section 2007.04).
3. Side Setback (from non-street locations):
 - 0 feet from side property line.
 - Parking is not required to be screened, except when residential use is adjacent (refer to 2007.04).
4. Rear Setback:
 - 0 feet from rear property line.
 - Parking is not required to be screened, except when adjacent to existing detached houses (refer to 2007.04).



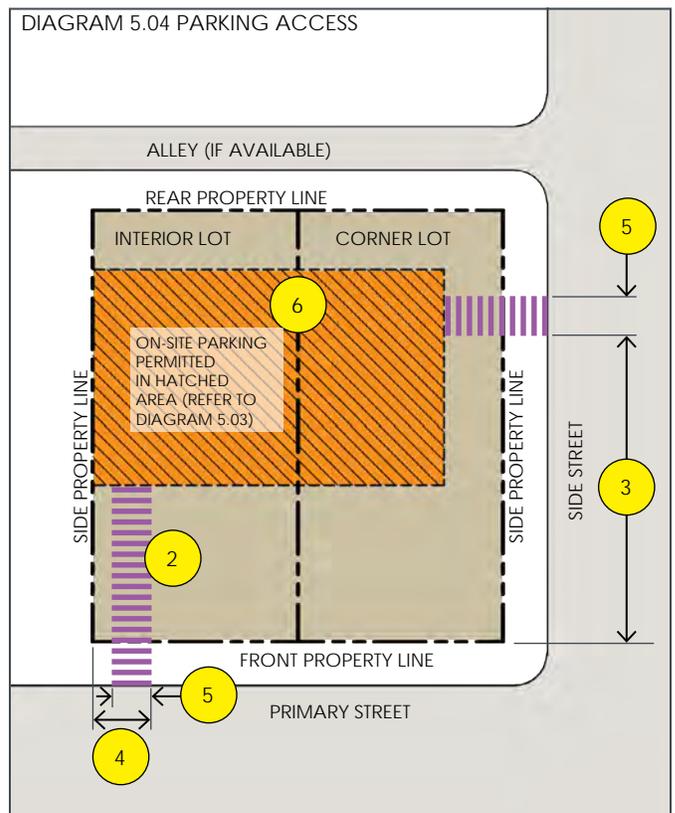
G. OFF-STREET PARKING ACCESS

Parking access shall be located per Diagram 5.04.

||||| Indicates parking entry and access.

1. Parking / service areas shall not be accessed from primary street.

Exception: Parking / service areas may be accessed from a primary street if there is no available access from an alley, rear street, or side street.
2. If parking / service areas are accessed from a primary street, only one parking entry is permitted per lot.
3. Parking Entry Location for Corner Lot:
 - 50 feet minimum from street corner at side streets.
4. Parking Entry Location for Interior Lot (when alley or rear street is not available):
 - Not to exceed 25 feet to outer edge of pavement from property line.
 - Entry locations shall be separated by a minimum of 100 feet, measured from pavement edge. Shared access is strongly encouraged.
5. Parking entry width shall be 20 feet maximum, measured from pavement edge.
6. Cross access between parking / service areas is strongly encouraged.



2005.08 DOWNTOWN EDGE (DE) CONTEXT AREA

H. BUILDING ENCROACHMENTS

Building elements may project into required setbacks or public rights-of-way per the following requirements and Diagram 5.05.

 Indicates area where building elements may encroach. Elements shall maintain a 3 foot clearance from back of curb. An encroachment permit shall be obtained from the applicable City department(s).

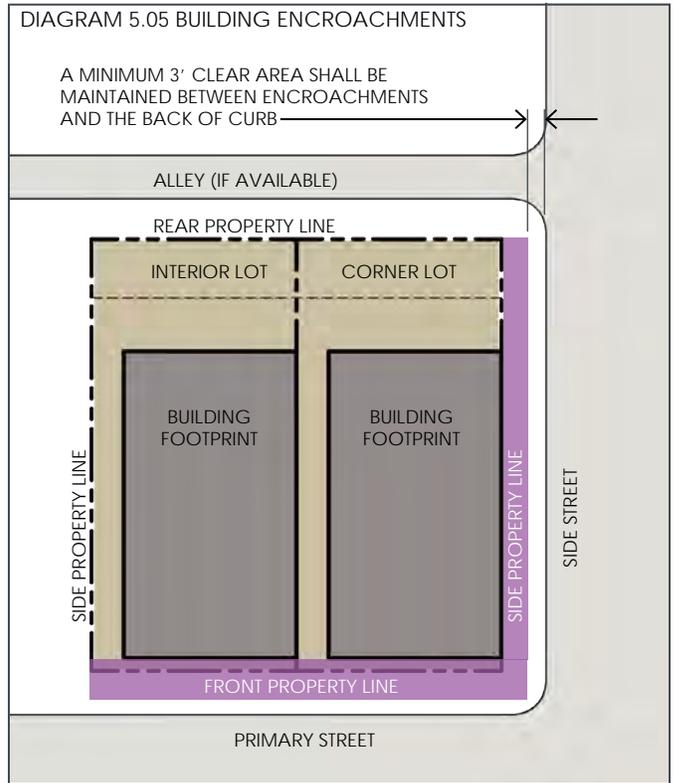
Balconies: A balcony with a minimum ground clearance of twelve (12) feet above adjacent grade may extend six (6) feet maximum from the exterior wall of the building.

Awnings and Canopies: An awning or canopy with a minimum ground clearance of ten (10) feet above adjacent grade may extend five (5) feet maximum from the exterior wall of the building.

Eaves and Cornices: Building eaves with a minimum ground clearance of twelve (12) feet above adjacent grade may extend eighteen (18) inches maximum from the exterior wall of the building.

Bay Windows: Bay windows with a minimum ground clearance of twelve (12) feet above adjacent grade may extend three (3) feet maximum from the exterior wall of the building.

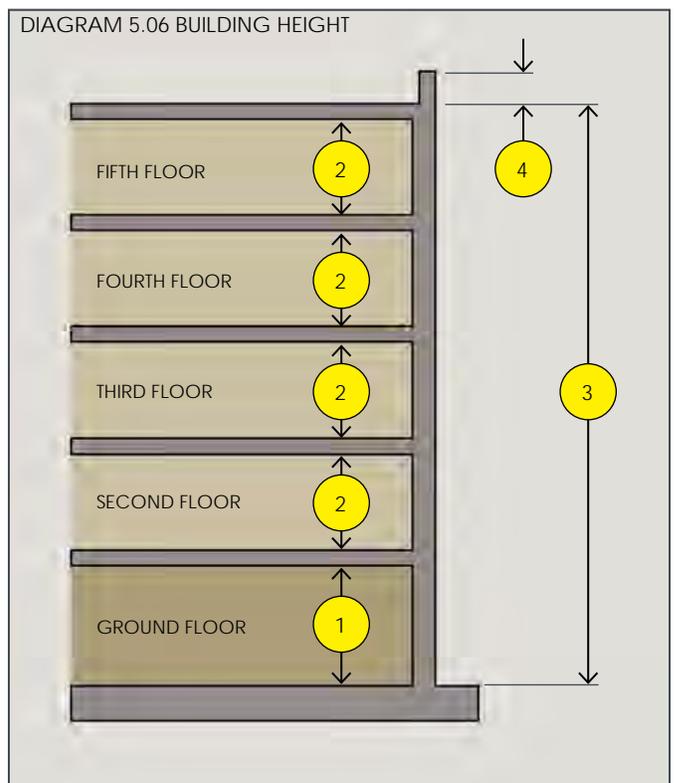
Projecting Signs: Projecting signs with a minimum ground clearance of eight (8) feet above adjacent grade may extend two (2) feet maximum from the exterior wall of the building.



I. BUILDING HEIGHT

Building heights shall comply with the following requirements and Diagram 5.06.

1. Ground floor height: Per the requirements of specific Building Types (refer to Section 2006).
2. Upper floor height (floor to ceiling):
 - Maximum: No maximum.
 - Minimum: 9 feet.
3. Overall building height:
 - Maximum, number of floors: 5.
 - Maximum, feet to roof deck: 75 feet.
4. Parapet height:
 - Maximum: 4 feet, measured from roof deck.
 - Minimum: 1 foot, measured from roof deck.



2005.08 DOWNTOWN EDGE (DE) CONTEXT AREA

J. PERMITTED BUILDING TYPES, HEIGHTS, LOT SIZES, and BUILDING SIZE

BUILDING TYPE WITH FRONTAGE OPTIONS		BUILDING HEIGHT	BUILDING LOT SIZE	BUILDING SIZE
MIXED-USE BUILDING TYPE	 with STOREFRONT (depicted in photo)	5 Story MAX 2 Story MIN	Lot Width: 20' MIN Lot Depth: 80' MIN	Ground floor not to exceed 6,000 gross square feet
	with BALCONY	5 Story MAX 2 Story MIN	Lot Width: 20' MIN Lot Depth: 80' MIN	Ground floor not to exceed 6,000 gross square feet
	with DRIVE-THROUGH			
	with LIGHTWELL	5 Story MAX 2 Story MIN	Lot Width: 20' MIN Lot Depth: 80' MIN	Ground floor not to exceed 6,000 gross square feet
RETAIL BUILDING TYPE	 with STOREFRONT (depicted in photo)			
	with LIGHTWELL			
FLEX BUILDING TYPE	 with STOREFRONT (depicted in photo)		Lot Width: 20' MIN Lot Depth: 80' MIN	Ground floor retail use not to exceed 6,000 gross square feet
	with TERRACE		Lot Width: 20' MIN Lot Depth: 80' MIN	Ground floor retail use not to exceed 6,000 gross square feet
	with FORECOURT		Lot Width: 20' MIN Lot Depth: 80' MIN	Ground floor retail use not to exceed 6,000 gross square feet
	with DOORYARD (depicted in photo)		Lot Width: 20' MIN Lot Depth: 80' MIN	Ground floor retail use not to exceed 6,000 gross square feet
COTTAGE RETAIL BUILDING TYPE	 with STOREFRONT			
	with DOORYARD			
	with STOOP (depicted in photo)			
LIVE / WORK BUILDING TYPE	 with STOREFRONT			
	with DOORYARD (depicted in photo)			
	with LIGHTWELL			
	with STOOP			

Shaded cell indicates Building Type and Frontage are not permitted in Context Area.

2005.08 DOWNTOWN EDGE (DE) CONTEXT AREA

J. PERMITTED BUILDING TYPES, HEIGHTS, LOT SIZES, and BUILDING SIZE (continued)

BUILDING TYPE WITH FRONTAGE OPTIONS		BUILDING HEIGHT	BUILDING LOT SIZE	BUILDING SIZE
LARGE MULTI-PLEX BUILDING TYPE		with FORECOURT		
		with DOORYARD		
		with STOOP (depicted in photo)		
		with PROJECTING PORCH		
SMALL MULTI-PLEX BUILDING TYPE		with STOOP		
		with PROJECTING PORCH (depicted in photo)		
		with ENGAGED PORCH		
ROWHOUSE BUILDING TYPE		with LIGHTWELL		
		with STOOP (depicted in photo)		
		with PROJECTING PORCH		
DUPLIX BUILDING TYPE		with STOOP (depicted in photo)		
		with PROJECTING PORCH		
		with ENGAGED PORCH		
DETACHED HOUSE BUILDING TYPE		with STOOP		
		with PROJECTING PORCH		
		with ENGAGED PORCH (depicted in photo)		
CARRIAGE HOUSE BUILDING TYPE		Frontages not applicable to this Building Type. This Type shall only be used in conjunction with Detached House, Duplex, Rowhouse, or Live/Work Building Types.		
CIVIC BUILDING TYPE		Frontages are not applicable to this Building Type.	5 Story MAX 2 Story MIN	Lot Width: 20' MIN Lot Depth: 80' MIN Building square footage not limited

Shaded cell indicates Building Type and Frontage are not permitted in Context Area.

2005.08 DOWNTOWN EDGE (DE) CONTEXT AREA

K. PERMITTED USES TABLE 5.01

Specific Use	MIXED USE BUILDING TYPE	RETAIL BUILDING TYPE	FLEX BUILDING TYPE	COTTAGE RETAIL BUILDING TYPE	LIVE / WORK BUILDING TYPE	LARGE MULTI-PLEX BUILDING TYPE	SMALL MULTI-PLEX BUILDING TYPE	ROWHOUSE BUILDING TYPE	DUPLEX BUILDING TYPE	DETACHED HOUSE BUILDING TYPE	CARRIAGE HOUSE BUILDING TYPE	CIVIC BUILDING TYPE
	Accessory building and use	P										
Accessory dwelling												
Adult foster care family home and small group home												
Art gallery	P											
Banquet hall and conference room	P											
Brewpub	P											
Coffee shop	P											
Convenience store	P											
Day care facility												
Drinking places without entertainment	P											
Drinking places with entertainment	P ¹											
Dwelling	P ²⁺											
Essential service												P
Funeral service, excepting crematory												
Grocery store	P											
Health service except hospital, sales and rentals	P ²⁺											
Home occupation												
Kennel												
Laundromat												
Lodging	P											
Membership organization												
Microbrewery/Distillery	P											
Office	P ²⁺											
Personal service	P											
Pet grooming service without runs or kennels												
Place of worship												P
Preschool												
Private club, lodges fraternity or sorority												
Public administration												P
Repair service	P											
Restaurant, family	P											

P = Permitted Use
 P¹ = Permitted Use on first floor only
 P²⁺ = Permitted Use on floors two and above
 Blank cell = Use not permitted in this Context Area
 Shaded areas represent Building Types that are not permitted in this Context Area.

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2005.09 MAIN STREET (MS) CONTEXT AREA

A. CONTEXT AREA INTENT, DESCRIPTION AND FORM

INTENT

To reinforce, enhance, and support the downtown city core and surrounding neighborhoods by providing local and regional service, retail, entertainment, civic, and public uses, as well as a variety of urban housing choices.

DESCRIPTION

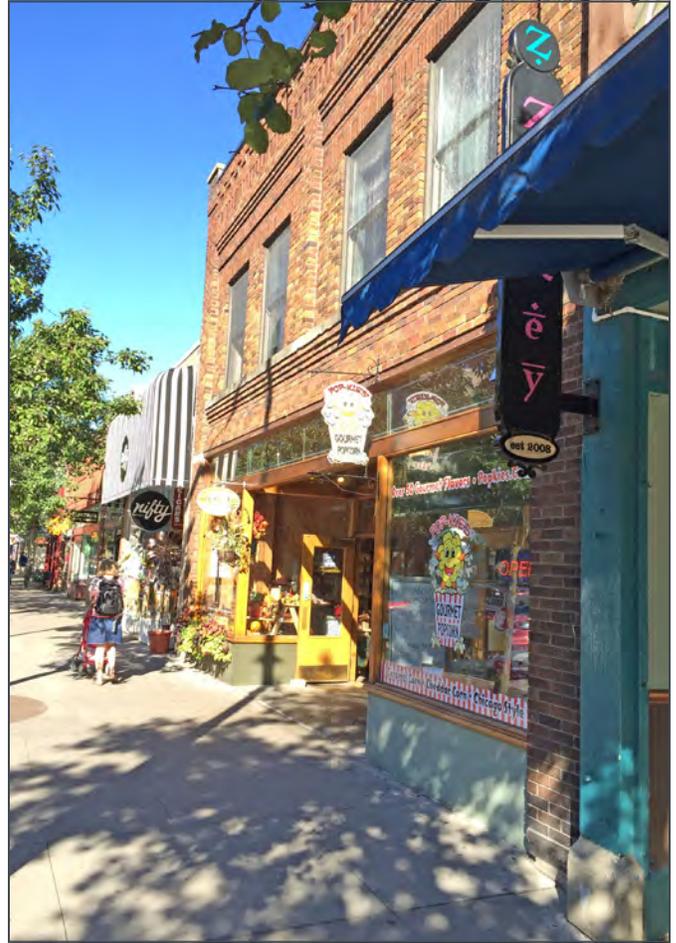
The MS Context Area is applied to parcels along commercial streets and adjacent side streets to promote a high level of walkability and vibrancy. The Context Area promotes a mixed of uses, diversity of building types, and higher density residential buildings.

The Context Area is characterized by a variety of buildings at or near the sidewalk in order to create a defined street wall and promote commerce and shopping. Buildings may contain retail uses and higher intensity residential uses at the street level, with residential and office uses on the upper floors.

FORM and CHARACTER

The following are generally appropriate form elements in this Context Area:

1. Attached and detached buildings
2. Medium to large building footprint
3. Building frontage within Build-to-Zone (BTZ)
4. No side setbacks
5. Varied frontages with emphasis on street level retail and commercial uses



B. CONTEXT AREA LOCATION



2005.08 MAIN STREET (MS) CONTEXT AREA

C. STANDARDS FOR MAIN STREET (MS) CONTEXT AREA

BUILDING SITE PLACEMENT

To determine the location of the building on the site including required Build-to-Zone (BTZ) and required setbacks refer to 2005.09.D.

BUILDING FRONTAGE SITE PLACEMENT

To determine the location of the building required building frontages on the site refer to 2005.09.E.

Specific requirements of permitted building frontages are located in Section 2006.

OFF-STREET PARKING SITE PLACEMENT

To determine the location of off-street parking on the site refer to 2005.09.F.

Number of parking spaces required and other specific parking requirements are located in Section 2007.

OFF-STREET PARKING ACCESS

To determine the access requirements for off-street parking on the site refer to Section 2005.09.G.

BUILDING ENCROACHMENTS

To determine what building elements can encroach into required setbacks, required Build-to-Zones, or public rights-of-way refer to 2005.09.H.

BUILDING HEIGHTS

To determine required building heights refer to Section 2005.09.I.

BUILDING TYPES CHARACTERISTICS

To determine permitted Building Type, permitted frontages, floor height, lot sizes, and building sizes refer to Section 2005.09.J.

Specific Building Type requirements are in Section 2006.

LAND USE

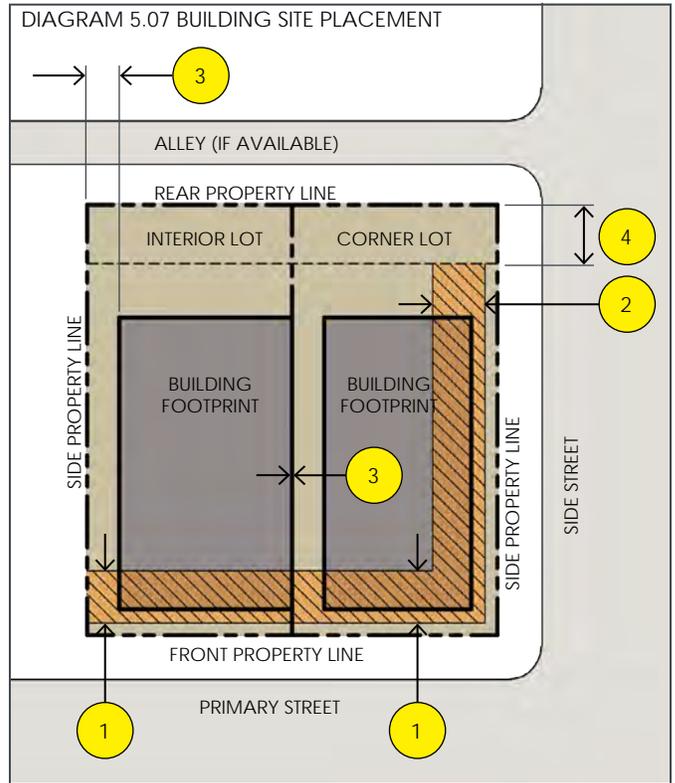
To determine permitted Land Uses in this Context Area refer to Section 2005.09.K.

2005.09 MAIN STREET (MS) CONTEXT AREA

D. BUILDING SITE PLACEMENT

Buildings shall be located within the site per the following requirements and Diagram 5.07.

1. Front Build-to-Zone (BTZ) (at primary street):
 - Required BTZ from 4 to 16 feet from front property line.
 - Mixed-Use and Retail Building Types in this Context Area shall have facade placed *shall be at a BTL of 4'* from the front property line (the placement of these two building types is not permitted to vary within the BTZ).
2. Side Build-to-Zone (BTZ) (at side street):
 - Required BTZ from 4 to 16 feet from side property line.
 - Mixed-Use and Retail Building Types in this Context Area shall have facade placed *shall be at a BTL of 4'* from the side property line (the placement of these two building types is not permitted to vary within the BTZ).
3. Side Setback (at non-street locations):
 - 0 feet from side property line.
4. Rear Setback:
 - 0 feet from rear property line when no alley or street is present.
 - 5 feet from rear property line when alley or street is present.



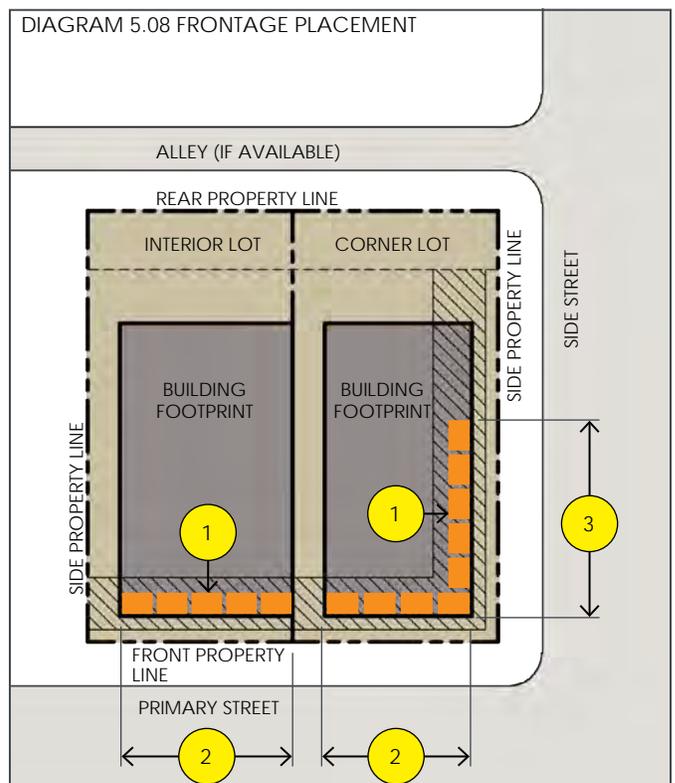
E. BUILDING FRONTAGE SITE PLACEMENT (refer to Building Types in Section 2006 for permitted frontages)

Building frontages shall be located per the following requirements and Diagram 5.08.

■■■■■ Indicates location of required building frontage

1. Required Frontage:
 - Buildings shall incorporate one (1) permitted frontage on sides facing primary streets, side streets, public rights-of-way, and/or civic space. Refer to specific Building Type for permitted frontages (Section 2006).

Exception: Flex, Live/Work, and Rowhouse Building Types may incorporate multiple Frontages as allowed by specific Building Type requirements (refer to Section 2006).
2. Frontage at Primary Street
 - Frontages on primary streets shall extend the entire length of the front building wall.
 - For corner sites, the frontage shall begin at the corner.
3. Frontage at Side Street
 - Frontages on side streets shall extend minimum 70% along side building wall, beginning at the corner.

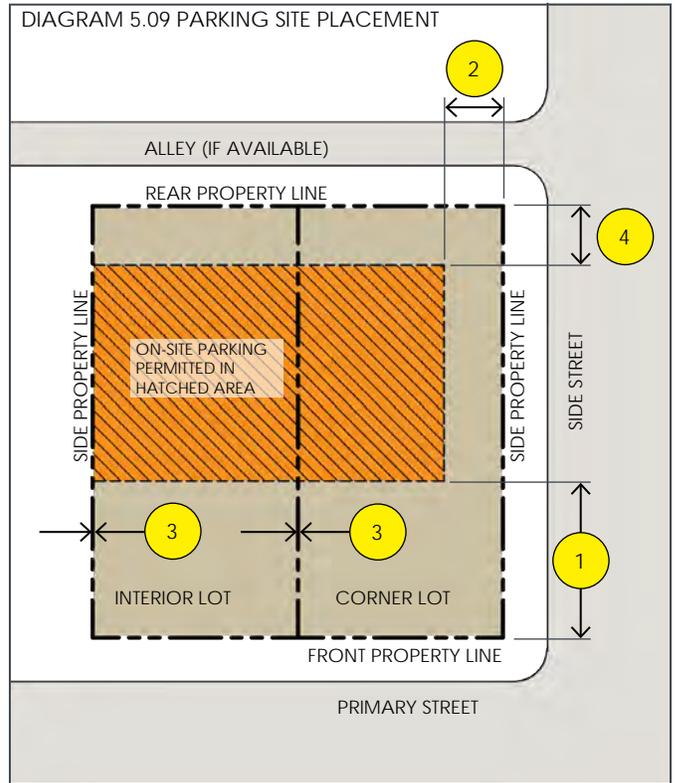


2005.09 MAIN STREET (MS) CONTEXT AREA

F. OFF-STREET PARKING SITE PLACEMENT

Parking shall be located within the site per Diagram 5.09.

1. Front Setback:
 - 40 feet minimum from front property line.
 - Parking shall be screened from the primary street by a building.
2. Side Setback (from side street):
 - 5 feet minimum from side property line.
 - Parking shall be screened from side street by a building and/or wall or landscaping (refer to Section 2007.04).
3. Side Setback (from non-street locations):
 - 0 feet from side property line.
 - Parking is not required to be screened, except when residential use is adjacent (refer to 2007.04).
4. Rear Setback:
 - 0 feet from rear property line.
 - Parking is not required to be screened, except when adjacent to existing detached houses (refer to 2007.04).



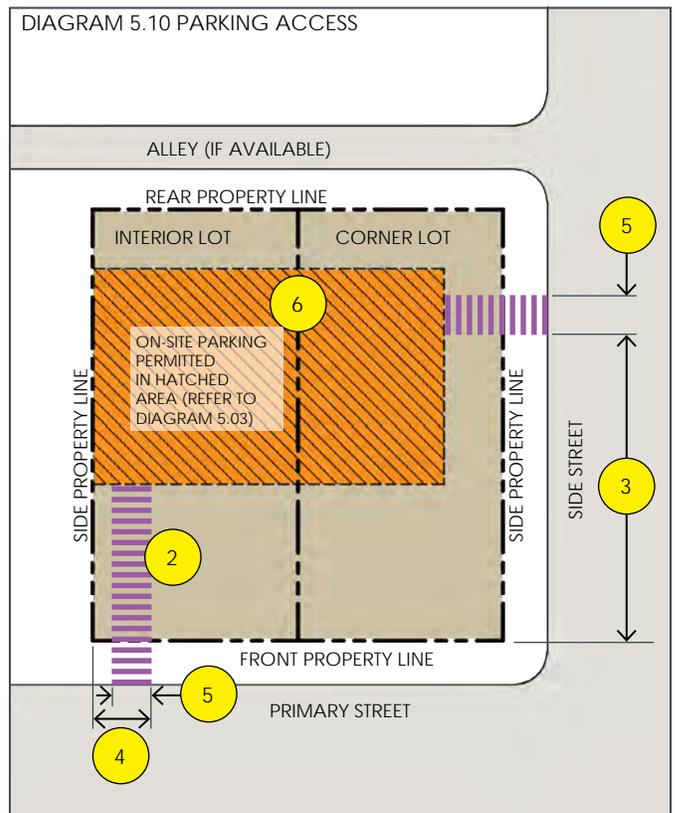
G. OFF-STREET PARKING ACCESS

Parking access shall be located per Diagram 5.10.

||||| Indicates parking entry and access.

1. Parking / service areas shall not be accessed from primary street.

Exception: Parking / service areas may be accessed from a primary street if there is no available access from an alley, rear street, or side street.
2. If parking / service areas are accessed from a primary street, only one parking entry is permitted.
3. Parking Entry Location for Corner Lot:
 - 50 feet minimum from street corner at side streets.
4. Parking Entry Location for Interior Lot (when alley or rear street is not available):
 - Not to exceed 25 feet to outer edge of pavement from property line.
 - Entry locations shall be separated by a minimum of 100 feet, measured from pavement edge. Shared access is strongly encouraged.
5. Parking entry width shall be 20 feet maximum, measured from pavement edge.
6. Cross access between parking / service areas is strongly encouraged.



2005.09 MAIN STREET (MS) CONTEXT AREA

H. BUILDING ENCROACHMENTS

Building elements may project into required setbacks or public rights-of-way per the following requirements and Diagram 5.11.

Indicates area where building elements may encroach. Elements shall maintain a 3 foot clearance from back of curb. An encroachment permit shall be obtained from the applicable City department(s).

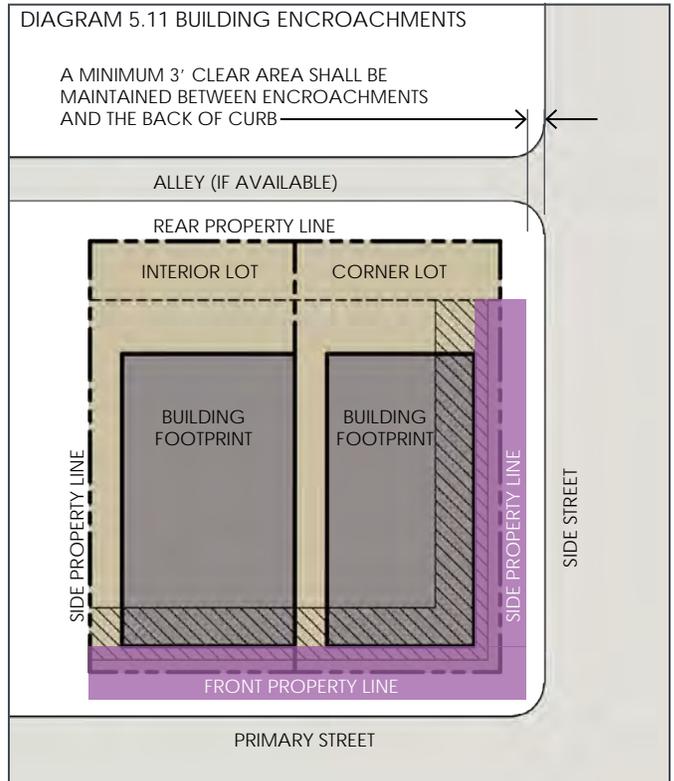
Balconies: A balcony with a minimum ground clearance of twelve (12) feet above adjacent grade may extend six (6) feet maximum from the exterior wall of the building.

Awnings and Canopies: An awning or canopy with a minimum ground clearance of ten (10) feet above adjacent grade may extend five (5) feet maximum from the exterior wall of the building.

Eaves and Cornices: Building eaves with a minimum ground clearance of twelve (12) feet above adjacent grade may extend eighteen (18) inches maximum from the exterior wall of the building.

Bay Windows: Bay windows with a minimum ground clearance of twelve (12) feet above adjacent grade may extend three (3) feet maximum from the exterior wall of the building.

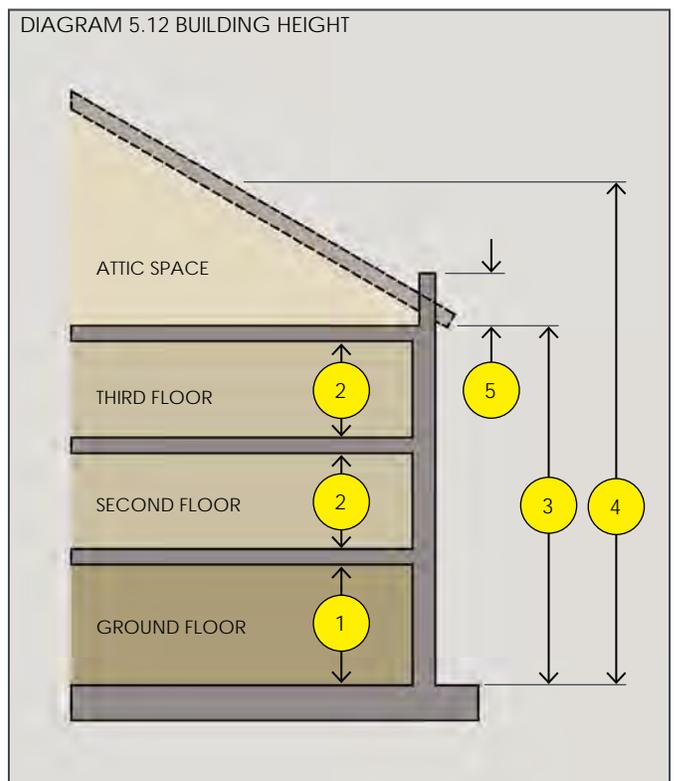
Projecting Signs: Projecting signs with a minimum ground clearance of eight (8) feet above adjacent grade may extend two (2) feet maximum from the exterior wall of the building.



I. BUILDING HEIGHT

Building heights shall comply with the following requirements and Diagram 5.12.

1. Ground floor height: Per the requirements of specific Building Types (refer to Section 2006).
2. Upper floor height (floor to ceiling):
 - Maximum: No maximum.
 - Minimum: 9 feet.
3. Overall building height (flat roof buildings):
 - Maximum, number of floors: 3.
 - Maximum, feet to roof deck: 45 feet.
4. Overall building height (sloped roof buildings):
 - Maximum, number of floors: 3.
 - Maximum, feet to midpoint of slope: 45 feet.
 - Attic space does not count as a floor and may be used as habitable space for residential use.
5. Parapet height (for flat roof buildings):
 - Maximum: 4 feet, measured from roof deck.
 - Minimum: 1 foot, measured from roof deck.



2005.09 MAIN STREET (MS) CONTEXT AREA

J. PERMITTED BUILDING TYPES, HEIGHTS, LOT SIZES, and BUILDING SIZE

BUILDING TYPE WITH FRONTAGE OPTIONS		BUILDING HEIGHT	BUILDING LOT SIZE	BUILDING SIZE
MIXED-USE BUILDING TYPE	 with STOREFRONT (depicted in photo)	3 Story MAX 2 Story MIN	Lot Width: 20' MIN Lot Depth: 80' MIN	Ground floor not to exceed 6,000 gross square feet
	with BALCONY	3 Story MAX 2 Story MIN	Lot Width: 20' MIN Lot Depth: 80' MIN	Ground floor not to exceed 6,000 gross square feet
	with DRIVE-THROUGH			
	with LIGHTWELL	3 Story MAX 2 Story MIN	Lot Width: 20' MIN Lot Depth: 80' MIN	Ground floor not to exceed 6,000 gross square feet
RETAIL BUILDING TYPE	 with STOREFRONT (depicted in photo)	1 STORY building required	Lot Width: 20' MIN Lot Depth: 80' MIN	Ground floor not to exceed 6,000 gross square feet
	with LIGHTWELL	1 STORY building required	Lot Width: 20' MIN Lot Depth: 80' MIN	Ground floor not to exceed 6,000 gross square feet
FLEX BUILDING TYPE	 with STOREFRONT (depicted in photo)	3 Story MAX 2 Story MIN	Lot Width: 20' MIN Lot Depth: 80' MIN	Ground floor retail use not to exceed 6,000 gross square feet
	with TERRACE	3 Story MAX 2 Story MIN	Lot Width: 20' MIN Lot Depth: 80' MIN	Ground floor retail use not to exceed 6,000 gross square feet
	with FORECOURT	3 Story MAX 2 Story MIN	Lot Width: 20' MIN Lot Depth: 80' MIN	Ground floor retail use not to exceed 6,000 gross square feet
	with DOORYARD (depicted in photo)	3 Story MAX 2 Story MIN	Lot Width: 20' MIN Lot Depth: 80' MIN	Ground floor retail use not to exceed 6,000 gross square feet
COTTAGE RETAIL BUILDING TYPE	 with STOREFRONT			
	with DOORYARD			
	with STOOP (depicted in photo)			
LIVE / WORK BUILDING TYPE	 with STOREFRONT	3 Story MAX 2 Story MIN	Lot Width: 18' MIN Lot Depth: 80' MIN	Ground floor retail use not to exceed 2,000 gross square feet
	with DOORYARD (depicted in photo)	3 Story MAX 2 Story MIN	Lot Width: 18' MIN Lot Depth: 80' MIN	Ground floor retail use not to exceed 2,000 gross square feet
	with LIGHTWELL	3 Story MAX 2 Story MIN	Lot Width: 18' MIN Lot Depth: 80' MIN	Ground floor retail use not to exceed 2,000 gross square feet
	with STOOP	3 Story MAX 2 Story MIN	Lot Width: 18' MIN Lot Depth: 80' MIN	Ground floor retail use not to exceed 2,000 gross square feet

Shaded cell indicates Building Type and Frontage are not permitted in Context Area.

2005.09 MAIN STREET (MS) CONTEXT AREA

J. PERMITTED BUILDING TYPES, HEIGHTS, LOT SIZES, and BUILDING SIZE (continued)

BUILDING TYPE WITH FRONTAGE OPTIONS		BUILDING HEIGHT	BUILDING LOT SIZE	BUILDING SIZE
LARGE MULTI-PLEX BUILDING TYPE	 with FORECOURT	3 Story MAX 2 Story MIN	Lot Width: 50' MIN Lot Depth: 100' MIN	Not Applicable
	with DOORYARD	3 Story MAX 2 Story MIN	Lot Width: 50' MIN Lot Depth: 100' MIN	Not Applicable
	with STOOP (depicted in photo)	3 Story MAX 2 Story MIN	Lot Width: 50' MIN Lot Depth: 100' MIN	Not Applicable
	with PROJECTING PORCH	3 Story MAX 2 Story MIN	Lot Width: 50' MIN Lot Depth: 100' MIN	Not Applicable
SMALL MULTI-PLEX BUILDING TYPE	 with STOOP	3 Story MAX 2 Story MIN	Lot Width: 50' MIN Lot Depth: 100' MIN	Not Applicable
	with PROJECTING PORCH (depicted in photo)	3 Story MAX 2 Story MIN	Lot Width: 50' MIN Lot Depth: 100' MIN	Not Applicable
	with ENGAGED PORCH	3 Story MAX 2 Story MIN	Lot Width: 50' MIN Lot Depth: 100' MIN	Not Applicable
ROWHOUSE BUILDING TYPE	 with LIGHTWELL	3 Story MAX 2 Story MIN	Lot Width: 18' MIN Lot Depth: 80' MIN	Not Applicable
	with STOOP (depicted in photo)	3 Story MAX 2 Story MIN	Lot Width: 18' MIN Lot Depth: 80' MIN	Not Applicable
	with PROJECTING PORCH	3 Story MAX 2 Story MIN	Lot Width: 18' MIN Lot Depth: 80' MIN	Not Applicable
DUPLEX BUILDING TYPE	 with STOOP (depicted in photo)			
	with PROJECTING PORCH			
	with ENGAGED PORCH			
DETACHED HOUSE BUILDING TYPE	 with STOOP			
	with PROJECTING PORCH			
	with ENGAGED PORCH (depicted in photo)			
CARRIAGE HOUSE BUILDING TYPE	 Frontages not applicable to this Building Type. This Type shall only be used in conjunction with Detached House, Duplex, Rowhouse, or Live/Work Building Types.	2 Story building required	Not Applicable Carriage House Building Type must be used as an accessory building to another Building Type (refer to Section 2006)	Not Applicable
CIVIC BUILDING TYPE	 Frontages are not applicable to this Building Type.	3 Story MAX 2 Story MIN	Lot Width: 20' MIN Lot Depth: 80' MIN	Building square footage not limited

Shaded cell indicates Building Type and Frontage are not permitted in Context Area.

2005.09 MAIN STREET (MS) CONTEXT AREA

K. PERMITTED USES TABLE 5.01

Specific Use	MIXED USE BUILDING TYPE	RETAIL BUILDING TYPE	FLEX BUILDING TYPE	COTTAGE RETAIL BUILDING TYPE	LIVE / WORK BUILDING TYPE	LARGE MULTI-PLEX BUILDING TYPE	SMALL MULTI-PLEX BUILDING TYPE	ROWHOUSE BUILDING TYPE	DUPLEX BUILDING TYPE	DETACHED HOUSE BUILDING TYPE	CARRIAGE HOUSE BUILDING TYPE	CIVIC BUILDING TYPE
	Accessory building and use	P	P	P		P	P	P	P			
Accessory dwelling											P	
Adult foster care family home and small group home												
Art gallery	P	P	P		P							
Banquet hall and conference room	P	P	P									
Brewpub	P	P	P									
Coffee shop	P	P	P			p ¹						
Convenience store	P	P	P									
Day care facility			P									
Drinking places without entertainment	P	P	P									
Drinking places with entertainment	p ¹	p ¹	P									
Dwelling	p ²⁺				P	P	P	P				
Essential service			P									P
Funeral service, excepting crematory			P									
Grocery store	P	P	P									
Health service except hospital, sales and rentals	p ²⁺		P									
Home occupation					P			P			P	
Kennel			P									
Laundromat			P									
Lodging	P		P									
Membership organization			P									
Microbrewery/Distillery	P	P	P									
Office	p ²⁺	P	P		P							
Personal service	P	P	P		P	p ¹						
Pet grooming service without runs or kennels			P									
Place of worship												P
Preschool			P									
Private club, lodges fraternity or sorority			P									
Public administration												P
Repair service	P		P									
Restaurant, family	P	P	P									

P = Permitted Use

P¹ = Permitted Use on first floor onlyP²⁺ = Permitted Use on floors two and above

Blank cell = Use not permitted in this Context Area

Shaded areas represent Building Types that are not permitted in this Context Area.

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2005.10 GATEWAY (GW) CONTEXT AREA

A. CONTEXT AREA INTENT, DESCRIPTION AND FORM

INTENT

To reinforce, enhance, and support the downtown city core and surrounding neighborhoods by providing local and regional service, retail, entertainment, civic, and public uses, as well as a variety of urban housing choices.

DESCRIPTION

The GW Context Area is applied to parcels near and surrounding arterials and state highways to provide for appropriately scaled commercial nodes that can act as a gateway into downtown.

The Context Area is characterized by primarily commercial buildings at or near the sidewalk in order to create a defined street wall and promote commerce and shopping. Buildings may contain street level commercial uses with residential and office uses on the upper floors.

FORM and CHARACTER

The following are generally appropriate form elements in this Context Area:

1. Attached and detached buildings
2. Medium to large building footprint
3. Building frontage within Build-to-Zone (BTZ)
4. No side setbacks
5. Varied frontages with emphasis on street level retail and commercial uses



B. CONTEXT AREA LOCATION



2005.10 GATEWAY (GW) CONTEXT AREA

C. STANDARDS FOR GATEWAY (GW) CONTEXT AREA

BUILDING SITE PLACEMENT

To determine the location of the building on the site including required Build-to-Zone (BTZ) and required setbacks refer to 2005.10.D.

BUILDING FRONTAGE SITE PLACEMENT

To determine the location of the building required building frontages on the site refer to 2005.10.E.

Specific requirements of permitted building frontages are located in Section 2006.

OFF-STREET PARKING SITE PLACEMENT

To determine the location of off-street parking on the site refer to 2005.10.F.

Number of parking spaces required and other specific parking requirements are located in Section 2007.

OFF-STREET PARKING ACCESS

To determine the access requirements for off-street parking on the site refer to Section 2005.10.G.

BUILDING ENCROACHMENTS

To determine what building elements can encroach into required setbacks, required Build-to-Zones, or public rights-of-way refer to 2005.10.H.

BUILDING HEIGHTS

To determine required building heights refer to Section 2005.10.I.

BUILDING TYPES CHARACTERISTICS

To determine permitted Building Type, permitted frontages, floor height, lot sizes, and building sizes refer to Section 2005.10.J.

Specific Building Type requirements are in Section 2006.

LAND USE

To determine permitted Land Uses in this Context Area refer to Section 2005.10.K.

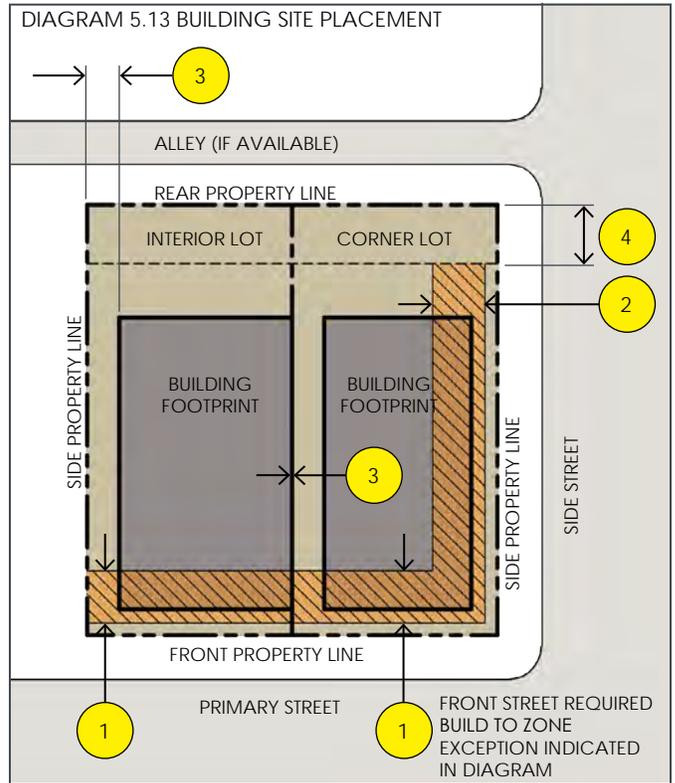
2005.10 GATEWAY (GW) CONTEXT AREA

D. BUILDING SITE PLACEMENT

Buildings shall be located within the site per the following requirements and Diagram 5.13.

1. Front Build-to-Zone (BTZ) (at primary street):
 - Required BTZ from 0 to 12 feet from front property line.
 - Mixed-Use and Retail Building Types in this Context Area shall have facade placed at front property line (the placement of these two building types is not permitted to vary within the BTZ).

Exception: Properties with Front Street as primary street shall have the BTZ from 4 to 12 feet and Mixed-Use and Retail Building Types shall be at a BTL of 4 feet from front property line.
2. Side Build-to-Zone (BTZ) (at side street):
 - Required BTZ from 4 to 12 feet from side property line.
 - Mixed-Use and Retail Building Types in this Context Area shall have facade placed 4' from the side property line (the placement of these two building types is not permitted to vary within the BTZ).
3. Side Setback (at non-street locations):
 - 0 feet from side property line.
4. Rear Setback:
 - 0 feet from rear property line when no alley or street is present.
 - 5 feet from rear property line when alley or street is present.



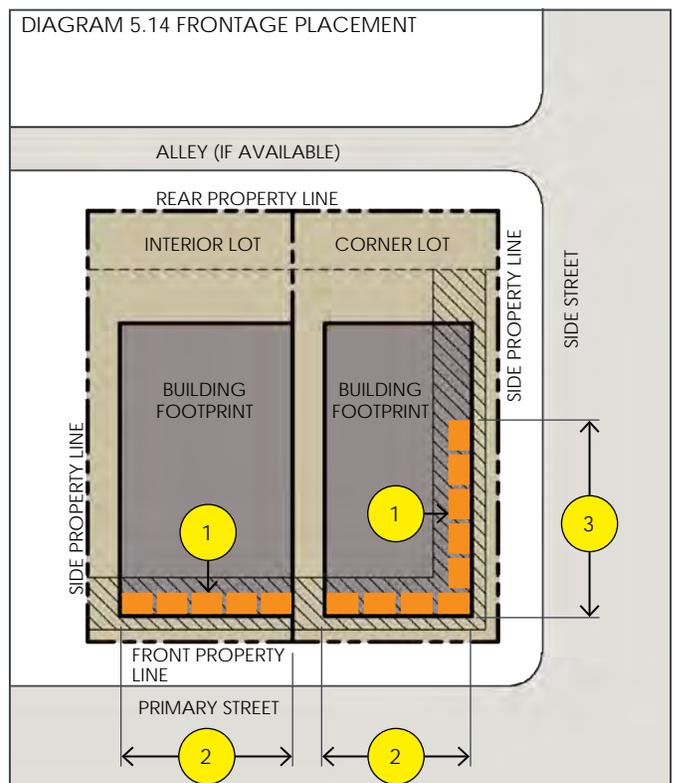
E. BUILDING FRONTAGE SITE PLACEMENT (refer to Building Types in Section 2006 for permitted frontages)

Building frontages shall be located per the following requirements and Diagram 5.14.

■■■■■ Indicates location of required building frontage

1. Required Frontage:
 - Buildings shall incorporate one (1) permitted frontage on sides facing primary streets, side streets, public rights-of-way, and/or civic space. Refer to specific Building Type for permitted frontages (Section 2006).

Exception: Flex and Live/Work Building Types may incorporate multiple Frontages as allowed by specific Building Type requirements (refer to Section 2006).
2. Frontage at Primary Street
 - Frontages on primary streets shall extend the entire length of the front building wall.
 - For corner sites, the frontage shall begin at the corner.
3. Frontage at Side Street
 - Frontages on side streets shall extend minimum 70% along side building wall, beginning at the corner.

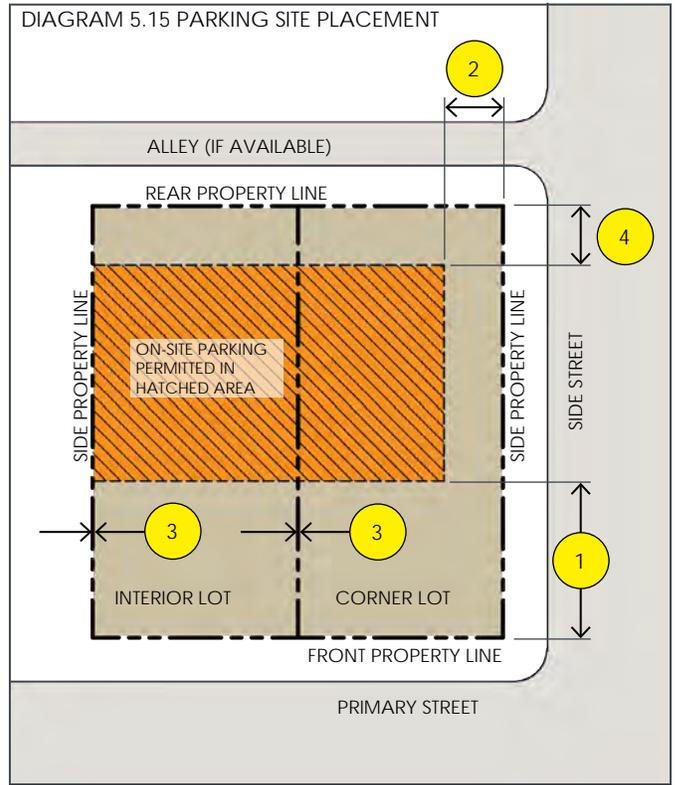


2005.10 GATEWAY (GW) CONTEXT AREA

F. OFF-STREET PARKING SITE PLACEMENT

Parking shall be located within the site per Diagram 5.15.

1. Front Setback:
 - 40 feet minimum from front property line.
 - Parking shall be screened from the primary street by a building.
2. Side Setback (from side street):
 - 5 feet minimum from side property line.
 - Parking shall be screened from side street by a building and/or wall or landscaping (refer to Section 2007.04).
3. Side Setback (from non-street locations):
 - 0 feet from side property line.
 - Parking is not required to be screened, except when residential use is adjacent (refer to 2007.04).
4. Rear Setback:
 - 0 feet from rear property line.
 - Parking is not required to be screened, except when adjacent to existing detached houses (refer to 2007.04).



G. OFF-STREET PARKING ACCESS

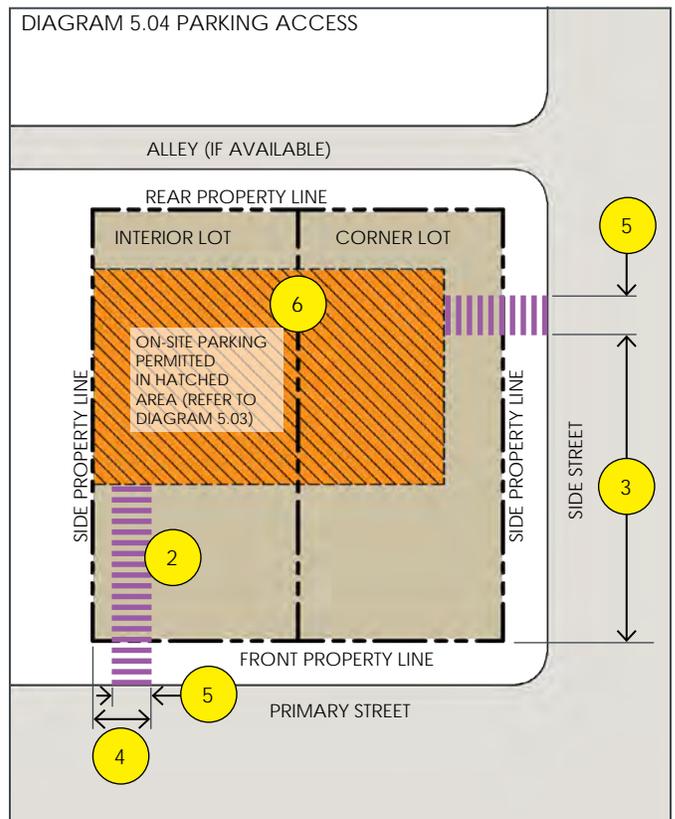
Parking access shall be located per Diagram 5.16.



Indicates parking entry and access.

1. Parking / service areas shall not be accessed from primary street.

Exception: Parking / service areas may be accessed from a primary street if there is no available access from an alley, rear street, or side street.
2. If parking / service areas are accessed from a primary street, only one parking entry is permitted.
3. Parking Entry Location for Corner Lot:
 - 50 feet minimum from street corner at side streets.
4. Parking Entry Location for Interior Lot (when alley or rear street is not available):
 - Not to exceed 25 feet to outer edge of pavement from property line.
 - Entry locations shall be separated by a minimum of 100 feet, measured from pavement edge. Shared access is strongly encouraged.
5. Parking entry width shall be 20 feet maximum, measured from pavement edge.
6. Cross access between parking / service areas is strongly encouraged.



2005.10 GATEWAY (GW) CONTEXT AREA

H. BUILDING ENCROACHMENTS

Building elements may project into required setbacks or public rights-of-way per the following requirements and Diagram 5.17.

 Indicates area where building elements may encroach. Elements shall maintain a 3 foot clearance from back of curb. An encroachment permit shall be obtained from the applicable City department(s).

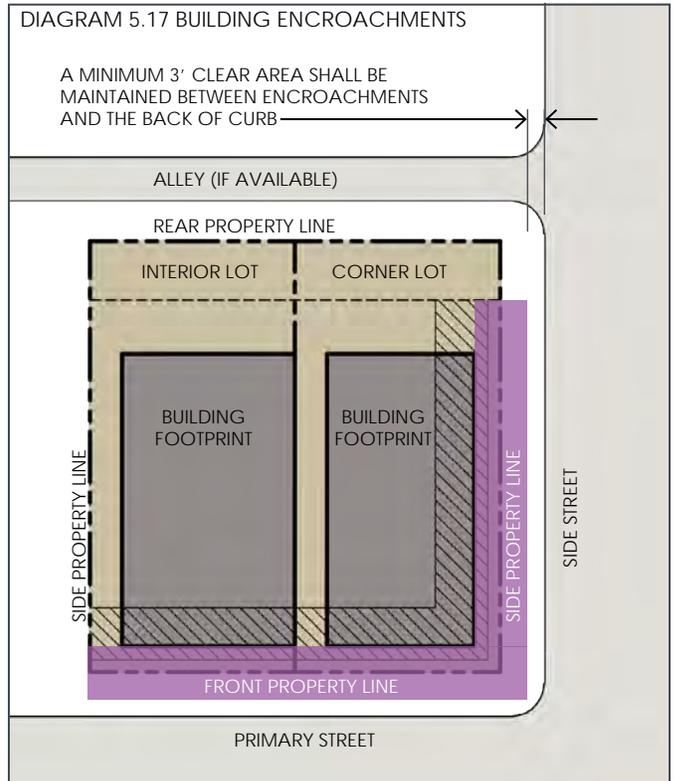
Balconies: A balcony with a minimum ground clearance of twelve (12) feet above adjacent grade may extend six (6) feet maximum from the exterior wall of the building.

Awnings and Canopies: An awning or canopy with a minimum ground clearance of ten (10) feet above adjacent grade may extend five (5) feet maximum from the exterior wall of the building.

Eaves and Cornices: Building eaves with a minimum ground clearance of twelve (12) feet above adjacent grade may extend eighteen (18) inches maximum from the exterior wall of the building.

Bay Windows: Bay windows with a minimum ground clearance of twelve (12) feet above adjacent grade may extend three (3) feet maximum from the exterior wall of the building.

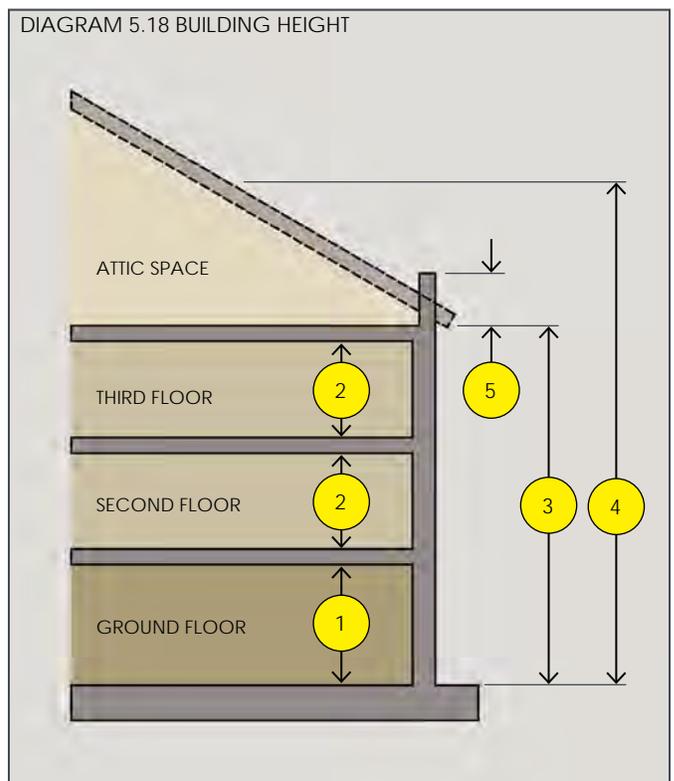
Projecting Signs: Projecting signs with a minimum ground clearance of eight (8) feet above adjacent grade may extend two (2) feet maximum from the exterior wall of the building.



I. BUILDING HEIGHT

Building heights shall comply with the following requirements and Diagram 5.18.

1. Ground floor height: Per the requirements of specific Building Types (refer to Section 2006).
2. Upper floor height (floor to ceiling):
 - Maximum: No maximum.
 - Minimum: 9 feet.
3. Overall building height (flat roof buildings):
 - Maximum, number of floors: 3.
 - Maximum, feet to roof deck: 45 feet.
4. Overall building height (sloped roof buildings):
 - Maximum, number of floors: 3.
 - Maximum, feet to midpoint of slope: 45 feet.
 - Attic space does not count as a floor and may be used as habitable space for residential use.
5. Parapet height (for flat roof buildings):
 - Maximum: 4 feet, measured from roof deck.
 - Minimum: 1 foot, measured from roof deck.



2005.10 GATEWAY (GW) CONTEXT AREA

J. PERMITTED BUILDING TYPES, HEIGHTS, LOT SIZES, and BUILDING SIZE

BUILDING TYPE WITH FRONTAGE OPTIONS		BUILDING HEIGHT	BUILDING LOT SIZE	BUILDING SIZE	
MIXED-USE BUILDING TYPE		with STOREFRONT (depicted in photo)	3 Story MAX 2 Story MIN	Lot Width: 20' MIN Lot Depth: 80' MIN	Ground floor not to exceed 6,000 gross square feet
		with BALCONY	3 Story MAX 2 Story MIN	Lot Width: 20' MIN Lot Depth: 80' MIN	Ground floor not to exceed 6,000 gross square feet
		with DRIVE-THROUGH	3 Story MAX 2 Story MIN	Lot Width: 20' MIN Lot Depth: 80' MIN	Ground floor not to exceed 6,000 gross square feet
		with LIGHTWELL	3 Story MAX 2 Story MIN	Lot Width: 20' MIN Lot Depth: 80' MIN	Ground floor not to exceed 6,000 gross square feet
RETAIL BUILDING TYPE		with STOREFRONT (depicted in photo)	1 STORY building required	Lot Width: 20' MIN Lot Depth: 80' MIN	Ground floor not to exceed 6,000 gross square feet
		with LIGHTWELL	1 STORY building required	Lot Width: 20' MIN Lot Depth: 80' MIN	Ground floor not to exceed 6,000 gross square feet
FLEX BUILDING TYPE		with STOREFRONT (depicted in photo)	3 Story MAX 2 Story MIN	Lot Width: 20' MIN Lot Depth: 80' MIN	Ground floor retail use not to exceed 6,000 gross square feet
		with TERRACE	3 Story MAX 2 Story MIN	Lot Width: 20' MIN Lot Depth: 80' MIN	Ground floor retail use not to exceed 6,000 gross square feet
		with FORECOURT	3 Story MAX 2 Story MIN	Lot Width: 20' MIN Lot Depth: 80' MIN	Ground floor retail use not to exceed 6,000 gross square feet
		with DOORYARD (depicted in photo)	3 Story MAX 2 Story MIN	Lot Width: 20' MIN Lot Depth: 80' MIN	Ground floor retail use not to exceed 6,000 gross square feet
COTTAGE RETAIL BUILDING TYPE		with STOREFRONT			
		with DOORYARD			
		with STOOP (depicted in photo)			
LIVE / WORK BUILDING TYPE		with STOREFRONT	3 Story MAX 2 Story MIN	Lot Width: 18' MIN Lot Depth: 80' MIN	Ground floor retail use not to exceed 2,000 gross square feet
		with DOORYARD (depicted in photo)	3 Story MAX 2 Story MIN	Lot Width: 18' MIN Lot Depth: 80' MIN	Ground floor retail use not to exceed 2,000 gross square feet
		with LIGHTWELL	3 Story MAX 2 Story MIN	Lot Width: 18' MIN Lot Depth: 80' MIN	Ground floor retail use not to exceed 2,000 gross square feet
		with STOOP	3 Story MAX 2 Story MIN	Lot Width: 18' MIN Lot Depth: 80' MIN	Ground floor retail use not to exceed 2,000 gross square feet

Shaded cell indicates Building Type and Frontage are not permitted in Context Area.

2005.10 GATEWAY (GW) CONTEXT AREA

J. PERMITTED BUILDING TYPES, HEIGHTS, LOT SIZES, and BUILDING SIZE (continued)

BUILDING TYPE WITH FRONTAGE OPTIONS		BUILDING HEIGHT	BUILDING LOT SIZE	BUILDING SIZE
LARGE MULTI-PLEX BUILDING TYPE	 with FORECOURT			
	with DOORYARD			
	with STOOP (depicted in photo)			
	with PROJECTING PORCH			
SMALL MULTI-PLEX BUILDING TYPE	 with STOOP			
	with PROJECTING PORCH (depicted in photo)			
	with ENGAGED PORCH			
ROWHOUSE BUILDING TYPE	 with LIGHTWELL			
	with STOOP (depicted in photo)			
	with PROJECTING PORCH			
DUPLIX BUILDING TYPE	 with STOOP (depicted in photo)			
	with PROJECTING PORCH			
	with ENGAGED PORCH			
DETACHED HOUSE BUILDING TYPE	 with STOOP			
	with PROJECTING PORCH			
	with ENGAGED PORCH (depicted in photo)			
CARRIAGE HOUSE BUILDING TYPE	 Frontages not applicable to this Building Type. This Type shall only be used in conjunction with Detached House, Duplex, Rowhouse, or Live/Work Building Types.			
CIVIC BUILDING TYPE	 Frontages are not applicable to this Building Type.	3 Story MAX 2 Story MIN	Lot Width: 20' MIN Lot Depth: 80' MIN	Building square footage not limited

Shaded cell indicates Building Type and Frontage are not permitted in Context Area.

2005.10 GATEWAY (GW) CONTEXT AREA

K. PERMITTED USES TABLE 5.01

Specific Use	MIXED USE BUILDING TYPE	RETAIL BUILDING TYPE	FLEX BUILDING TYPE	COTTAGE RETAIL BUILDING TYPE	LIVE / WORK BUILDING TYPE	LARGE MULTI-PLEX BUILDING TYPE	SMALL MULTI-PLEX BUILDING TYPE	ROWHOUSE BUILDING TYPE	DUPLEX BUILDING TYPE	DETACHED HOUSE BUILDING TYPE	CARRIAGE HOUSE BUILDING TYPE	CIVIC BUILDING TYPE
	Accessory building and use	P		P		P						
Accessory dwelling												
Adult foster care family home and small group home												
Art gallery	P		P		P							
Banquet hall and conference room	P		P									
Brewpub	P		P									
Coffee shop	P		P									
Convenience store	P		P									
Day care facility			P									
Drinking places without entertainment	P		P									
Drinking places with entertainment	P ¹		P									
Dwelling	P ²⁺				P							
Essential service			P									P
Funeral service, excepting crematory			P									
Grocery store	P		P									
Health service except hospital, sales and rentals	P ²⁺		P									
Home occupation					P							
Kennel			P									
Laundromat			P									
Lodging	P		P									
Membership organization			P									
Microbrewery/Distillery	P		P									
Office	P ²⁺		P									
Personal service	P		P									
Pet grooming service without runs or kennels			P									
Place of worship												P
Preschool			P									
Private club, lodges fraternity or sorority			P									
Public administration												P
Repair service	P		P									
Restaurant, family	P		P									

P = Permitted Use

P¹ = Permitted Use on first floor onlyP²⁺ = Permitted Use on floors two and above

Blank cell = Use not permitted in this Context Area

Shaded areas represent Building Types that are not permitted in this Context Area.

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2005.11 NEIGHBORHOOD EDGE (NE) CONTEXT AREA

A. CONTEXT AREA INTENT, DESCRIPTION AND FORM

INTENT

To reinforce, enhance, and support the downtown city core and surrounding neighborhoods by providing a variety of urban housing choices and small scale local retail opportunities.

DESCRIPTION

The NE Context Area is applied to parcels directly adjacent to residential neighborhoods to act as a transition from commercial areas. The Context Area promotes a mix of uses with a focus on residentially scaled building types.

The Context Area is characterized by primarily residential buildings at or near the sidewalk in order to create a defined street wall and promote street vitality. Buildings may contain retail uses and higher intensity residential uses at the street level, with residential uses on the upper floors.

FORM and CHARACTER

The following are generally appropriate form elements in this Context Area:

1. Detached buildings
2. Small to medium building footprint
3. Building frontage within Build-to-Zone (BTZ)
4. Side setbacks
5. Primarily residentially-scaled frontages



B. CONTEXT AREA LOCATION



2005.10 NEIGHBORHOOD EDGE CONTEXT AREA

C. STANDARDS FOR NEIGHBORHOOD EDGE (NE) CONTEXT AREA

BUILDING SITE PLACEMENT

To determine the location of the building on the site including required Build-to-Zone (BTZ) and required setbacks refer to 2005.11.D.

BUILDING FRONTAGE SITE PLACEMENT

To determine the location of the building required building frontages on the site refer to 2005.11.E.

Specific requirements of permitted building frontages are located in Section 2006.

OFF-STREET PARKING SITE PLACEMENT

To determine the location of off-street parking on the site refer to 2005.11.F.

Number of parking spaces required and other specific parking requirements are located in Section 2007.

OFF-STREET PARKING ACCESS

To determine the access requirements for off-street parking on the site refer to Section 2005.11.G.

BUILDING ENCROACHMENTS

To determine what building elements can encroach into required setbacks, required Build-to-Zones, or public rights-of-way refer to 2005.11.H.

BUILDING HEIGHTS

To determine required building heights refer to Section 2005.11.I.

BUILDING TYPES CHARACTERISTICS

To determine permitted Building Type, permitted frontages, floor height, lot sizes, and building sizes refer to Section 2005.11.J.

Specific Building Type requirements are in Section 2006.

LAND USE

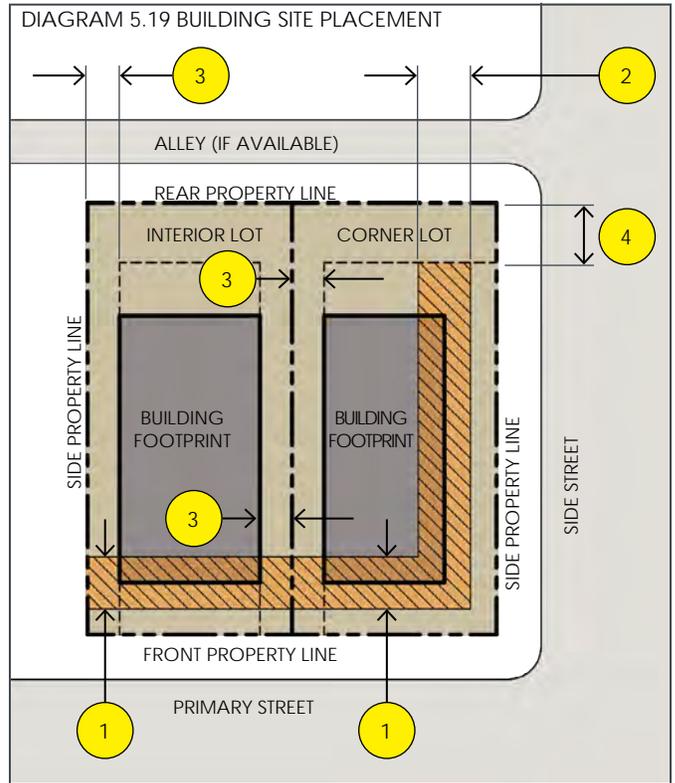
To determine permitted Land Uses in this Context Area refer to Section 2005.11.K.

2005.11 NEIGHBORHOOD EDGE (NE) CONTEXT AREA

D. BUILDING SITE PLACEMENT

Buildings shall be located within the site per the following requirements and Diagram 5.19.

1. Front Build-to-Zone (BTZ) (at primary street):
 - Required BTZ from 5 to 20 feet from front property line.
 - Cottage Retail Building Types in this Context Area shall have facade placed at front BTZ from 5 to 10 feet from front property line.
2. Side Build-to-Zone (BTZ) (at side street):
 - Required BTZ from 5 to 25 feet from side property line.
 - Cottage Retail Building Types in this Context Area shall have facade placed at front BTZ from 5 to 10 feet from front property line.
3. Side Setback (at non-street locations):
 - 5 feet from side property line.
4. Rear Setback:
 - 5 feet from rear property line when no alley or street is present.
 - 10 feet from rear property line when alley or street is present.



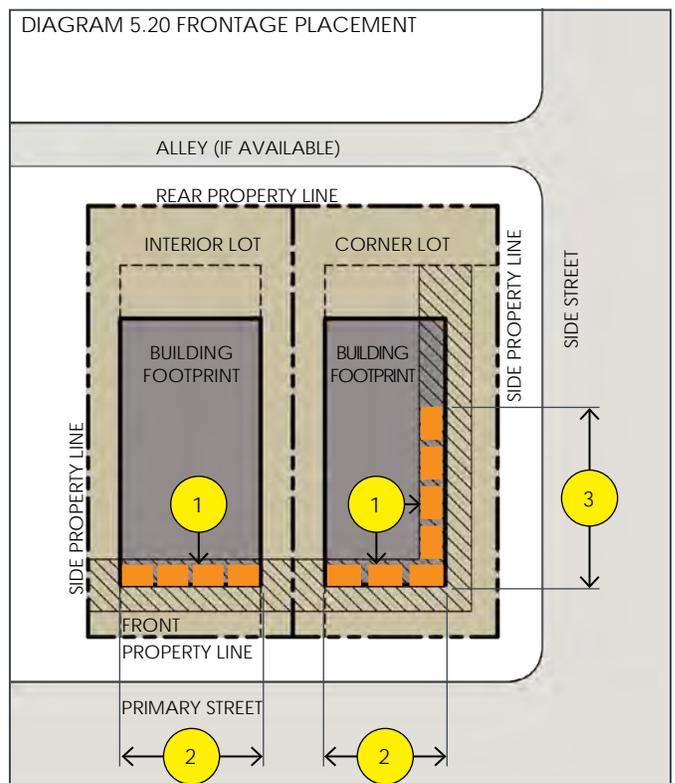
E. BUILDING FRONTAGE SITE PLACEMENT (refer to Building Types in Section 2006 for permitted frontages)

Building frontages shall be located per the following requirements and Diagram 5.20.

■■■■■ Indicates location of required building frontage

1. Required Frontage:
 - Buildings shall incorporate one (1) permitted frontage on sides facing primary streets, side streets, public rights-of-way, and/or civic space. Refer to specific Building Type for permitted frontages (Section 2006).

Exception: Live/Work and Rowhouse Building Types may incorporate multiple Frontages as allowed by specific Building Type requirements (refer to Section 2006).
2. Frontage at Primary Street
 - Frontages on primary streets shall extend the entire length of the front building wall.
 - For corner sites, the frontage shall begin at the corner.
3. Frontage at Side Street
 - Frontages on side streets shall extend minimum 70% along side building wall, beginning at the corner.

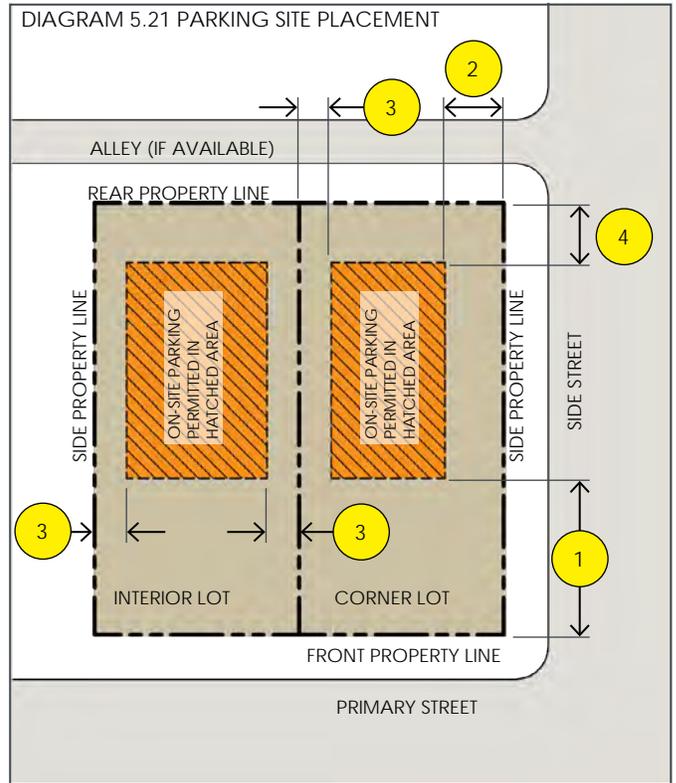


2005.11 NEIGHBORHOOD EDGE CONTEXT AREA

F. OFF-STREET PARKING SITE PLACEMENT

Parking shall be located within the site per Diagram 5.21.

1. Front Setback:
 - 40 feet minimum from front property line.
 - Parking shall be screened from the primary street by a building.
2. Side Setback (from side street):
 - Parking shall not extend past side facade of building.
 - Parking shall be screened from side street by a building and/or wall or landscaping (refer to Section 2007.04).
3. Side Setback (from non-street locations):
 - 5 feet from side property line.
 - Parking is not required to be screened, except when residential use is adjacent (refer to 2007.04).
4. Rear Setback:
 - 0 feet from rear property line.
 - Parking is not required to be screened, except when adjacent to existing detached houses (refer to 2007.04).



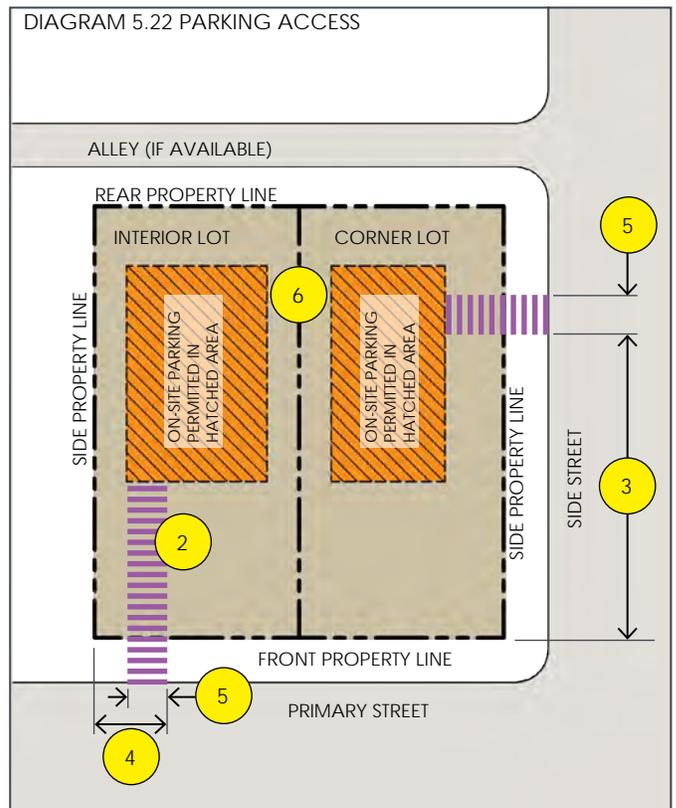
G. OFF-STREET PARKING ACCESS

Parking access shall be located per Diagram 5.22.

||||| Indicates parking entry and access.

1. Parking / service areas shall not be accessed from primary street.

Exception: Parking / service areas may be accessed from a primary street if there is no available access from an alley, rear street, or side street.
2. If parking / service areas are accessed from a primary street, only one parking entry is permitted.
3. Parking Entry Location for Corner Lot:
 - 50 feet minimum from street corner at side streets.
4. Parking Entry Location for Interior Lot (when alley or rear street is not available):
 - Not to exceed 25 feet to outer edge of pavement from property line.
 - Entry locations shall be separated by a minimum of 100 feet, measured from pavement edge. Shared access is strongly encouraged.
5. Parking entry width shall be 20 feet maximum, measured from pavement edge.
6. Cross access between parking / service areas is strongly encouraged.



2005.11 NEIGHBORHOOD EDGE (NE) CONTEXT AREA

H. BUILDING ENCROACHMENTS

Building elements may project into required setbacks or public rights-of-way per the following requirements and Diagram 5.23.

 Indicates area where building elements may encroach. Elements shall maintain a 3 foot clearance from back of curb. An encroachment permit shall be obtained from the applicable City department(s).

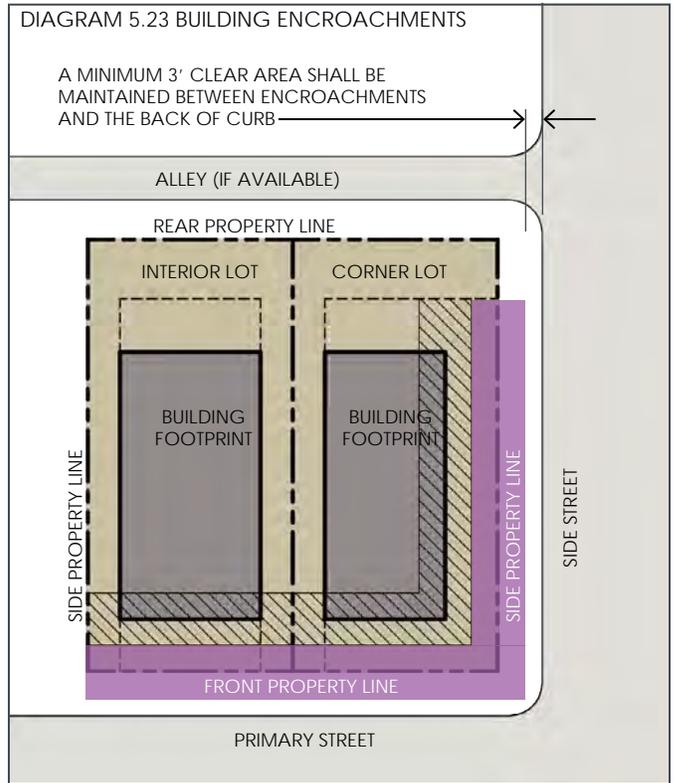
Balconies: A balcony with a minimum ground clearance of twelve (12) feet above adjacent grade may extend six (6) feet maximum from the exterior wall of the building.

Awnings and Canopies: An awning or canopy with a minimum ground clearance of ten (10) feet above adjacent grade may extend five (5) feet maximum from the exterior wall of the building.

Eaves and Cornices: Building eaves with a minimum ground clearance of twelve (12) feet above adjacent grade may extend eighteen (18) inches maximum from the exterior wall of the building.

Bay Windows: Bay windows with a minimum ground clearance of twelve (12) feet above adjacent grade may extend three (3) feet maximum from the exterior wall of the building.

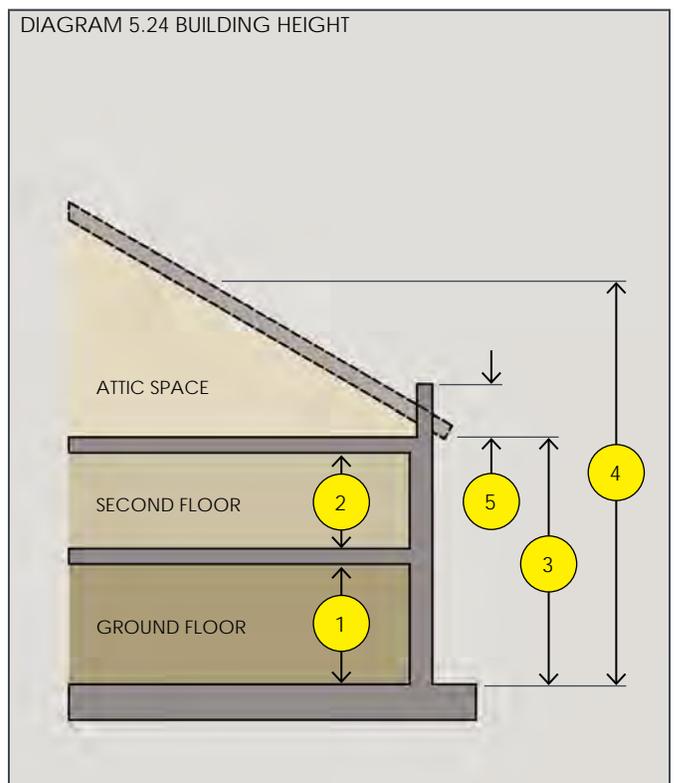
Projecting Signs: Projecting signs with a minimum ground clearance of eight (8) feet above adjacent grade may extend two (2) feet maximum from the exterior wall of the building.



I. BUILDING HEIGHT

Building heights shall comply with the following requirements and Diagram 5.24.

1. Ground floor height: Per the requirements of specific Building Types (refer to Section 2006).
2. Upper floor height (floor to ceiling):
 - Maximum: No maximum.
 - Minimum: 9 feet.
3. Overall building height (flat roof buildings):
 - Maximum, number of floors: 2.
 - Maximum, feet to roof deck: 35 feet.
4. Overall building height (sloped roof buildings):
 - Maximum, number of floors: 2.
 - Maximum, feet to midpoint of slope: 35 feet.
 - Attic space does not count as a floor and may be used as habitable space for residential use.
5. Parapet height (for flat roof buildings):
 - Maximum: 4 feet, measured from roof deck.
 - Minimum: 1 foot, measured from roof deck.



2005.11 NEIGHBORHOOD EDGE CONTEXT AREA

J. PERMITTED BUILDING TYPES, HEIGHTS, LOT SIZES, and BUILDING SIZE

BUILDING TYPE WITH FRONTAGE OPTIONS		BUILDING HEIGHT	BUILDING LOT SIZE	BUILDING SIZE
MIXED-USE BUILDING TYPE	 with STOREFRONT (depicted in photo)			
	with BALCONY			
	with DRIVE-THROUGH			
	with LIGHTWELL			
RETAIL BUILDING TYPE	 with STOREFRONT (depicted in photo)			
	with LIGHTWELL			
FLEX BUILDING TYPE	 with STOREFRONT (depicted in photo)			
	with TERRACE			
	with FORECOURT			
	with DOORYARD (depicted in photo)			
COTTAGE RETAIL BUILDING TYPE	 with STOREFRONT	2 Story MAX	Lot Width: 20' MIN Lot Depth: 80' MIN	Ground floor retail use not to exceed 2,000 gross square feet
	with DOORYARD	2 Story MAX	Lot Width: 20' MIN Lot Depth: 80' MIN	Ground floor retail use not to exceed 2,000 gross square feet
	with STOOP (depicted in photo)	2 Story MAX	Lot Width: 20' MIN Lot Depth: 80' MIN	Ground floor retail use not to exceed 2,000 gross square feet
LIVE / WORK BUILDING TYPE	 with STOREFRONT			
	with DOORYARD (depicted in photo)	2 Story building required	Lot Width: 18' MIN Lot Depth: 80' MIN	Ground floor retail use not to exceed 2,000 gross square feet
	with LIGHTWELL			
	with STOOP	2 Story building required	Lot Width: 18' MIN Lot Depth: 80' MIN	Ground floor retail use not to exceed 2,000 gross square feet

Shaded cell indicates Building Type and Frontage are not permitted in Context Area.

2005.11 NEIGHBORHOOD EDGE (NE) CONTEXT AREA

J. PERMITTED BUILDING TYPES, HEIGHTS, LOT SIZES, and BUILDING SIZE (continued)

BUILDING TYPE WITH FRONTAGE OPTIONS		BUILDING HEIGHT	BUILDING LOT SIZE	BUILDING SIZE
LARGE MULTI-PLEX BUILDING TYPE	 with FORECOURT			
	 with DOORYARD			
	 with STOOP (depicted in photo)			
	 with PROJECTING PORCH			
SMALL MULTI-PLEX BUILDING TYPE	 with STOOP	2 Story building required	Lot Width: 50' MIN Lot Depth: 100' MIN	Not Applicable
	 with PROJECTING PORCH (depicted in photo)	2 Story building required	Lot Width: 50' MIN Lot Depth: 100' MIN	Not Applicable
	 with ENGAGED PORCH	2 Story building required	Lot Width: 50' MIN Lot Depth: 100' MIN	Not Applicable
ROWHOUSE BUILDING TYPE	 with LIGHTWELL			
	with STOOP (depicted in photo)	2 Story building required	Lot Width: 18' MIN Lot Depth: 80' MIN	Not Applicable
	with PROJECTING PORCH	2 Story building required	Lot Width: 18' MIN Lot Depth: 80' MIN	Not Applicable
DUPLEX BUILDING TYPE	with STOOP (depicted in photo)	2 Story MAX	Lot Width: 40' MIN Lot Depth: 80' MIN	Not Applicable
	with PROJECTING PORCH	2 Story MAX	Lot Width: 40' MIN Lot Depth: 80' MIN	Not Applicable
	with ENGAGED PORCH	2 Story MAX	Lot Width: 40' MIN Lot Depth: 80' MIN	Not Applicable
DETACHED HOUSE BUILDING TYPE	with STOOP	2 Story MAX	Lot Width: 40' MIN Lot Depth: 80' MIN	Not Applicable
	with PROJECTING PORCH	2 Story MAX	Lot Width: 40' MIN Lot Depth: 80' MIN	Not Applicable
	with ENGAGED PORCH (depicted in photo)	2 Story MAX	Lot Width: 40' MIN Lot Depth: 80' MIN	Not Applicable
CARRIAGE HOUSE BUILDING TYPE	Frontages not applicable to this Building Type. This Type shall only be used in conjunction with Detached House, Duplex, Rowhouse, or Live/Work Building Types.	2 Story building required	Not Applicable Carriage House Building Type must be used as an accessory building to another Building Type (refer to Section 2006)	Not Applicable
CIVIC BUILDING TYPE	Frontages are not applicable to this Building Type.	2 Story MAX	Lot Width: 20' MIN Lot Depth: 80' MIN	Building square footage not limited

Shaded cell indicates Building Type and Frontage are not permitted in Context Area.

2005.11 NEIGHBORHOOD EDGE CONTEXT AREA

K. PERMITTED USES TABLE 5.01

Specific Use	MIXED USE BUILDING TYPE	RETAIL BUILDING TYPE	FLEX BUILDING TYPE	COTTAGE RETAIL BUILDING TYPE	LIVE / WORK BUILDING TYPE	LARGE MULTI-PLEX BUILDING TYPE	SMALL MULTI-PLEX BUILDING TYPE	ROWHOUSE BUILDING TYPE	DUPLEX BUILDING TYPE	DETACHED HOUSE BUILDING TYPE	CARRIAGE HOUSE BUILDING TYPE	CIVIC BUILDING TYPE
Accessory building and use				P	P	P	P	P				
Accessory dwelling												
Adult foster care family home and small group home										P		
Art gallery				P	P							
Banquet hall and conference room												
Brewpub												
Coffee shop				P		p ¹						
Convenience store												
Day care facility				P								
Drinking places without entertainment												
Drinking places with entertainment												
Dwelling					P	P	P	P	P	P	P	
Essential service												
Funeral service, excepting crematory												
Grocery store												
Health service except hospital, sales and rentals				P								
Home occupation					P			P				
Kennel												
Laundromat												
Lodging												
Membership organization												
Microbrewery/Distillery				P	P							
Office				P	P							
Personal service				P	P	p ¹						
Pet grooming service without runs or kennels				P								
Place of worship												P
Preschool												
Private club, lodges fraternity or sorority												
Public administration												
Repair service				P								
Restaurant, family				P	P							

P = Permitted Use
 P¹ = Permitted Use on first floor only
 P²⁺ = Permitted Use on floors two and above
 Blank cell = Use not permitted in this Context Area
 Shaded areas represent Building Types that are not permitted in this Context Area.

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2006.00 PURPOSE

Section 2006 identifies specific Building Types that are permitted within various Context Areas and provides form standards and frontage options for each type. These Building Types and related frontages ensure that proposed development is consistent with the desires and outcomes of the 2009 City of Traverse City Master Plan (including approved Sub Plans) and the 2013 City of Traverse City Corridors Master Plan.

2006.01 APPLICABILITY

Each proposed building shall be designed in compliance with the standards of this Section for the applicable Building Type.

2006.02 BUILDING TYPES BY CONTEXT AREA

Property may be developed only with the Building Types permitted by this Section in the Context Area applicable to each lot.

- A. Refer to Building Type Overview (subsection 2006.07) in this Section to determine the specific Building Types and frontages that are permitted in each of the Context Areas; or
- B. Refer to Permitted Building Type and Height in Section 2005.06 to determine specific Building Types and Frontages that are permitted in each of the Context Areas.

2006.03 CONTENTS OF THIS SECTION

The following Building Types are specified in this Section:

- A. Mixed-Use Building Type (2006.09)
- B. Retail Building Type (2006.10)
- C. Flex Building Type (2006.11)
- D. Cottage Retail Building Type (2006.12)
- E. Live / Work Building Type (2006.13)
- F. Large Multi-plex Building Type (2006.14)
- G. Small Multi-plex Building Type (2006.15)
- H. Rowhouse Building Type (2006.16)
- I. Duplex Building Type (2006.17)
- J. Detached House Building Type (2006.18)
- K. Carriage House Building Type (2006.19)
- L. Civic Building Type (2006.20)

2006.04 SITES WITH MULTIPLE BUILDINGS

Sites that are larger than the lot size required by applicable Building Type may either:

- A. Leave the excess land open, in compliance with the requirements of the Context Area; or
- B. Design the site to accommodate multiple buildings per the site placement requirements for each Context Area.

2006.05 HOW TO USE THIS SECTION

Refer to sample pages on this sheet for references of how to use each Building Type Standard. These pages are representative of the layout for each Building Type contained in this Section.

A. Building Type Description: This subsection serves as an introduction to the Building Type, including pictorial references of emblematic examples and a general Building Type description.

B. Precedent of Building Type: This subsection provides precedent examples of the building type in context. Whenever possible, local examples are included in this reference. Precedent Building Types are included as examples and inspiration to give a better understanding of the intent of the Building Type.

C. Building Size and Massing: This subsection provides the requirements for building width at primary and side streets, percentage of building wall required at property line, building depth, and maximum site coverage. These requirements are conveyed in diagram and text for convenience. The intent of this subsection is to maintain character and enclosure along the public realm while ensuring that the building's size and mass is appropriate to the context.

D. Ground Floor Pedestrian Access and Activation: This subsection provides the quantity and minimum intervals (spacing) for building entrances. These requirements are conveyed in diagram and text for convenience. The intent of this subsection is to ensure that the building and its entrances create an active and visible presence on the street and sidewalk by providing front and side doors for access.

E. Number of Units: This subsection provides the minimum and/or maximum number of units that the Building Type may accommodate.

F. Use: Uses are regulated by the Context Area in Section 2005. This subsection is a reminder that use requirements are referenced in that Section.

SECTION 2006 BUILDING TYPE STANDARDS
2006.09 MIXED USE BUILDING TYPE

A. BUILDING TYPE DESCRIPTION
The MIXED-USE BUILDING TYPE is a medium- to large-sized typically attached structure. It is intended to provide a vertical mix of uses with ground floor retail or service uses and upper floor service or residential uses. This Type makes up the primary component of a main street and downtown, and is a Building Type that can provide street vibrancy and enhanced walkability.



B. PRECEDENT OF MIXED-USE BUILDING TYPE
The following images represent precedent examples of the Mixed-Use Building Type. They are intended as examples only and should be used for inspiration in the creation of this Building Type for projects within the Traverse City Form-Based Code area.



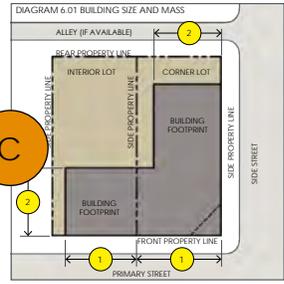
TRaverse CITY Form-Based Code 6.13

SECTION 2006 BUILDING TYPE STANDARDS
2006.09 MIXED USE BUILDING TYPE

C. BUILDING SIZE AND MASSING
Building type size and massing shall meet the following requirements and Diagram 6.01.

- Percentage of front building wall at primary street: Building shall be built to a minimum of 90% of the overall width of the front street property line.
Exception: When parking access is not available on an alley, rear street, or side street and is only available at primary street, the required percentage indicated above may be reduced to allow access that meets the requirements indicated in the Context Area (Section 2005).
- Building depth: 20 feet minimum
- Maximum site coverage: 100%

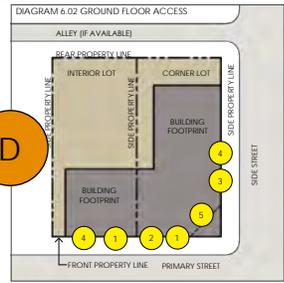
DIAGRAM 6.01 BUILDING SIZE AND MASS



D. GROUND FLOOR PEDESTRIAN ACCESS AND ACTIVATION
Building type ground floor entrances shall meet the following requirements and Diagram 6.02.

- Entrances to ground floor unit(s) are required at the primary street and shall be directly accessed from and face the primary street.
- Entrances to ground floor unit(s) shall occur at intervals of not greater than 75 feet along the primary street.
- Entrances to ground floor unit(s) of the side street (if provided) shall be directly accessed from and face the side street.
- Upper floor units shall be accessed by common entry along the primary or side street.
- Optional angled building corner with required entry door. Maximum length of angled wall shall be 8 feet.

DIAGRAM 6.02 GROUND FLOOR ACCESS



E. NUMBER OF UNITS
Number of units per Building Type:
1. Required total of minimum (1 unit at ground floor or minimum 1 unit on upper floor(s)).

F. USE
Building type use:
1. Uses are regulated by Context Area. Refer to Section 2005 for uses in each Context Area.

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2006.05 HOW TO USE THIS SECTION (continued)

SECTION 2006 BUILDING TYPE STANDARDS
2006.09 MIXED USE BUILDING TYPE

G. FACADE COMPOSITION REQUIREMENTS

DIAGRAM 6.03 FACADE COMPOSITION REQUIREMENTS

Building Type facade composition shall meet the following requirements and Diagram 6.03.

1. Building shall have a flat roof with parapet.
2. Building shall have a cornice expression line at roofline.
3. Transparency Upper Floors: Building facades facing streets shall have minimum 15% of the facade be glass between the finish floor line of the second floor and bottom of cornice expression line.
4. Transparency Ground Floor: Refer to Building Type frontage options for transparency requirements at ground floor.
5. Upper windows shall be square or vertically proportioned with clear glass. Refer to definitions in Section 2009 for clear glass requirements.
6. Building shall have an 16" to 32" pilaster or wall surface every 20 to 40 feet along building facades facing streets. Pilasters shall extend vertically from grade to cornice expression line.

H. BUILDING TYPE FLOOR HEIGHT REQUIREMENTS

DIAGRAM 6.04 BUILDING TYPE STORY HEIGHT

Building Type floor heights shall meet the following requirements and Diagram 6.04.

1. Ground floor: Floor to ceiling height shall be 14 feet minimum.
2. Upper floors: Floor to ceiling height shall as required by Context Area.
3. Overall height of Building Type is regulated by Context Area, refer to Section 2005.

I. BUILDING TYPE FRONTAGE OPTIONS

Each Mixed-Use Building Type is required to have only 1 of the following frontage configurations applied to the ground level floor where it abuts front and side streets, civic space, and / or public rights-of-way.

Frontage options for the Mixed-Use Building Type are provided in the table below and described on the following pages of this sub-section.

MIXED-USE BUILDING TYPE	BUILDING TYPE FRONTAGE OPTION	CONTEXT AREAS		
		DF DOWNTOWN MAIN STREET	GW GROWTH CORRIDOR	NE NEIGHBORHOOD EDGE
MIXED-USE BUILDING TYPE	with STOREFRONT (2006.09.J)	By Right	By Right	
	with BALCONY (2006.09.K)	By Right	By Right	
	with DRIVE-THROUGH (2006.09.L)	By Right	By Right	
	with LIGHTWELL (2006.09.M)	By Right	By Right	By Right

Shaded areas represent Context Areas where Building Type with frontage option is not permitted.

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G. Facade Composition Requirements: This subsection indicates the required façade composition specifications for Building Type, including upper floor(s) transparency, proportion, window orientation, vertical articulation, and roof type.

H. Building Type Floor Height: This subsection indicates the required minimum dimensions for the ground floor of the specific Building Type, measured from floor to ceiling. The actual number of floors and overall height maximum for buildings is regulated by Context Area (Section 2005).

I. Building Type Frontage Options: Each Building Type has specific frontage options that may be chosen as part of the overall composition and ground floor (street frontage) of the building. Frontages are applied to the ground floor of the Building Type where it abuts a primary and side street, civic space, or public right-of-way. One frontage is required to be used for each building that is constructed (in instances of the Flex, Live/Work, Large Multi-plex, Small Multi-plex, and Rowhouse Building Types, multiple frontages may be chosen for one building). Frontages provide guidelines for transparency, architecture, and composition that enable the building to engage and define the public realm. The table in this section illustrates what frontages are appropriate for each Building Type within each Context Area.

2006.05 HOW TO USE THIS SECTION (continued)

The following two pages are examples of frontage pages for the Storefront Frontage, one of ten different frontage options that are available for the various Building Types.

These pages will immediately follow each of the Building Type pages that have been described above and provide the applicable frontage choices for that Building Type.

J. Frontage Description: This paragraph describes the intent of the frontage and provides an image of a precedent example of the frontage, applied to the Building Type that it is associated with. This image will change throughout Section 2006, depending on the Building Type subsection that the frontage is described in.

K. Frontage Location Requirements: This subsection provides requirements of the frontage location relative the build-to-line, build-to-zone, or setback. These site placement requirements are defined in Section 2005, Context Areas. This subsection also provides the requirements for landscaping or paving of the ground area adjacent to the frontage.

L. Frontage Composition Requirements: This subsection provides the requirements for the composition of the frontage, including transparency, proportion, scale, vertical articulation, entry and details.

SECTION 2006 BUILDING TYPE STANDARDS
2006.09 MIXED USE BUILDING TYPE FRONTAGE OPTIONS
J. BUILDING TYPE FRONTAGE OPTION 1: STOREFRONT

DESCRIPTION
 The Storefront Frontage is applied to the ground level floor of a Building Type along the primary and side streets. It is typically associated with retail and mixed use buildings. The storefront shall be designed in a way that promotes an attractive and convenient shopping experience and a transparent wall along the sidewalk. Storefront entries are at grade with the sidewalk and are sometimes shaded by awnings.

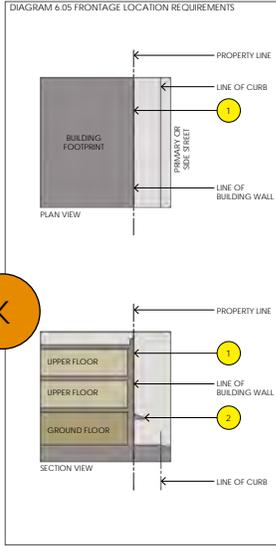


IMAGE 6.04 MIXED-USE BUILDING WITH STOREFRONT FRONTAGE

STOREFRONT LOCATION REQUIREMENTS
 Storefront frontage shall be located per the following requirements and Diagram 6.05.

1. The building wall(s) are required to be placed at the Build-to-Line as required by the building site placement requirements in the Context Area section. Refer to Section 2005.
2. Balconies, awnings, canopies, cornices, upper bays, and projecting signs may extend into the public right-of-way per the encroachment requirements in the Context Area section. Refer to Section 2005.

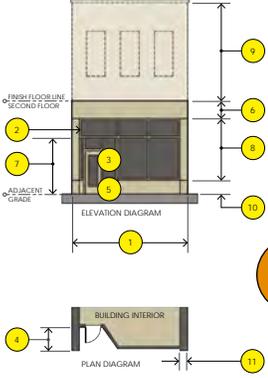
DIAGRAM 6.05 FRONTAGE LOCATION REQUIREMENTS



6.16 TRAVERSE CITY Form-Based Code

SECTION 2006 BUILDING TYPE STANDARDS
2006.09 MIXED USE BUILDING TYPE FRONTAGE OPTIONS
J. BUILDING TYPE FRONTAGE OPTION 1: STOREFRONT (continued)

DIAGRAM 6.06 FRONTAGE COMPOSITION REQUIREMENTS



STOREFRONT COMPOSITION REQUIREMENTS
 Storefront frontage composition shall meet the following requirements and Diagram 6.06.

1. Frontage shall extend across the overall length of the ground floor as required by the Context Area frontage placement requirements in Section 2005.
2. Optional transom window may extend over entry recess (as depicted) or follow entry recess.
3. Required entry door shall have fifty (50) percent minimum transparency.
4. Entry door is required to be recessed three (3) feet to eight (8) feet from the building wall. The angled wall (the wall that connects the storefront to the door) in the recess area shall match the main storefront window.
5. Entry door is required to be at adjacent sidewalk grade.
6. Required 30" to 42" sign band or horizontal expression line above storefront window or transom. Sign band or horizontal expression line shall extend the entire width of the storefront but may be interrupted by the required pilasters referenced in item 10 on this page.
7. Storefront window glass shall be eight (8) feet high minimum, measured from the adjacent grade.
8. Transparency Ground Floor: Storefront frontage shall have 70% to 90% of the facade be glass between the top of the storefront base and bottom of sign band (or horizontal expression line). Entry door transparency may be included as part of the required transparency calculation.
9. Transparency Upper Floors: Refer to Building Type for transparency requirements of upper floors.
10. Required 18" to 24" high storefront base.
11. Required 16" to 32" wide pilaster or wall surface spaced as indicated by Building Type. Pilaster or wall surface shall extend the full height of the storefront frontage, but may be interrupted by the sign band or horizontal expression line.
12. The storefront frontage may have an angled corner entry as permitted by the specific Building Type. The angled corner entry shall meet the transparency requirements of the storefront frontage and have an entry door.
13. Storefront windows may be replaced with overhead doors. Overhead doors that replace storefront windows are required to meet the transparency requirements in item 8. Refer to Image 6.05.



IMAGE 6.05 STOREFRONT WITH TRANSPARENT OVERHEAD DOORS

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2006.06 STANDARDS FOR ALL BUILDING TYPES

The following standards apply to all Building Types:

- A. Primary Street Building Wall: Primary street facades of buildings represent the building front and are located at the public right-of-way lines along the street, public path or civic space of address for the building.
- B. Side Street Building Wall: Side street walls of buildings represent the building sides that are located at the public right-of-way lines along all streets, public paths or civic spaces that are not the street of address for the building. The side street build-to-line, build-to-zone, or setback for side streets shall apply to all situations where side streets, public paths, or civic spaces occur at more than one side of a building (due to a parcel that is bound on more than two sides by right-of-way lines).
- C. Primary Street Transparency Requirements at ground floor: Each Building Type's ground floor transparency at the primary street is per the frontage requirements for that Building Type.
- D. Side Street Transparency Requirements at ground floor: Each Building Type's ground floor transparency at the side street is per the frontage requirements for that Building Type, with the following conditions:
 - 1. Side Street frontages are required to be placed at a minimum length of overall side street building wall as indicated by the requirements for frontage site placement in each Context Area (section 2005).
 - 2. In instances where 100% of the side street wall does not have a frontage, the transparency for that remaining wall shall be the same as what is required by the upper stories for that Building Type.
- E. Percentage of Building at Street: Each Building Type indicates a percentage of building wall that is required at the primary street. This percentage is the amount of a lot line adjoining the public right-of-way that shall be occupied by the front building wall. The front building wall shall be parallel to the right-of-way, located in accordance with the required build-to-lines, build-to-zones, or setbacks.
- F. Frontages: Frontages define architecture and design components for the entrance(s) to the building, the transparency of the building wall, and the area between the building walls and the front and / or side street. Each Building Type identifies appropriate frontage choices. The use of one of the frontages identified for the Building Type is required.
 - 1. The Flex, Live/Work, and Rowhouse Building Types may have multiple frontages as indicated for the specific Building Type and frontage in this Section.
- G. Maximum Site Coverage: The maximum site coverage applies to all buildings on a lot, including accessory buildings.
- H. Building Height: Buildings shall comply with the overall maximum height regulations (as measured in number of floors and overall feet) that are established by Context Area. Each Building Type has floor height (measured in feet and inches) requirements that shall be used when determining building heights.
- I. Side Yard Walls: Each building shall have separate walls to support all loads independently of any walls located on an adjacent lot. Buildings with side-facing windows shall provide necessary light and air shafts within their own lot, without relying on the side yard of the adjacent lot.
- J. Off-street Parking Requirements and Standards: Parking requirements for each Building Type are based on use and Context Area. Refer to Section 2008 for parking requirements and standards.
- K. Off-street Parking Location: Off-street parking location requirements are based on Context Area and specified in Section 2005.
- L. Sign Standards: Sign sizes and quantities for each Building Type are based on Context Area. Refer to Section 2009 for Sign Standards.

2006.07 BUILDING TYPE OVERVIEW

Context Areas that are represented in black indicate that the building is not allowed in that Context Area.



MIXED USE BUILDING TYPE

This Building Type is a medium- to large-sized typically attached structure. It is intended to provide a vertical mix of uses with ground floor retail or service uses and upper floor service or residential uses. This Type makes up the primary component of a main street and downtown, and is a Building Type that can provide street vibrancy and enhanced walkability.

FRONTAGE OPTIONS
(refer to Section 2006)

STOREFRONT
BALCONY
DRIVE-THROUGH
LIGHTWELL

CONTEXT AREAS
(refer to Section 2005)

DE DOWNTOWN EDGE	MS MAIN STREET
GW GATEWAY	NE NEIGHBORHOOD EDGE



RETAIL BUILDING TYPE

This Building Type is a medium- to large-sized typically attached structure. It is intended to provide a single story building with ground floor retail or service uses. This Type makes up the secondary component of a main street and is a Building Type that can provide street vibrancy and enhanced walkability.

FRONTAGE OPTIONS
(refer to Section 2006)

STOREFRONT
DRIVE-THROUGH
LIGHTWELL

CONTEXT AREAS
(refer to Section 2005)

DE DOWNTOWN EDGE	MS MAIN STREET
GW GATEWAY	NE NEIGHBORHOOD EDGE



FLEX BUILDING TYPE

This Building Type is a medium- to large-sized attached or detached structure, typically built on a large lot. It can be used to provide a vertical mix of uses with ground floor industrial, service, retail, or residential uses; or it may be a single-use building.

FRONTAGE OPTIONS
(refer to Section 2006)

STOREFRONT
TERRACE
FORECOURT
DOORYARD

CONTEXT AREAS
(refer to Section 2005)

DE DOWNTOWN EDGE	MS MAIN STREET
GW GATEWAY	NE NEIGHBORHOOD EDGE



COTTAGE RETAIL BUILDING TYPE

This Building Type is a small- to medium-sized detached structure. It is intended to provide retail or service uses at the ground floor. This Type will typically have a residential mass, scale, and composition that allows it to integrate into adjacent residential areas.

FRONTAGE OPTIONS
(refer to Section 2006)

STOREFRONT
DOORYARD
STOOP

CONTEXT AREAS
(refer to Section 2005)

DE DOWNTOWN EDGE	MS MAIN STREET
GW GATEWAY	NE NEIGHBORHOOD EDGE



LIVE / WORK BUILDING TYPE

This Building Type is a small- to medium-sized attached structure that consists of one dwelling unit above and/or behind a flexible ground floor space that can be used for residential, service, or retail uses. Both the ground floor space and the dwelling unit are owned by one entity. This Type is especially appropriate for incubating retail and service uses and allowing neighborhood retail to expand as the market demands.

FRONTAGE OPTIONS
(refer to Section 2006)

STOREFRONT
LIGHTWELL
DOORYARD
STOOP

CONTEXT AREAS
(refer to Section 2005)

DE DOWNTOWN EDGE	MS MAIN STREET
GW GATEWAY	NE NEIGHBORHOOD EDGE



LARGE MULTI-PLEX BUILDING TYPE

This Building Type is a medium- to large-sized structure that consists of 7 or more side-by-side and / or stacked dwelling units, typically with one shared entry. This Type is appropriately scaled to fit in medium-density neighborhoods and enables well-designed higher densities. It is an essential Building Type for providing a broad choice of housing types and promoting walkability.

FRONTAGE OPTIONS
(refer to Section 2006)

FORECOURT
DOORYARD
STOOP
PROJECTING PORCH

CONTEXT AREAS
(refer to Section 2005)

DE DOWNTOWN EDGE	MS MAIN STREET
GW GATEWAY	NE NEIGHBORHOOD EDGE

2006.07 BUILDING TYPE OVERVIEW (continued)

Context Areas that are represented in black indicate that the building is not allowed in that Context Area.



SMALL MULTI-PLEX BUILDING TYPE

This Building Type is a medium-sized structure that consists of 3 to 6 side-by-side and 7 or stacked dwelling units, typically with one shared entry or individual entries along the front. This Type has the appearance of a large single-family house and is appropriately scaled to fit in single family neighborhoods. This Type enables well-designed higher densities. It is an essential Building Type for providing a broad choice of housing types and promoting walkability.

FRONTAGE OPTIONS
(refer to Section 2006)

STOOP
PROJECTING PORCH
ENGAGED PORCH

CONTEXT AREAS
(refer to Section 2005)

DE DOWNTOWN EDGE	MS MAIN STREET
GW GATEWAY	NE NEIGHBORHOOD EDGE



ROWHOUSE BUILDING TYPE

This Building Type is a small- to medium-sized attached structure that consists of 2 to 8 rowhouses placed side-by-side. This Type is typically located within medium-density neighborhoods or in a location that transitions from single-family to mixed-use. This Type enables well-designed higher densities. It is an essential Building Type for providing a broad choice of housing types and promoting walkability.

FRONTAGE OPTIONS
(refer to Section 2006)

LIGHTWELL
STOOP
PROJECTING PORCH

CONTEXT AREAS
(refer to Section 2005)

DE DOWNTOWN EDGE	MS MAIN STREET
GW GATEWAY	NE NEIGHBORHOOD EDGE



DUPLEX BUILDING TYPE

This Building Type is a small- to medium-sized detached structure that consists of two side-by-side or stacked dwelling units, both facing the street and within a single building massing. This Type has the appearance of a medium-sized single-family house and is appropriately scaled to fit in single family neighborhoods. This Building Type is an essential building for providing a broad choice of housing types.

FRONTAGE OPTIONS
(refer to Section 2006)

STOOP
PROJECTING PORCH
ENGAGED PORCH

CONTEXT AREAS
(refer to Section 2005)

DE DOWNTOWN EDGE	MS MAIN STREET
GW GATEWAY	NE NEIGHBORHOOD EDGE



DETACHED HOUSE BUILDING TYPE

This Building Type is a small- to medium-sized detached structure that incorporates one dwelling unit. It is typically located within a primarily single-family neighborhood in a walkable urban setting. This Building Type is an essential building for providing a broad choice of housing types.

FRONTAGE OPTIONS
(refer to Section 2006)

STOOP
PROJECTING PORCH
ENGAGED PORCH

CONTEXT AREAS
(refer to Section 2005)

DE DOWNTOWN EDGE	MS MAIN STREET
GW GATEWAY	NE NEIGHBORHOOD EDGE



CARRIAGE HOUSE BUILDING TYPE

This Building Type is an accessory structure located at the rear of a lot. It typically provides either a small residential unit or home office space above the first floor garage. This Type is important for providing affordable housing choices that are integrated into diverse neighborhoods. This Type shall only be used in conjunction with the Detached House, Duplex, Rowhouse, or Live/Work Building Types.

FRONTAGE OPTIONS
(refer to Section 2006)

Not applicable to this Building Type

CONTEXT AREAS
(refer to Section 2005)

DE DOWNTOWN EDGE	MS MAIN STREET
GW GATEWAY	NE NEIGHBORHOOD EDGE



CIVIC BUILDING TYPE

This Building Type is a small-, medium- or large-sized detached structure that incorporates uses of special public importance including, but not limited to municipal buildings, churches, libraries and schools. Civic Buildings typically have less form regulations than other Building Types because their prominence within the community requires more iconic and distinctive form.

FRONTAGE OPTIONS
(refer to Section 2006)

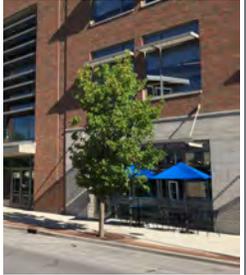
Not applicable to this Building Type

CONTEXT AREAS
(refer to Section 2005)

DE DOWNTOWN EDGE	MS MAIN STREET
GW GATEWAY	NE NEIGHBORHOOD EDGE

2006.08 FRONTAGE TYPE OVERVIEW

Building Types that are shaded indicate Frontage is not an option for that specific Building Type.

FRONTAGE OPTIONS	BUILDING TYPE				
	MIXED USE BUILDING TYPE	RETAIL BUILDING TYPE	FLEX BUILDING TYPE	COTTAGE RETAIL BUILDING TYPE	LIVE / WORK BUILDING TYPE
FRONTAGE OPTIONS					
STOREFRONT FRONTAGE					
BALCONY FRONTAGE					
DRIVE-THROUGH FRONTAGE					
TERRACE FRONTAGE					
FORECOURT FRONTAGE					

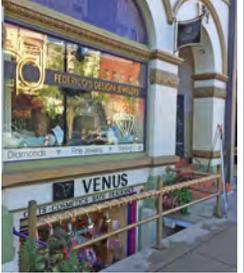
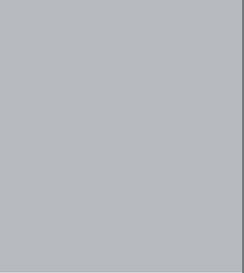
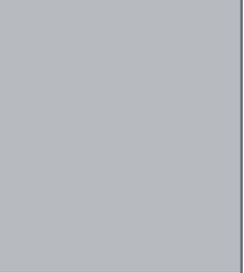
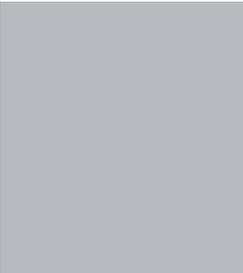
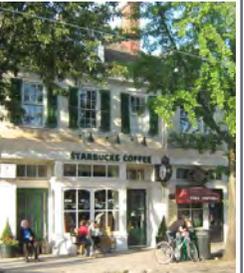
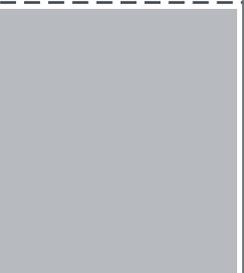
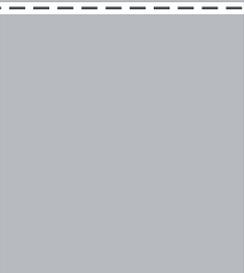
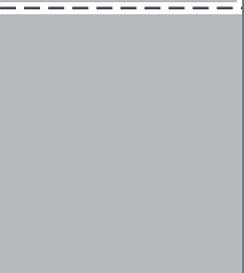
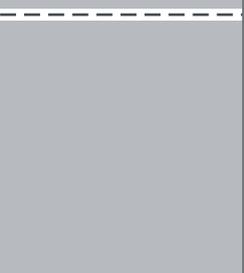
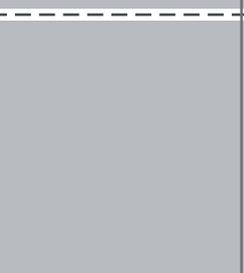
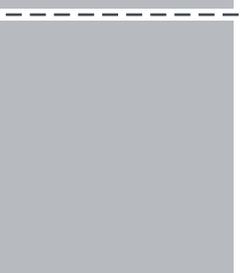
2006.08 FRONTAGE TYPE OVERVIEW (continued)

Building Types that are shaded indicate Frontage is not an option for that specific Building Type.

BUILDING TYPE					FRONTAGE OPTIONS
LARGE MULTI-PLEX BUILDING TYPE	SMALL MULTI-PLEX BUILDING TYPE	ROWHOUSE BUILDING TYPE	DUPLEX BUILDING TYPE	DETACHED HOUSE BUILDING TYPE	
					
					STOREFRONT FRONTAGE
					BALCONY FRONTAGE
					DRIVE-THROUGH FRONTAGE
					TERRACE FRONTAGE
					FORECOURT FRONTAGE

2006.08 FRONTAGE TYPE OVERVIEW (continued)

Building Types that are shaded indicate Frontage is not an option for that specific Building Type.

FRONTAGE OPTIONS	BUILDING TYPE				
	MIXED USE BUILDING TYPE	RETAIL BUILDING TYPE	FLEX BUILDING TYPE	COTTAGE RETAIL BUILDING TYPE	LIVE / WORK BUILDING TYPE
FRONTAGE OPTIONS					
LIGHTWELL FRONTAGE					
DOORYARD FRONTAGE					
STOOP FRONTAGE					
PROJECTING PORCH FRONTAGE					
ENGAGED PORCH FRONTAGE					

2006.08 FRONTAGE TYPE OVERVIEW (continued)

Building Types that are shaded indicate Frontage is not an option for that specific Building Type.

BUILDING TYPE					FRONTAGE OPTIONS
LARGE MULTI-PLEX BUILDING TYPE	SMALL MULTI-PLEX BUILDING TYPE	ROWHOUSE BUILDING TYPE	DUPLEX BUILDING TYPE	DETACHED HOUSE BUILDING TYPE	
					LIGHTWELL FRONTAGE
					DOORYARD FRONTAGE
					STOOP FRONTAGE
					PROJECTING PORCH FRONTAGE
					ENGAGED PORCH FRONTAGE

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2006.09 MIXED USE BUILDING TYPE

A. BUILDING TYPE DESCRIPTION

The MIXED-USE BUILDING TYPE is a medium- to large-sized typically attached structure. It is intended to provide a vertical mix of uses with ground floor retail or service uses and upper floor service or residential uses. This Type makes up the primary component of a main street and downtown, and is a Building Type that can provide street vibrancy and enhanced walkability.



B. PRECEDENT OF MIXED-USE BUILDING TYPE

The following images represent precedent examples of the Mixed-Use Building Type. They are intended as examples only and should be used for inspiration in the creation of this Building Type for projects within the Traverse City Form-Based Code area.

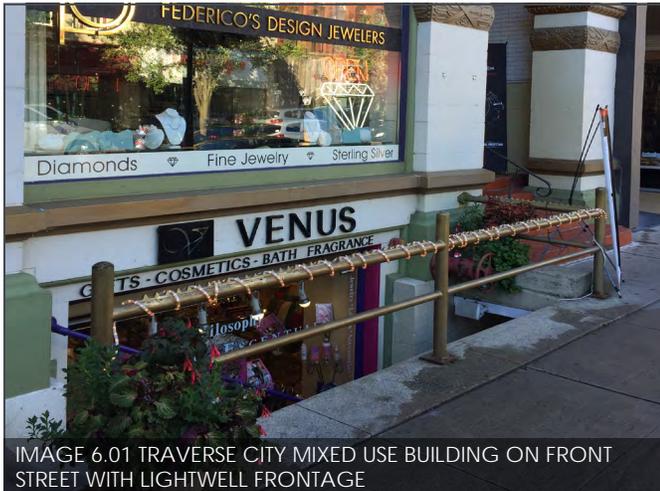


IMAGE 6.01 TRAVERSE CITY MIXED USE BUILDING ON FRONT STREET WITH LIGHTWELL FRONTAGE

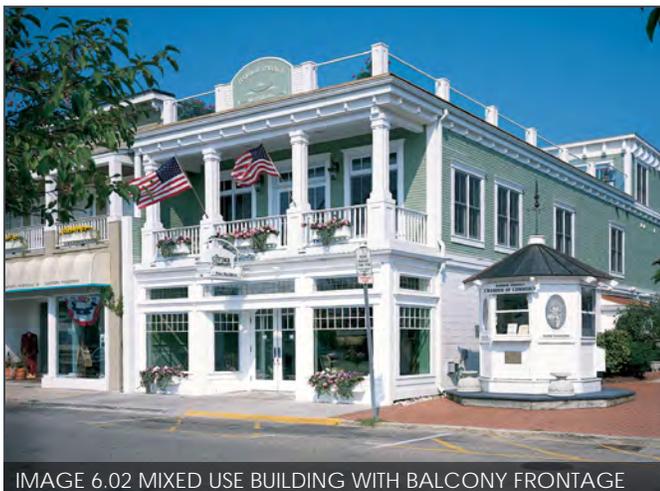


IMAGE 6.02 MIXED USE BUILDING WITH BALCONY FRONTAGE



IMAGE 6.03 TRAVERSE CITY MIXED USE BUILDING ON WEST FRONT STREET WITH STOREFRONT FRONTAGE

2006.09 MIXED USE BUILDING TYPE

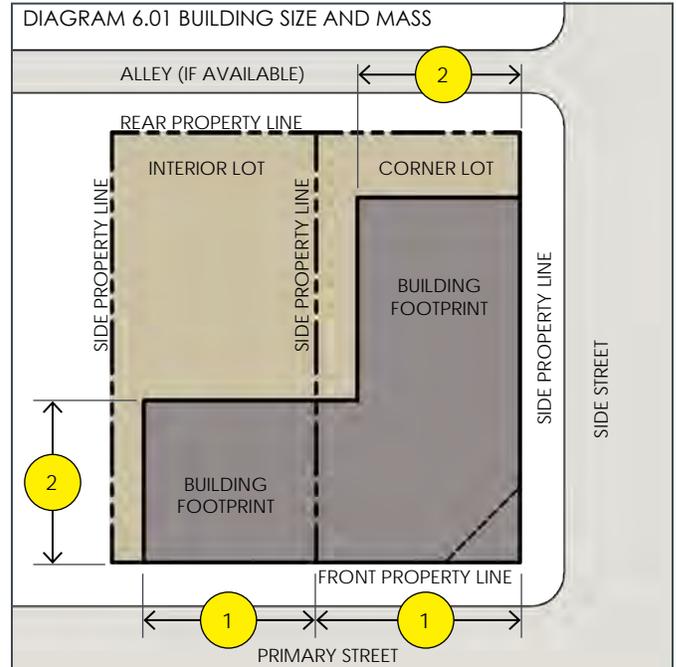
C. BUILDING SIZE AND MASSING

Building Type size and massing shall meet the following requirements and Diagram 6.01.

1. Percentage of front building wall at primary street: Building shall be built to a minimum of 90% of the overall width of the front street property line.

Exception: When parking access is not available on an alley, rear street, or side street and is only available at primary street, the required percentage indicated above may be reduced to allow access that meets the requirements indicated in the Context Area (Section 2005).

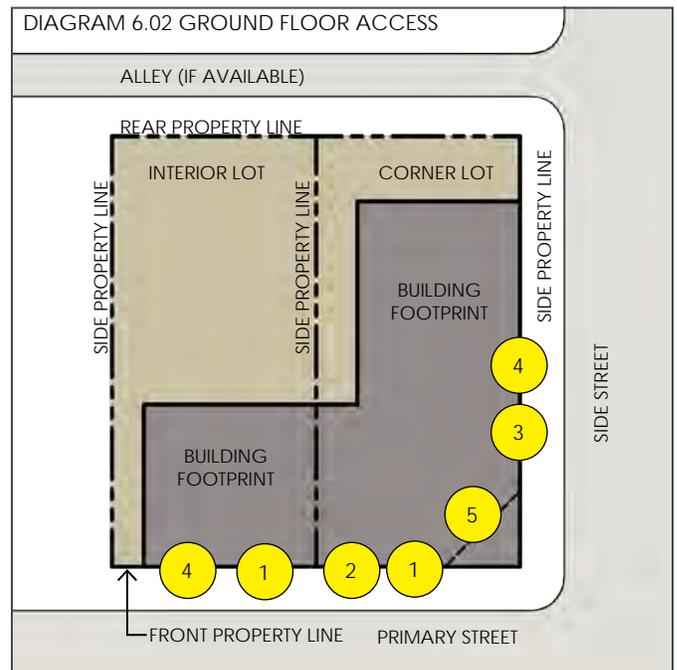
2. Building depth: 20 feet minimum
3. Maximum site coverage: 100%



D. GROUND FLOOR PEDESTRIAN ACCESS AND ACTIVATION

Building Type ground floor entrances shall meet the following requirements and Diagram 6.02.

1. Entrances to ground floor unit(s) are required at the primary street and shall be directly accessed from and face the primary street.
2. Entrances to ground floor unit(s) shall occur at intervals of not greater than 75 feet along the primary street.
3. Entrances to ground floor unit(s) at the side street (if provided) shall be directly accessed from and face the side street.
4. Upper floor units shall be accessed by a common entry along the primary or side street.
5. Optional angled building corner with required entry door. Maximum length of angled wall shall be 8 feet.



E. NUMBER OF UNITS

Number of units per Building Type:

1. Required total of 2 units minimum (1 unit at ground floor and 1 per floor on upper floor(s)).

F. USE

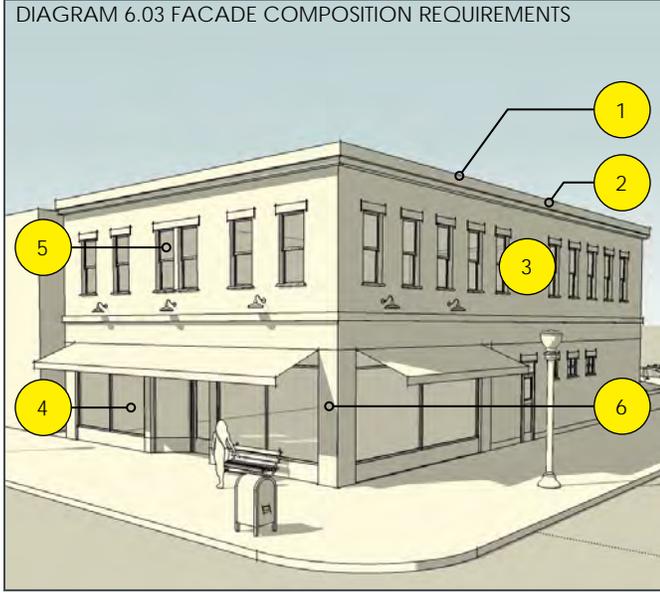
Building Type use:

1. Uses are regulated by Context Area. Refer to Section 2005 for permitted uses in each Context Area.

2006.09 MIXED USE BUILDING TYPE

G. FACADE COMPOSITION REQUIREMENTS

DIAGRAM 6.03 FACADE COMPOSITION REQUIREMENTS

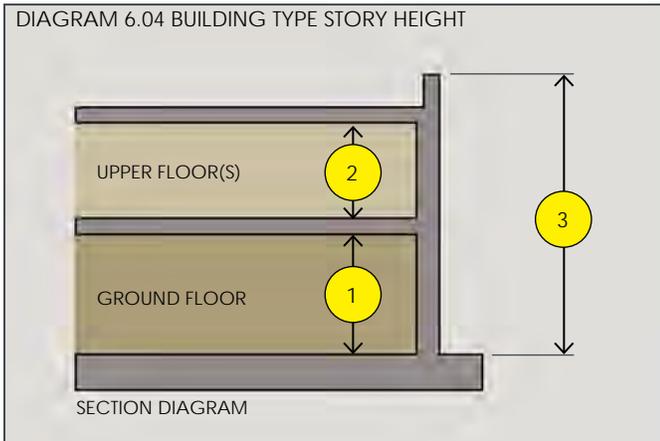


Building Type facade composition shall meet the following requirements and Diagram 6.03.

1. Building shall have a flat roof with parapet.
2. Building shall have a cornice expression line at roofline.
3. Transparency Upper Floors: Building facades facing streets shall have minimum 15% of the façade be glass between the finish floor line of the second floor and bottom of cornice expression line.
4. Transparency Ground Floor: Refer to Building Type frontage options for transparency requirements at ground floor.
5. Upper windows shall be square or vertically proportioned with clear glass. Refer to definitions in Section 2009 for clear glass requirements.
6. Building shall have an 16" to 32" pilaster or wall surface every 20 to 40 feet along building facades facing streets. Pilasters shall extend vertically from grade to cornice expression line.

H. BUILDING TYPE FLOOR HEIGHT REQUIREMENTS

DIAGRAM 6.04 BUILDING TYPE STORY HEIGHT



Building Type floor heights shall meet the following requirements and Diagram 6.04.

1. Ground floor: Floor to ceiling height shall be 14 feet minimum.
2. Upper floors: Floor to ceiling height shall as required by Context Area.
3. Overall height of Building Type is regulated by Context Area, refer to Section 2005.

I. BUILDING TYPE FRONTAGE OPTIONS

Each Mixed-Use Building Type is required to have only 1 of the following frontage configurations applied to the ground level floor where it abuts front and side streets, civic space, and / or public rights-of-way.

Frontage options for the Mixed-Use Building Type are provided in the table below and described on the following pages of this sub-section.

MIXED-USE BUILDING TYPE	BUILDING TYPE FRONTAGE OPTION	CONTEXT AREAS			
		DE DOWNTOWN EDGE	MS MAINSTREET	GW GATEWAY	NE NEIGHBORHOOD EDGE
MIXED-USE BUILDING TYPE	with STOREFRONT (2006.09.J)	By Right	By Right	By Right	
	with BALCONY (2006.09.K)	By Right	By Right	By Right	
	with DRIVE-THROUGH (2006.09.L)			By Right	
	with LIGHTWELL (2006.09.M)	By Right	By Right	By Right	

Shaded areas represent Context Areas where Building Type with frontage option is not permitted.

2006.09 MIXED USE BUILDING TYPE FRONTAGE OPTIONS

J. BUILDING TYPE FRONTAGE OPTION 1: STOREFRONT

DESCRIPTION

The Storefront Frontage is applied to the ground level floor of a Building Type along the primary and side streets. It is typically associated with retail and mixed use buildings. The storefront shall be designed in a way that promotes an attractive and convenient shopping experience and a transparent wall along the sidewalk. Storefront entries are at grade with the sidewalk and are sometimes shaded by awnings.



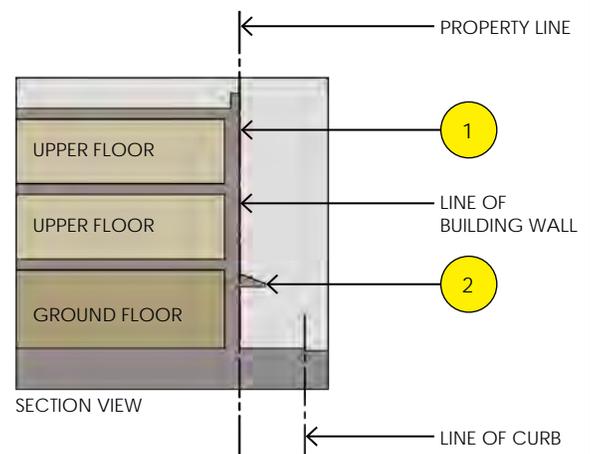
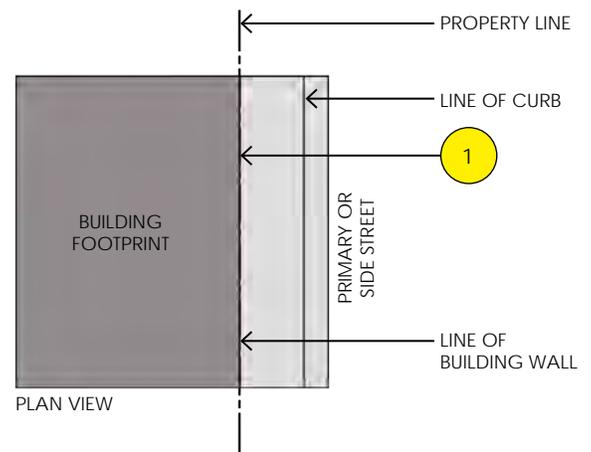
IMAGE 6.04 MIXED-USE BUILDING WITH STOREFRONT FRONTAGE

STOREFRONT LOCATION REQUIREMENTS

Storefront frontage shall be located per the following requirements and Diagram 6.05.

1. The building wall(s) are required to be placed at the Build-to-Line as required by the building site placement requirements in the Context Area section. Refer to Section 2005.
2. Balconies, awnings, canopies, cornices, upper bays, and projecting signs may extend into the public right-of-way per the encroachment requirements in the Context Area section. Refer to Section 2005.

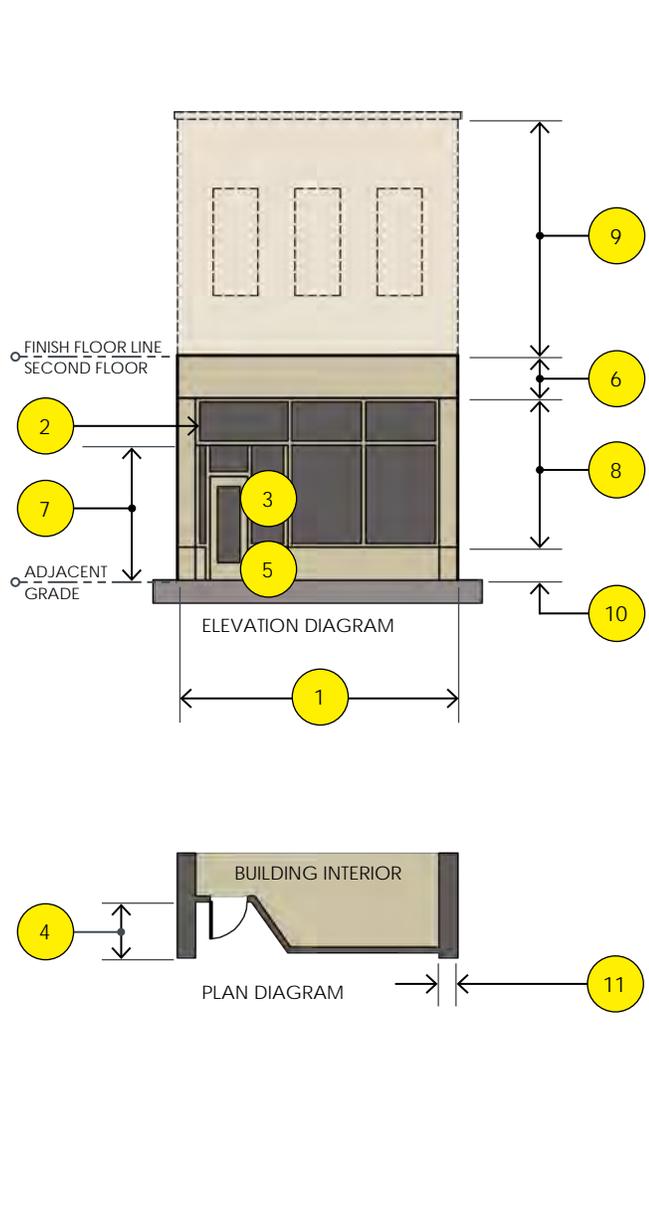
DIAGRAM 6.05 FRONTAGE LOCATION REQUIREMENTS



2006.09 MIXED USE BUILDING TYPE FRONTAGE OPTIONS

J. BUILDING TYPE FRONTAGE OPTION 1: STOREFRONT (continued)

DIAGRAM 6.06 FRONTAGE COMPOSITION REQUIREMENTS



STOREFRONT COMPOSITION REQUIREMENTS

Storefront frontage composition shall meet the following requirements and Diagram 6.06.

1. Frontage shall extend across the overall length of the ground floor as required by the Context Area frontage placement requirements in Section 2005.
2. Optional transom window may extend over entry recess (as depicted) or follow entry recess.
3. Required entry door shall have fifty (50) percent minimum transparency.
4. Entry door is required to be recessed three (3) feet to eight (8) feet from the building wall. The angled wall (the wall that connects the storefront to the door) in the recess area shall match the main storefront window.
5. Entry door is required to be at adjacent sidewalk grade.
6. Required 30" to 42" sign band or horizontal expression line above storefront window or transom. Sign band or horizontal expression line shall extend the entire width of the storefront but may be interrupted by the required pilasters referenced in item 10. on this page.
7. Storefront window glass shall be eight (8) feet high minimum, measured from the adjacent grade.
8. Transparency Ground Floor: Storefront frontage shall have 70% to 90% of the façade be glass between the top of the storefront base and bottom of sign band (or horizontal expression line). Entry door transparency may be included as part of the required transparency calculation.
9. Transparency Upper Floors: Refer to Building Type for transparency requirements of upper floors.
10. Required 18" to 24" high storefront base.
11. Required 16" to 32" wide pilaster or wall surface spaced as indicated by Building Type. Pilaster or wall surface shall extend the full height of the storefront frontage, but may be interrupted by the sign band or horizontal expression line.
12. The storefront frontage may have an angled corner entry as permitted by the specific Building Type. The angled corner entry shall meet the transparency requirements of the storefront frontage and have an entry door.
13. Storefront windows may be replaced with overhead doors. Overhead doors that replace storefront windows are required to meet the transparency requirements in item 8. Refer to Image 6.05.



IMAGE 6.05 STOREFRONT WITH TRANSPARENT OVERHEAD DOORS

2006.09 MIXED USE BUILDING TYPE FRONTAGE OPTIONS

K. BUILDING TYPE FRONTAGE OPTION 2: BALCONY

DESCRIPTION

The Balcony Frontage contains a recessed balcony that is applied to the upper level floor of a Building Type along the primary street and a storefront that is applied to the ground level floor of a Building Type along the primary and side streets. It is always associated with mixed use buildings. The balcony frontage shall be designed to include an open-air space that is recessed into the building mass on the upper level(s) and a storefront that is designed to promote an attractive, convenient shopping experience and transparent wall along the sidewalk.



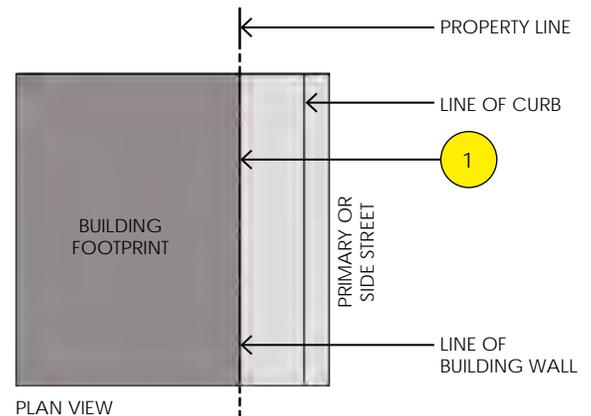
IMAGE 6.06 MIXED-USE BUILDING WITH BALCONY FRONTAGE

BALCONY LOCATION REQUIREMENTS

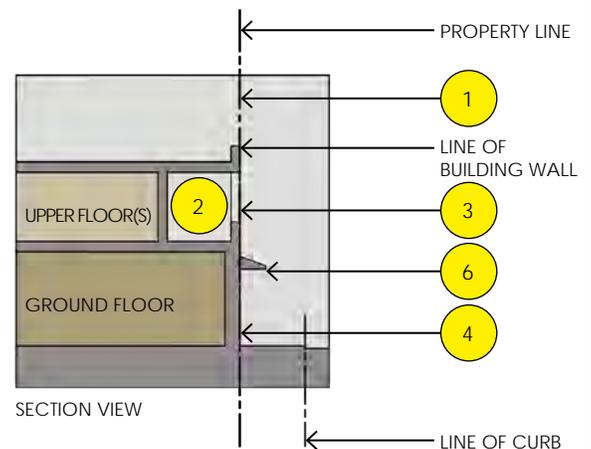
Storefront frontage shall be located per the following requirements and Diagram 6.07.

1. The building wall(s) are required to be placed at the Build-to-Line as required by the building site placement requirements in the Context Area section. Refer to Section 2005.
2. Required upper floor balcony shall be located within the mass of the building.
3. Face of balcony shall align with facade of the building.
4. Storefront is required at the ground level floor.
5. Upper floor recessed balcony shall only occur at primary street. Side streets shall have storefront only.
6. Balconies, awnings, canopies, cornices, upper bays, and projecting signs may extend into the public right-of-way per the encroachment requirements in the Context Area section. Refer to Section 2005.

DIAGRAM 6.07 FRONTAGE LOCATION REQUIREMENTS



PLAN VIEW

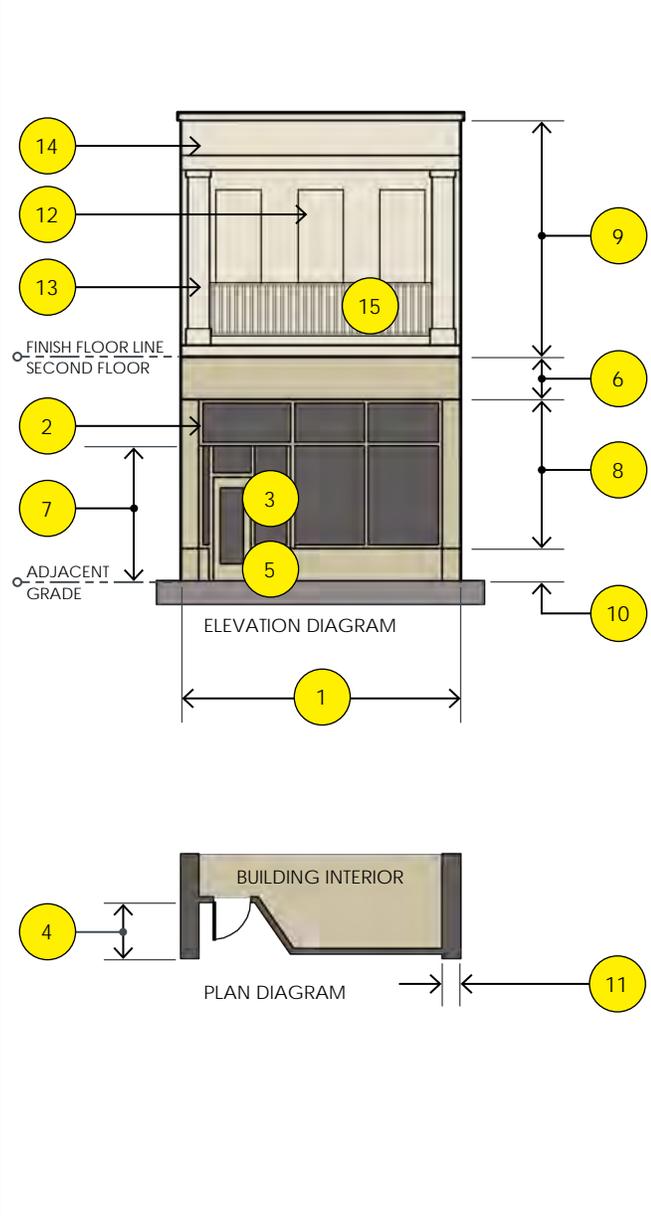


SECTION VIEW

2006.09 MIXED USE BUILDING TYPE FRONTAGE OPTIONS

K. BUILDING TYPE FRONTAGE OPTION 2: BALCONY (continued)

DIAGRAM 6.08 FRONTAGE COMPOSITION REQUIREMENTS

**BALCONY COMPOSITION REQUIREMENTS**

Balcony frontage composition shall meet the following requirements and Diagram 6.08.

1. Frontage shall extend across the overall length of the ground floor as required by the Context Area frontage placement requirements in Section 2005.
2. Optional transom window may extend over entry recess (as depicted) or follow entry recess.
3. Required entry door shall have fifty (50) percent minimum transparency.
4. Entry door is required to be recessed three (3) feet to eight (8) feet from the building wall. The angled wall (the wall that connects the storefront to the door) in the recess area shall match the main storefront window.
5. Entry door is required to be at adjacent sidewalk grade.
6. Required 30" to 42" sign band or horizontal expression line above storefront window or transom. Sign band or horizontal expression line shall extend the entire width of the storefront but may be interrupted by the required pilasters referenced in item 10. on this page.
7. Storefront window glass shall be eight (8) feet high minimum, measured from the adjacent grade.
8. Transparency Ground Floor: Storefront frontage shall have 70% to 90% of the façade be glass between the top of the storefront base and bottom of sign band (or horizontal expression line). Entry door transparency may be included as part of the required transparency calculation.
9. Transparency Upper Floors: Refer to Building Type for transparency requirements of upper floors.
10. Required 18" to 24" high storefront base.
11. Required 16" to 32" wide pilaster or wall surface spaced as indicated by Building Type. Pilaster or wall surface shall extend the full height of the storefront frontage, but may be interrupted by the sign band or horizontal expression line.
12. Required recessed open-air balcony located within the mass of the building.
13. Required balcony columns spaced to match pilaster or wall surface of building (item 10. above).
14. Building roof and / or parapet wall at balcony shall extend over balcony and align with building facade.
15. Required guardrail or knee-wall shall align with building facade.
16. Storefront windows may be replaced with overhead doors. Overhead doors that replace storefront windows are required to meet the transparency requirements in item 8. Refer to Image 6.07.



IMAGE 6.07 STOREFRONT WITH TRANSPARENT OVERHEAD DOORS

2006.09 MIXED USE BUILDING TYPE FRONTAGE OPTIONS

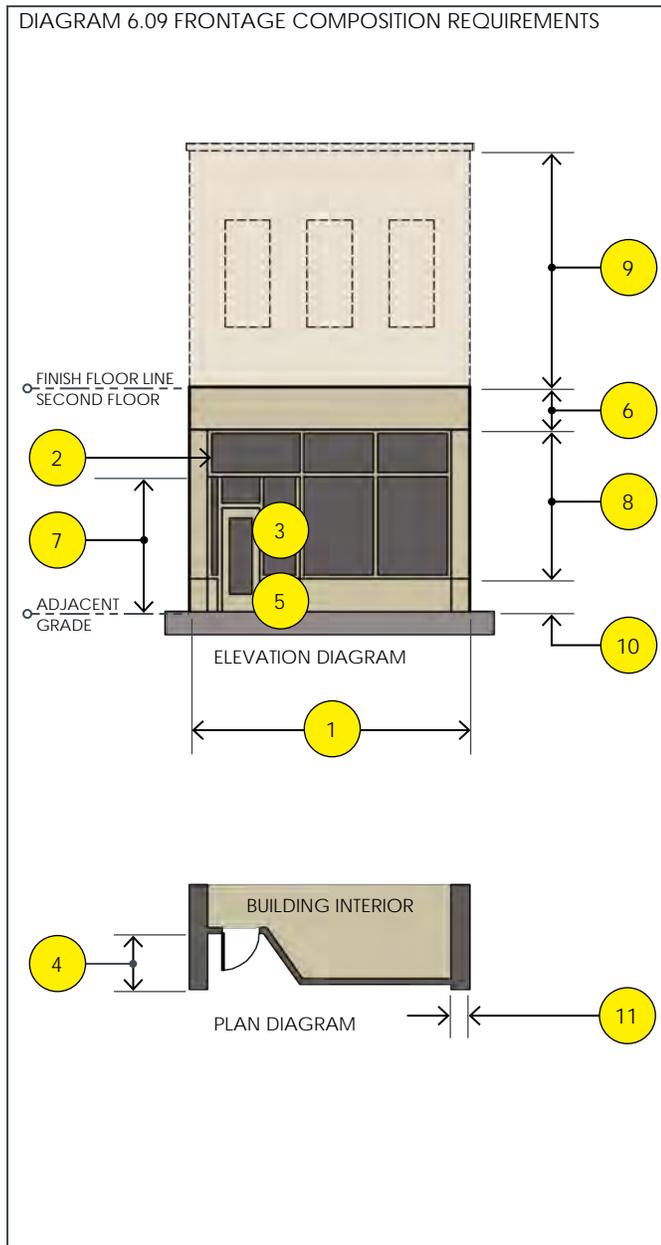
L. BUILDING TYPE FRONTAGE OPTION 3: DRIVE-THROUGH

DESCRIPTION

The Drive-through Frontage is identical to the Storefront Frontage, however it includes an automobile drive-through at the rear or non-street facing sides. The drive-through may include a covered structure at the service window location. This structure is designed to be a secondary element to the building and is consistent with the massing, scale, and design of the building. This frontage is typically associated with retail and mixed-use buildings and includes a storefront that is designed in a way that promotes an attractive and convenient shopping experience.



IMAGE 6.08 MIXED-USE BUILDING WITH DRIVE-THROUGH FRONTAGE



DRIVE-THROUGH COMPOSITION REQUIREMENTS

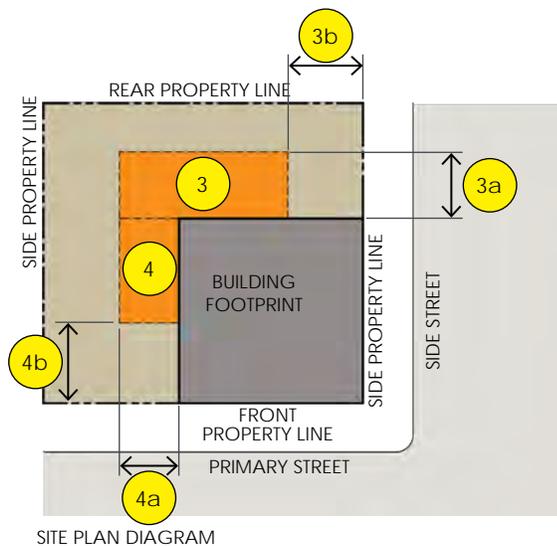
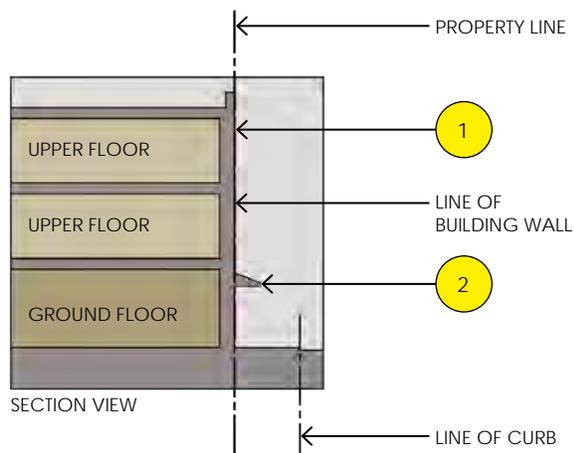
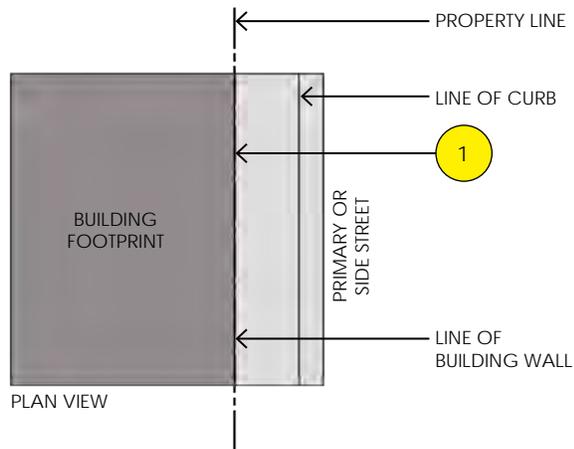
Drive-through frontage composition shall meet the following requirements and Diagram 6.09.

1. Frontage shall extend across the overall length of the ground floor as required by the Context Area frontage placement requirements in Section 2005.
2. Optional transom window may extend over entry recess (as depicted) or follow entry recess.
3. Required entry door shall have fifty (50) percent minimum transparency.
4. Entry door is required to be recessed three (3) feet to eight (8) feet from the building wall. The angled wall (the wall that connects the storefront to the door) in the recess area shall match the main storefront window.
5. Entry door is required to be at adjacent sidewalk grade.
6. Required 30" to 42" sign band or horizontal expression line above storefront window or transom. Sign band or horizontal expression line shall extend the entire width of the storefront but may be interrupted by the required pilasters referenced in item 10. on this page.
7. Storefront window glass shall be eight (8) feet high minimum, measured from the adjacent grade.
8. Transparency Ground Floor: Storefront frontage shall have 70% to 90% of the façade be glass between the top of the storefront base and bottom of sign band (or horizontal expression line). Entry door transparency may be included as part of the required transparency calculation.
9. Transparency Upper Floors: Refer to Building Type for transparency requirements of upper floors.
10. Required 18" to 24" high storefront base.
11. Required 16" to 32" wide pilaster or wall surface spaced as indicated by Building Type. Pilaster or wall surface shall extend the full height of the storefront frontage, but may be interrupted by the sign band or horizontal expression line.
12. The frontage may have an angled corner entry as permitted by the specific Building Type. The angled corner entry shall meet the transparency requirements of the storefront frontage and have an entry door.

2006.09 MIXED USE BUILDING TYPE FRONTAGE OPTIONS

L. BUILDING TYPE FRONTAGE OPTION 3: DRIVE-THROUGH (continued)

DIAGRAM 6.10 FRONTAGE LOCATION REQUIREMENTS

**DRIVE-THROUGH LOCATION REQUIREMENTS**

Drive-through frontage shall be located per the following requirements and Diagram 6.10.

1. The building wall(s) are required to be placed at the Build-to-Line as required by the building site placement requirements in the Context Area section. Refer to Section 2005.
2. Balconies, awnings, canopies, cornices, upper bays, and projecting signs may extend into the public right-of-way per the encroachment requirements in the Context Area section. Refer to Section 2005.
3. Rear Drive-Through Zone: Drive-through locations at the rear of the building shall be placed within a rear drive-through zone that is located as follows:
 - a. 0 to 45 feet, measured from rear building wall.
 - b. 15 feet minimum, measured from building walls that face side streets.
4. Side Drive-Through Zone: Drive-through locations at the non-street facing sides of the building shall be placed within a rear drive-through zone that is located as follows:
 - a. 0 to 45 feet, measured from side building wall.
 - b. 15 feet minimum, measured from building walls that face primary streets.
5. Drive-through locations shall comply with rear and side setbacks of the Context Area that the lot is in. Refer to Section 2005.
6. Storefront is required at the ground level floor at building facades facing streets, civic space, and rights-of-way.

2006.09 MIXED USE BUILDING TYPE FRONTAGE OPTIONS

M. BUILDING TYPE FRONTAGE OPTION 4: LIGHTWELL

DESCRIPTION

The Lightwell Frontage, when used in conjunction with a storefront, requires that the facade of the building that faces the primary and / or side streets is setback a small distance from the front and / or side property lines. The lightwell is required to be built to the Build-to-Line. The frontage has a combined storefront at the ground floor and sunken lightwell between the building wall and property line. The lightwell provides access to a retail space on the lower level.



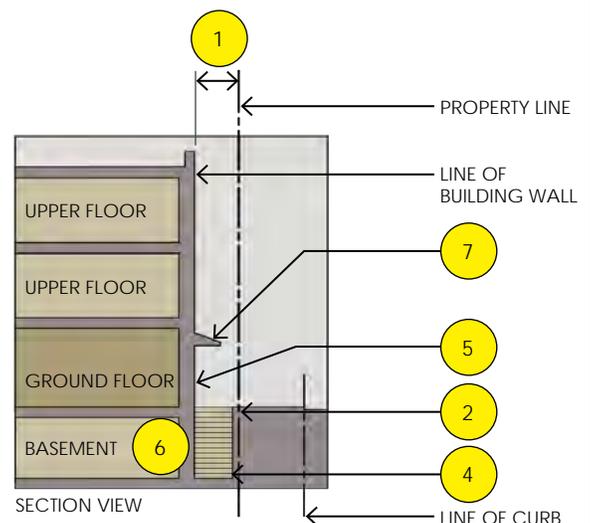
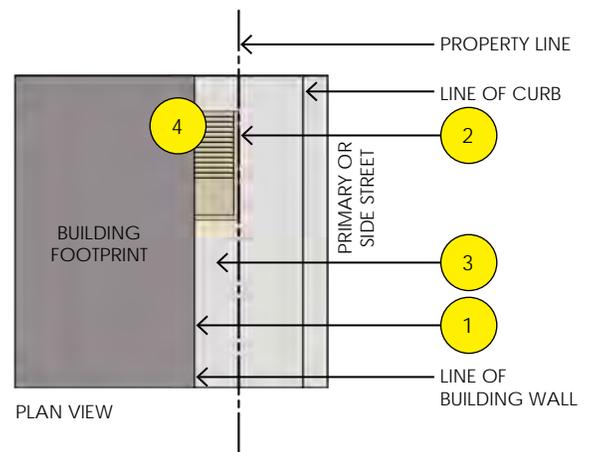
IMAGE 6.09 MIXED-USE BUILDING WITH LIGHTWELL FRONTAGE

LIGHTWELL LOCATION REQUIREMENTS

Lightwell frontage shall be located per the following requirements and Diagram 6.11.

1. The building wall(s) are required to be placed setback from the primary and / or side street property line to accommodate the frontage.
2. The front edge of the lightwell is required to be placed at the Build-to-Line as required by the building site placement requirements in the Context Area section. Refer to Section 2005.
3. The ground area between the primary and /or side street property lines and the building wall shall be paved to match the public sidewalk.
4. Required exterior stair from adjacent sidewalk grade down to sunken lightwell shall be parallel to the building wall and sidewalk.
5. Storefront is required at the ground floor.
6. Partial storefront is required at the sunken level (basement). Refer to 2006.09.0 on facing page for requirements.
7. Balconies, awnings, canopies, cornices, upper bays, and projecting signs may extend into the public right-of-way per the encroachment requirements in the Context Area section. Refer to Section 2005.

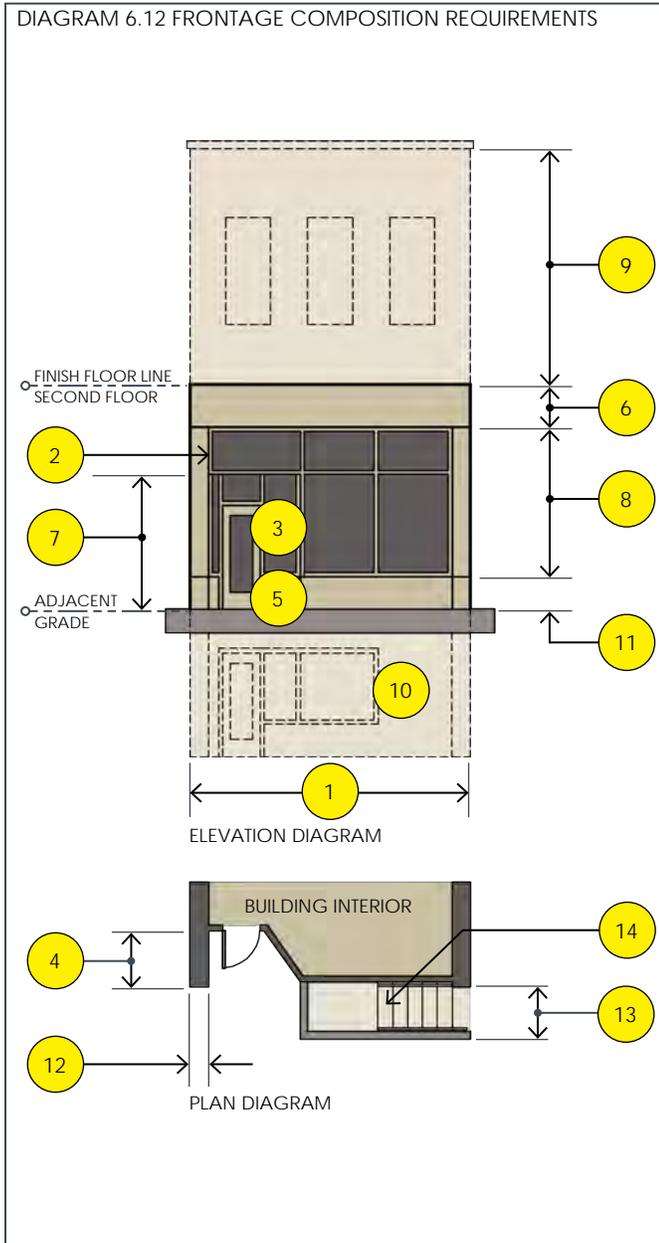
DIAGRAM 6.11 FRONTAGE LOCATION REQUIREMENTS



2006.09 MIXED USE BUILDING TYPE FRONTAGE OPTIONS

M. BUILDING TYPE FRONTAGE OPTION 4: LIGHTWELL (continued)

DIAGRAM 6.12 FRONTAGE COMPOSITION REQUIREMENTS

**LIGHTWELL COMPOSITION REQUIREMENTS**

Lightwell frontage composition shall meet the following requirements and Diagram 6.12.

1. Frontage shall extend across the overall length of the ground floor as required by the Context Area frontage placement requirements in Section 2005.
2. Optional transom window may extend over entry recess (as depicted) or follow entry recess.
3. Required entry door shall have fifty (50) percent minimum transparency.
4. Entry door is required to be recessed three (3) feet to eight (8) feet from the building wall. The angled wall (the wall that connects the storefront to the door) in the recess area shall match the main storefront window.
5. Entry door is required to be at adjacent sidewalk grade.
6. Required 30" to 42" sign band or horizontal expression line above storefront window or transom. Sign band or horizontal expression line shall extend the entire width of the storefront but may be interrupted by the required pilasters referenced in item 10. on this page.
7. Storefront window glass shall be eight (8) feet high minimum, measured from the adjacent grade.
8. Transparency Ground Floor: Storefront frontage shall have 70% to 90% of the façade be glass between the top of the storefront base and bottom of sign band (or horizontal expression line). Entry door transparency may be included as part of the required transparency calculation.
9. Transparency Upper Floors: Refer to Building Type for transparency requirements of upper floors.
10. Transparency Lightwell: A partial storefront window and entry door is required at the lightwell level (basement). Storefront shall have 20% to 60% of the building wall be glass. Door is required to have 50% transparency and may be included as part of the transparency calculation.
11. Required 18" to 24" high storefront base. Base may also be a horizontal expression line or sign band between ground floor storefront and lightwell storefront (refer to Image 6.09).
12. Required 16" to 32" wide pilaster or wall surface spaced as indicated by Building Type. Pilaster or wall surface shall extend the full height of the storefront frontage, but may be interrupted by the sign band or horizontal expression line.
13. Required lightwell depth shall be six (6) feet maximum measured from building wall to front edge of lightwell.
14. Required exterior stair from adjacent sidewalk grade down to sunken lightwell shall be parallel to the building wall and sidewalk.

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2006.10 RETAIL BUILDING TYPE

A. BUILDING TYPE DESCRIPTION

The RETAIL BUILDING TYPE is a medium- to large-sized typically attached structure. It is intended to provide a single story building with ground floor retail or service uses. This Type makes up the secondary component of a main street and is a Building Type that can provide street vibrancy and enhanced walkability.



B. PRECEDENT OF RETAIL BUILDING TYPE

The following images represent precedent examples of the Retail Building Type. They are intended as examples only and should be used for inspiration in the creation of this Building Type for projects within the Traverse City Form-Based Code area.



IMAGE 6.10 TRAVERSE CITY RETAIL BUILDING ON FRONT STREET WITH STOREFRONT FRONTAGE



IMAGE 6.11 TRAVERSE CITY RETAIL BUILDING WITH STOREFRONT FRONTAGE

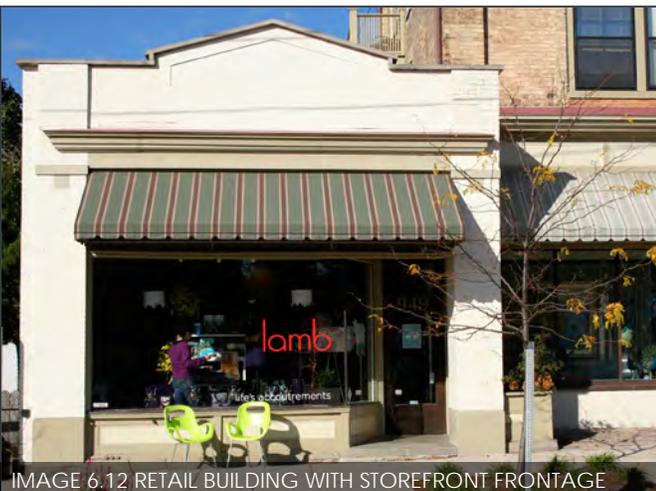


IMAGE 6.12 RETAIL BUILDING WITH STOREFRONT FRONTAGE

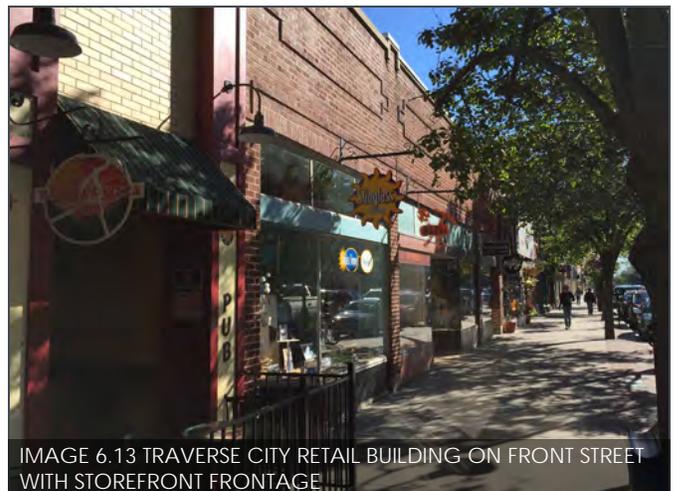


IMAGE 6.13 TRAVERSE CITY RETAIL BUILDING ON FRONT STREET WITH STOREFRONT FRONTAGE

2006.10 RETAIL BUILDING TYPE

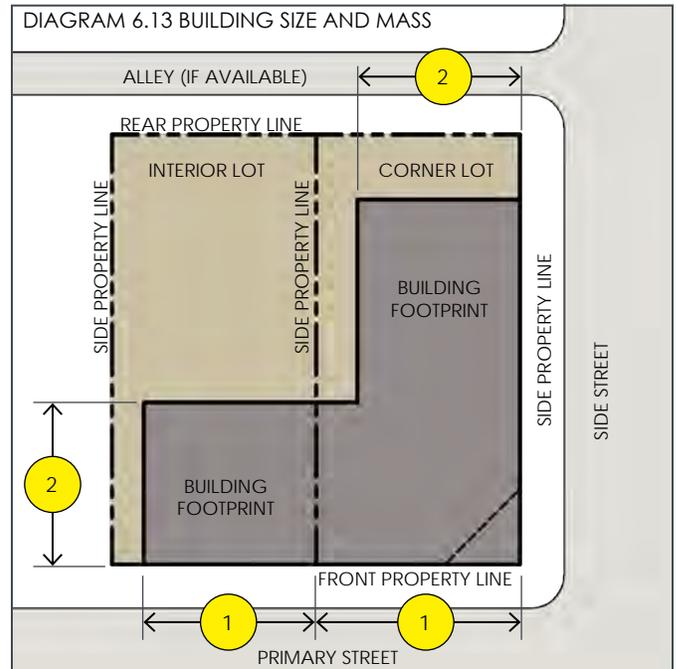
C. BUILDING SIZE AND MASSING

Building Type size and massing shall meet the following requirements and Diagram 6.13.

1. Percentage of front building wall at primary street: Building shall be built to a minimum of 90% of the overall width of the front street property line.

Exception: When parking access is not available on an alley, rear street, or side street and is only available at primary street, the required percentage indicated above may be reduced to allow access that meets the requirements indicated in the Context Area (Section 2005).

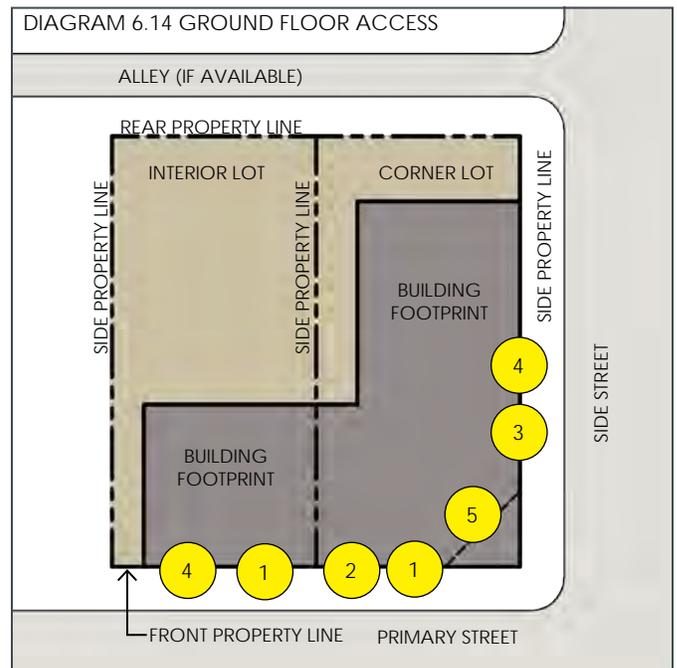
2. Building depth: 20 feet minimum
3. Maximum site coverage: 100%



D. GROUND FLOOR PEDESTRIAN ACCESS AND ACTIVATION

Building Type ground floor entrances shall meet the following requirements and Diagram 6.14.

1. Entrances are required at the primary street and shall be directly accessed from and face the primary street.
2. Entrances shall occur at intervals of not greater than 75 feet along the primary street.
3. Entrances at the side street (if provided) shall be directly accessed from and face the side street.
4. Optional angled building corner with required entry door. Maximum length of angled wall shall be 8 feet.



E. NUMBER OF UNITS

Number of units per Building Type:

1. Required total of 1 unit minimum.

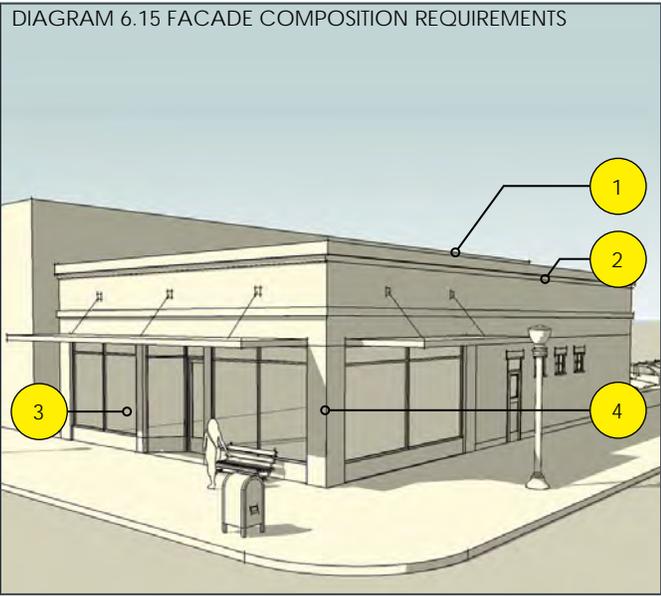
F. USE

Building Type use:

1. Uses are regulated by Context Area. Refer to Section 2005 for permitted uses in each Context Area.

2006.10 RETAIL BUILDING TYPE

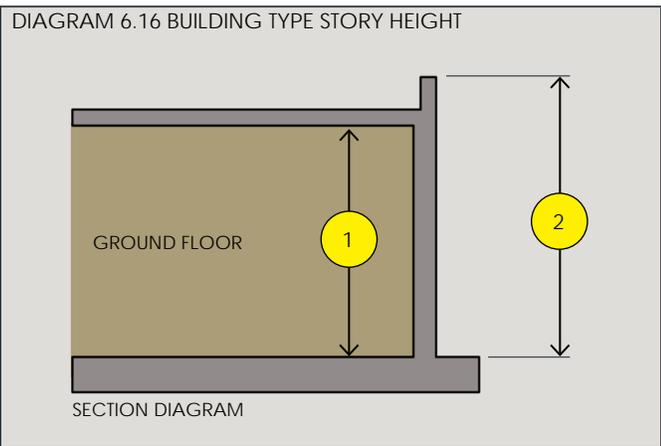
G. FACADE COMPOSITION REQUIREMENTS



Building Type facade composition shall meet the following requirements and Diagram 6.15.

1. Building shall have a flat roof with parapet.
2. Building shall have a cornice expression line at roofline.
3. Transparency Ground Floor: Refer to Building Type frontage options for transparency requirements at ground floor.
4. Building shall have an 16" to 32" pilaster or wall surface every 20 to 40 feet along building facades facing streets. Pilasters shall extend vertically from grade to cornice expression line.

H. BUILDING TYPE FLOOR HEIGHT REQUIREMENTS



Building Type floor heights shall meet the following requirements and Diagram 6.16.

1. Ground floor: Floor to ceiling height shall be 14 feet minimum.
2. Overall height of Building Type is regulated by Context Area, refer to Section 2005.
3. Retail Building Type is required to be one-story.

I. BUILDING TYPE FRONTAGE OPTIONS

Each Retail Building Type is required to have only 1 of the following frontage configurations applied to the ground level floor where it abuts front and side streets, civic space, and / or public rights-of-way.

Frontage options for the Retail Building Type are provided in the table below and described on the following pages of this sub-section.

RETAIL BUILDING TYPE	BUILDING TYPE FRONTAGE OPTION	CONTEXT AREAS			
		DE DOWNTOWN EDGE	MS MAINSTREET	GW GATEWAY	NE NEIGHBORHOOD EDGE
	with STOREFRONT (2006.10.J)		By Right		
	with LIGHTWELL (2006.10.K)		By Right		

Shaded areas represent Context Areas where Building Type with frontage option is not permitted.

2006.10 RETAIL BUILDING TYPE FRONTAGE OPTIONS

J. BUILDING TYPE FRONTAGE OPTION 1: STOREFRONT

DESCRIPTION

The Storefront Frontage is applied to the ground level floor of a Building Type along the primary and side streets. It is typically associated with retail and mixed use buildings. The storefront shall be designed in a way that promotes an attractive and convenient shopping experience and a transparent wall along the sidewalk. Storefront entries are at grade with the sidewalk and are sometimes shaded by awnings.

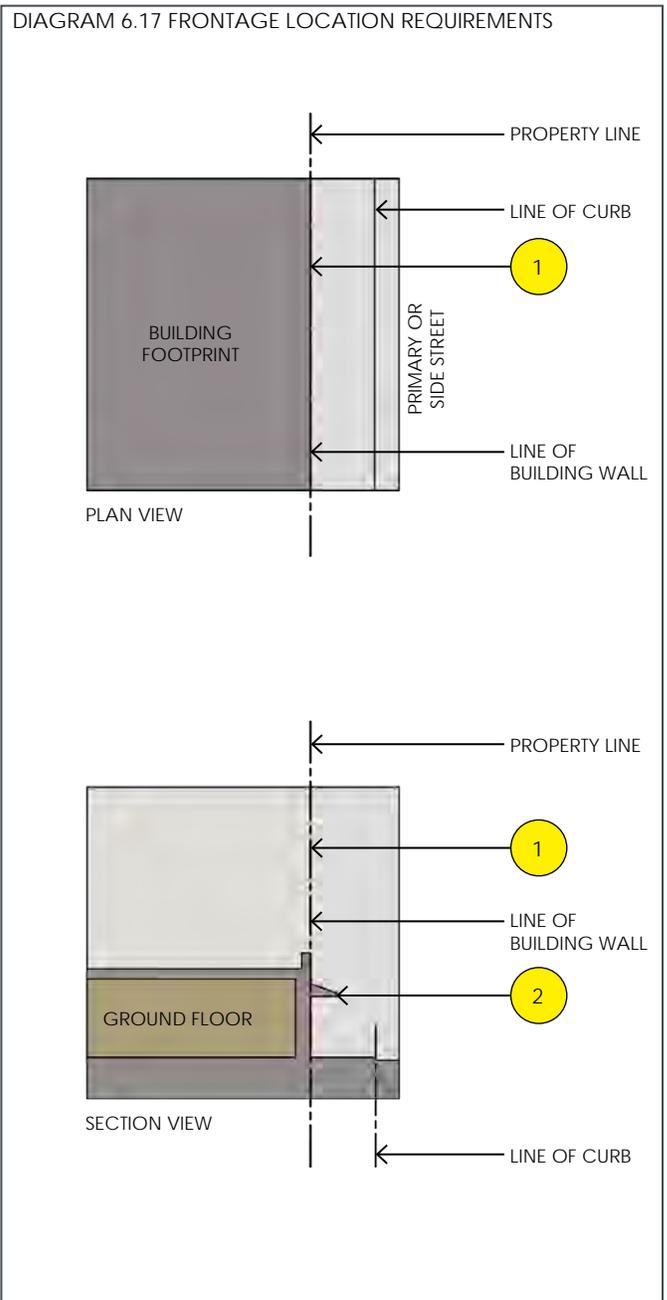


IMAGE 6.14 RETAIL BUILDING WITH STOREFRONT FRONTAGE

STOREFRONT LOCATION REQUIREMENTS

Storefront frontage shall be located per the following requirements and Diagram 6.17.

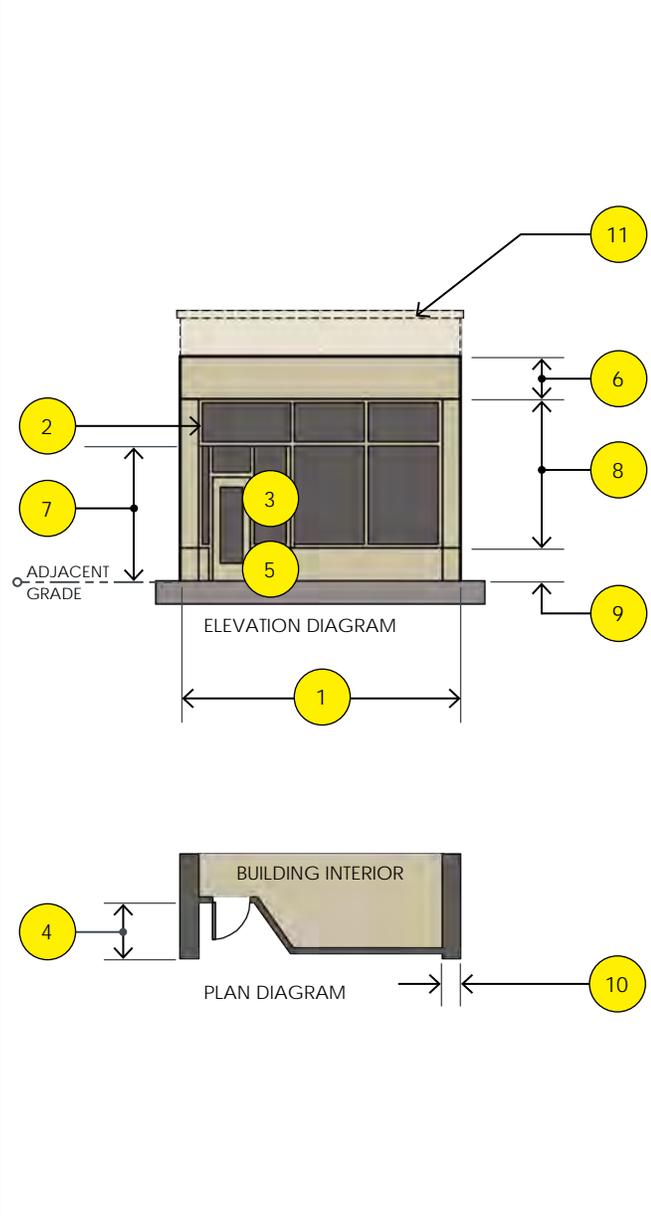
1. The building wall(s) are required to be placed at the Build-to-Line as required by the building site placement requirements in the Context Area section. Refer to Section 2005.
2. Balconies, awnings, canopies, cornices, upper bays, and projecting signs may extend into the public right-of-way per the encroachment requirements in the Context Area section. Refer to Section 2005.



2006.10 RETAIL BUILDING TYPE FRONTAGE OPTIONS

J. BUILDING TYPE FRONTAGE OPTION 1: STOREFRONT (continued)

DIAGRAM 6.18 FRONTAGE COMPOSITION REQUIREMENTS



STOREFRONT COMPOSITION REQUIREMENTS

Storefront frontage composition shall meet the following requirements and Diagram 6.18.

1. Frontage shall extend across the overall length of the ground floor as required by the Context Area frontage placement requirements in Section 2005.
2. Optional transom window may extend over entry recess (as depicted) or follow entry recess.
3. Required entry door shall have fifty (50) percent minimum transparency.
4. Entry door is required to be recessed three (3) feet to eight (8) feet from the building wall. The angled wall (the wall that connects the storefront to the door) in the recess area shall match the main storefront window.
5. Entry door is required to be at adjacent sidewalk grade.
6. Optional 30" to 42" sign band or horizontal expression line above storefront window or transom. Sign band or horizontal expression line shall extend the entire width of the storefront but may be interrupted by the required pilasters referenced in item 10. on this page.
7. Storefront window glass shall be eight (8) feet high minimum, measured from the adjacent grade.
8. Transparency Ground Floor: Storefront frontage shall have 70% to 90% of the façade be glass between the top of the storefront base and bottom of sign band (or horizontal expression line). Entry door transparency may be included as part of the required transparency calculation.
9. Required 18" to 24" high storefront base.
10. Required 16" to 32" wide pilaster or wall surface spaced as indicated by Building Type. Pilaster or wall surface shall extend the full height of the storefront frontage, but may be interrupted by the sign band or horizontal expression line.
11. Refer to Building Type for roof and cornice requirements.
12. The storefront frontage may have an angled corner entry as permitted by the specific Building Type. The angled corner entry shall meet the transparency requirements of the storefront frontage and have an entry door.
13. Storefront windows may be replaced with overhead doors. Overhead doors that replace storefront windows are required to meet the transparency requirements in item 8. Refer to Image 6.15.



IMAGE 6.15 STOREFRONT WITH TRANSPARENT OVERHEAD DOORS

2006.10 RETAIL BUILDING TYPE FRONTAGE OPTIONS

K. BUILDING TYPE FRONTAGE OPTION 2: LIGHTWELL

DESCRIPTION

The Lightwell Frontage, when used in conjunction with a storefront, requires that the facade of the building that faces the primary and / or side streets is setback a small distance from the front and / or side property lines. The lightwell is required to be built to the Build-to-Line. The frontage has a combined storefront at the ground floor and sunken lightwell between the building wall and property line. The lightwell provides access to a retail space on the lower level.



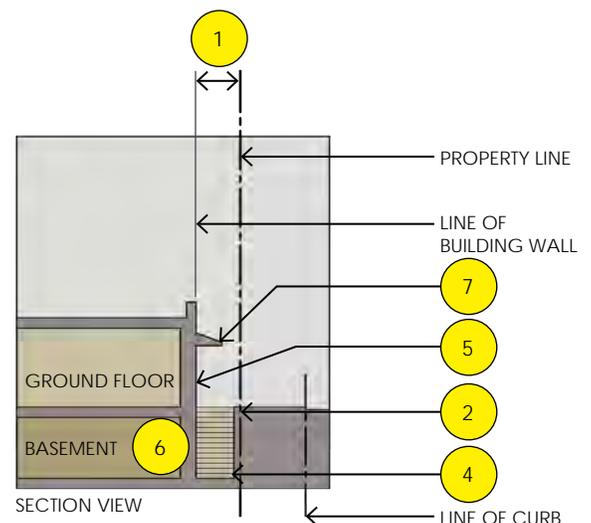
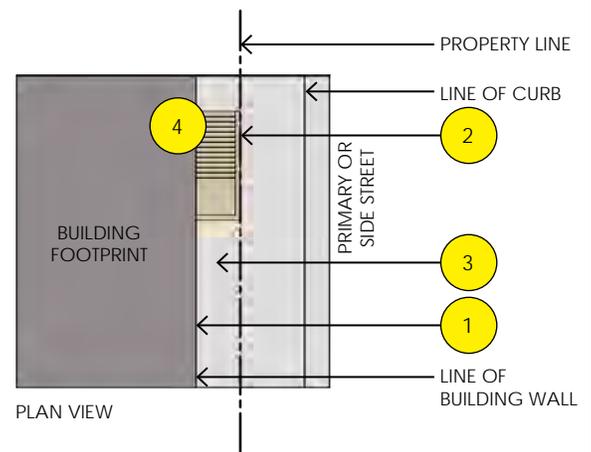
IMAGE 6.16 LIGHTWELL FRONTAGE

LIGHTWELL LOCATION REQUIREMENTS

Lightwell frontage shall be located per the following requirements and Diagram 6.19.

1. The building wall(s) are required to be placed setback from the primary and / or side street property line to accommodate the frontage.
2. The front edge of the lightwell is required to be placed at the Build-to-Line as required by the building site placement requirements in the Context Area section. Refer to Section 2005.
3. The ground area between the primary and /or side street property lines and the building wall shall be paved to match the public sidewalk.
4. Required exterior stair from adjacent sidewalk grade down to sunken lightwell shall be parallel to the building wall and sidewalk.
5. Storefront is required at the ground floor.
6. Partial storefront is required at the sunken level (basement). Refer to 2006.09.0 on facing page for requirements.
7. Balconies, awnings, canopies, cornices, upper bays, and projecting signs may extend into the public right-of-way per the encroachment requirements in the Context Area section. Refer to Section 2005.

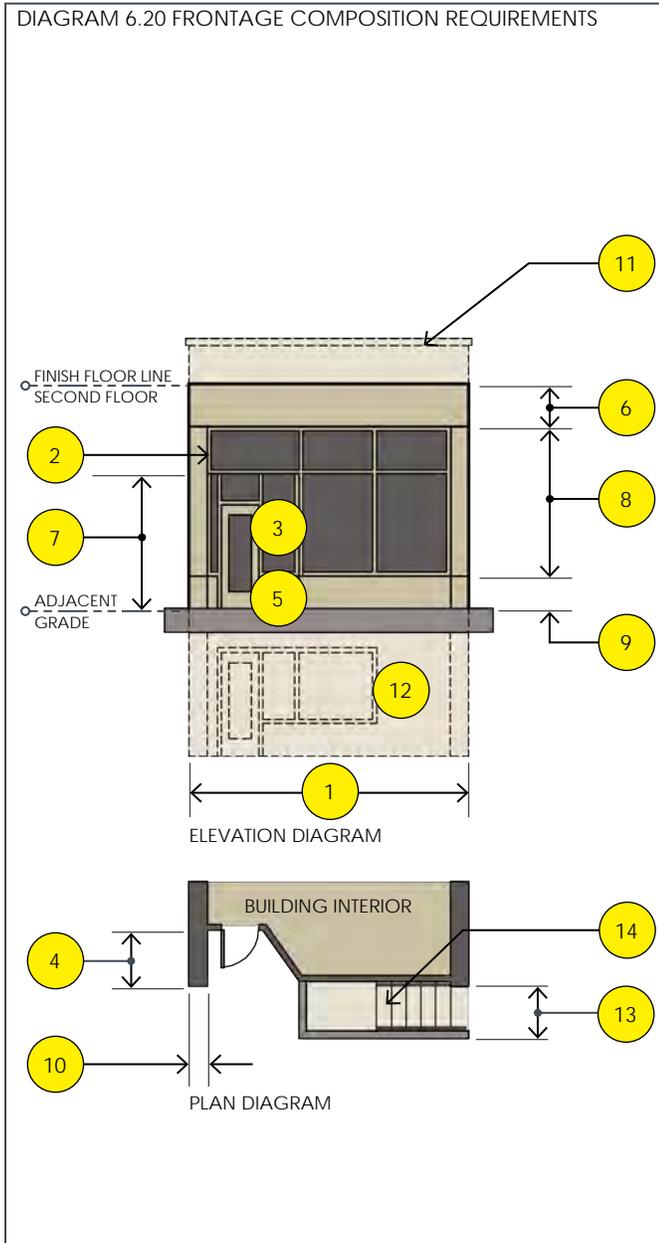
DIAGRAM 6.19 FRONTAGE LOCATION REQUIREMENTS



2006.10 RETAIL BUILDING TYPE FRONTAGE OPTIONS

K. BUILDING TYPE FRONTAGE OPTION 2: LIGHTWELL (continued)

DIAGRAM 6.20 FRONTAGE COMPOSITION REQUIREMENTS

**LIGHTWELL COMPOSITION REQUIREMENTS**

Lightwell frontage composition shall meet the following requirements and Diagram 6.20.

1. Frontage shall extend across the overall length of the ground floor as required by the Context Area frontage placement requirements in Section 2005.
2. Optional transom window may extend over entry recess (as depicted) or follow entry recess.
3. Required entry door shall have fifty (50) percent minimum transparency.
4. Entry door is required to be recessed three (3) feet to eight (8) feet from the building wall. The angled wall (the wall that connects the storefront to the door) in the recess area shall match the main storefront window.
5. Entry door is required to be at adjacent sidewalk grade.
6. Optional 30" to 42" sign band or horizontal expression line above storefront window or transom. Sign band or horizontal expression line shall extend the entire width of the storefront but may be interrupted by the required pilasters referenced in item 10. on this page.
7. Storefront window glass shall be eight (8) feet high minimum, measured from the adjacent grade.
8. Transparency Ground Floor: Storefront frontage shall have 70% to 90% of the façade be glass between the top of the storefront base and bottom of sign band (or horizontal expression line). Entry door transparency may be included as part of the required transparency calculation.
9. Required 18" to 24" high storefront base. Base may also be a horizontal expression line or sign band between ground floor storefront and lightwell storefront (refer to Image 6.17).
10. Required 16" to 32" wide pilaster or wall surface spaced as indicated by Building Type. Pilaster or wall surface shall extend the full height of the storefront frontage, but may be interrupted by the sign band or horizontal expression line.
11. Refer to Building Type for roof and cornice requirements.
12. Transparency Lightwell: A partial storefront window and entry door is required at the lightwell level (basement). Storefront shall have 20% to 60% of the building wall be glass. Door is required to have 50% transparency and may be included as part of the transparency calculation.
13. Required lightwell depth shall be six (6) feet maximum measured from building wall to front edge of lightwell.
14. Required exterior stair from adjacent sidewalk grade down to sunken lightwell shall be parallel to the building wall and sidewalk.

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2006.11 FLEX BUILDING TYPE

A. BUILDING TYPE DESCRIPTION

The FLEX BUILDING TYPE is a medium- to large-sized attached or detached structure, typically built on a large lot. It can be used to provide a vertical mix of uses with ground floor industrial, service, retail, or residential uses; or it may be a single-use building. This Building Type is a primary component in a variety of urban context areas that provide a mix of Building Types.



B. PRECEDENT OF FLEX BUILDING TYPE

The following images represent precedent examples of the Flex Building Type. They are intended as examples only and should be used for inspiration in the creation of this Building Type for projects within the Traverse City Form-Based Code area.



IMAGE 6.17 TRAVERSE CITY FLEX BUILDING ON CASS STREET WITH STOREFRONT AND DOORYARD FRONTAGE COMBINATION



IMAGE 6.18 TRAVERSE CITY FLEX BUILDING ON LAKE STREET WITH STOREFRONT FRONTAGE

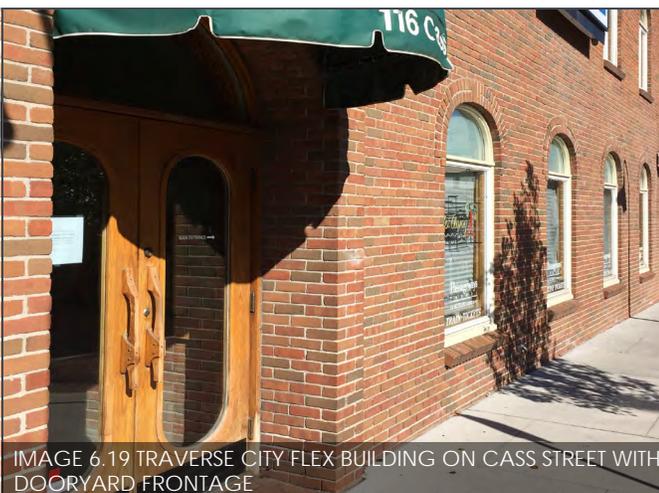


IMAGE 6.19 TRAVERSE CITY FLEX BUILDING ON CASS STREET WITH DOORYARD FRONTAGE

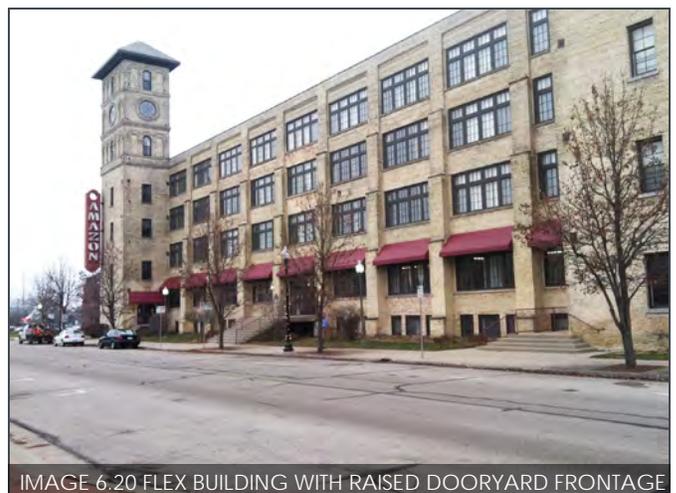


IMAGE 6.20 FLEX BUILDING WITH RAISED DOORYARD FRONTAGE

2006.11 FLEX BUILDING TYPE

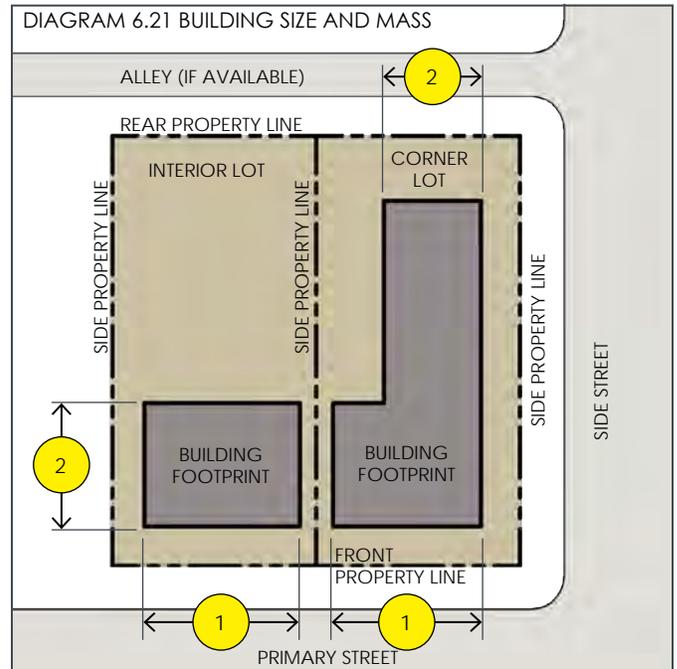
C. BUILDING SIZE AND MASSING

Building Type size and massing shall meet the following requirements and Diagram 6.21.

1. Percentage of front building wall at primary street: Building shall be built to a minimum of 90% of the overall width of the front street property line.

Exception: When parking access is not available on an alley, rear street, or side street and is only available at primary street, the required percentage indicated above may be reduced to allow access that meets the requirements indicated in the Context Area (Section 2005).

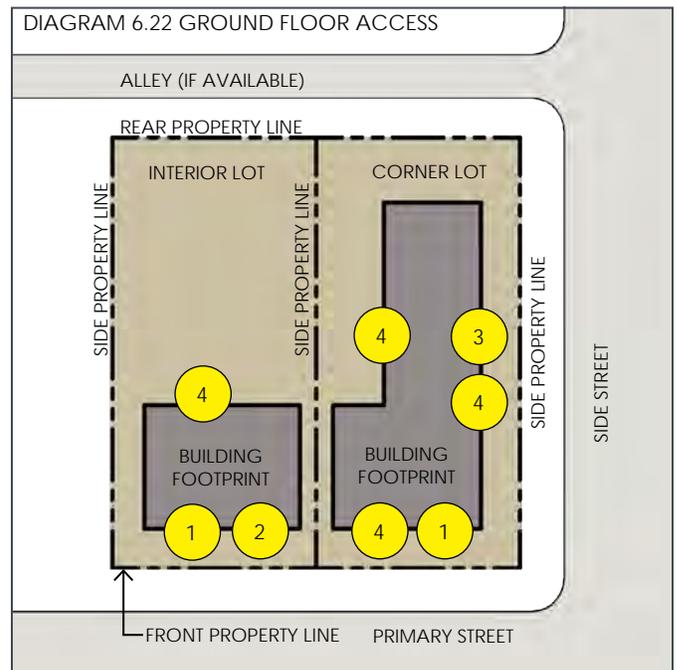
2. Building depth: 20 feet minimum
3. Maximum site coverage: 100%



D. GROUND FLOOR PEDESTRIAN ACCESS AND ACTIVATION

Building Type ground floor entrances shall meet the following requirements and Diagram 6.22.

1. Entrances to ground floor unit(s) are required at the primary street and shall be directly accessed from and face the primary street.
2. Entrances to ground floor unit(s) shall occur at intervals of not greater than 75 feet along the primary street.
3. Entrances to ground floor unit(s) at the side street (if provided) shall be directly accessed from and face the side street.
4. Upper floor units shall be accessed by a common entry or lobby along the primary or side street, or at the rear of the building.



E. NUMBER OF UNITS

Number of units per Building Type:

1. Required total of 1 unit minimum.

F. USE

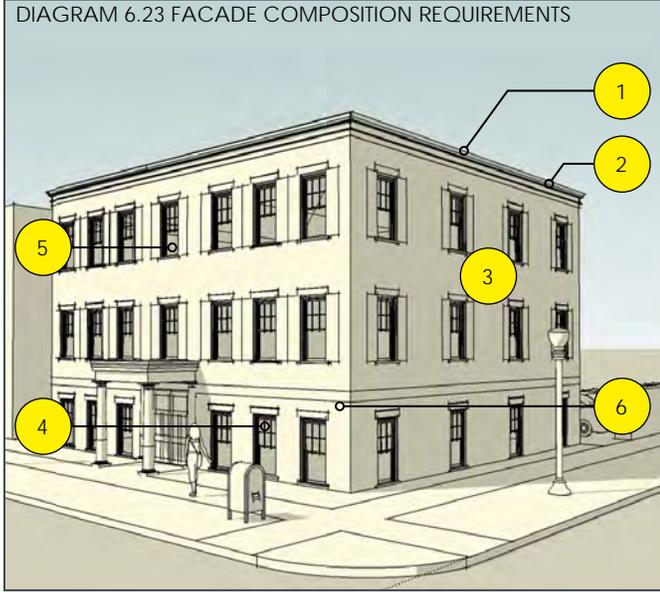
Building Type use:

1. Uses are regulated by Context Area. Refer to Section 2005 for permitted uses in each Context Area.

2006.11 FLEX BUILDING TYPE

G. FACADE COMPOSITION REQUIREMENTS

DIAGRAM 6.23 FACADE COMPOSITION REQUIREMENTS

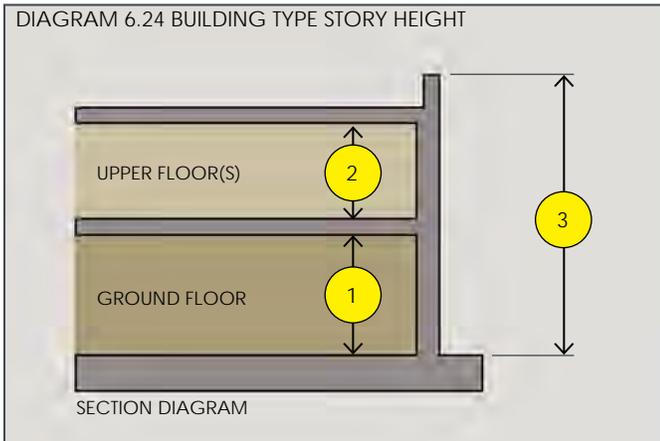


Building Type facade composition shall meet the following requirements and Diagram 6.23.

1. Building shall have a flat roof with parapet.
2. Building shall have a cornice expression line at roofline.
3. Transparency Upper Floors: Building facades facing streets shall have minimum 15% of the façade be glass between the finish floor line of the second story and bottom of cornice expression line.
4. Transparency Ground Floor: Refer to Building Type frontage options for transparency requirements at ground floor.
5. Upper windows shall be square or vertically proportioned with clear glass. Refer to definitions in Section 2009 for clear glass requirements.
6. Building shall have an 18" to 32" pilaster or wall surface every 20 to 40 feet along building facades facing streets. Pilasters shall extend vertically from grade to cornice expression line.

H. BUILDING TYPE FLOOR HEIGHT REQUIREMENTS

DIAGRAM 6.24 BUILDING TYPE STORY HEIGHT



Building Type floor heights shall meet the following requirements and Diagram 6.24.

1. Ground floor: Floor to ceiling height shall be 12 feet minimum.
2. Upper floors: Floor to ceiling height shall as required by Context Area.
3. Overall height of Building Type is regulated by Context Area, refer to Section 2005.

I. BUILDING TYPE FRONTAGE OPTIONS

Each Flex Building Type is required to have at least 1 of the following frontage configurations applied to the ground level floor where it abuts front and side streets, civic space, and / or public rights-of-way.

Combination of Frontages: For Flex Building Types, more than one frontage may be used on the same building at both primary and side streets.

Frontage options for the Flex Building Type are provided in the table below and described on the following pages of this sub-section.

FLEX BUILDING TYPE	BUILDING TYPE FRONTAGE OPTION	CONTEXT AREAS			
		DE DOWNTOWN EDGE	MS MAINSTREET	GW GATEWAY	NE NEIGHBORHOOD EDGE
	with STOREFRONT (2006.11.J)		By Right	By Right	
	with TERRACE (2006.11.K)		By Right	By Right	
	with FORECOURT (2006.11.L)		By Right	By Right	
	with DOORYARD (2006.11.M)		By Right	By Right	

Shaded areas represent Context Areas where Building Type with frontage option is not permitted.

2006.11 FLEX BUILDING TYPE FRONTAGE OPTIONS

J. BUILDING TYPE FRONTAGE OPTION 1: STOREFRONT

DESCRIPTION

The Storefront Frontage is applied to the ground level floor of a Building Type along the primary and side streets. It is typically associated with retail and mixed use buildings. The storefront shall be designed in a way that promotes an attractive and convenient shopping experience and a transparent wall along the sidewalk. Storefront entries are at grade with the sidewalk and are sometimes shaded by awnings.



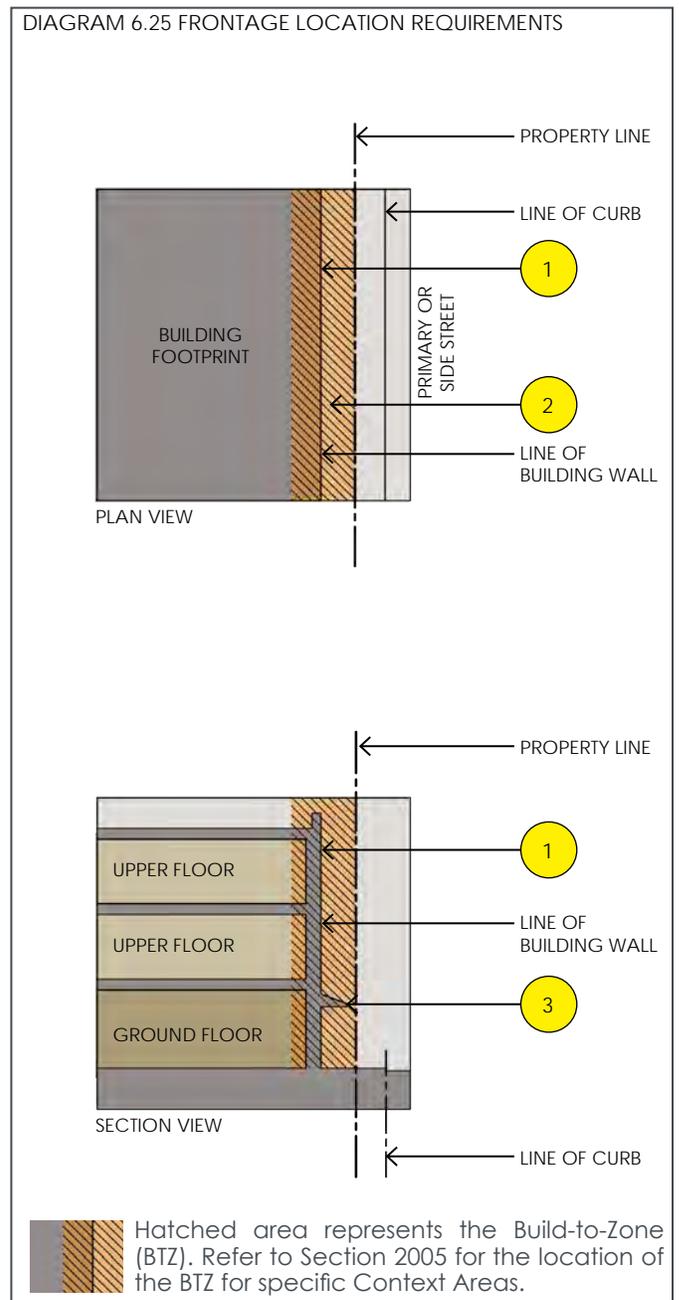
IMAGE 6.21 FLEX BUILDING WITH STOREFRONT FRONTAGE

STOREFRONT LOCATION REQUIREMENTS

Storefront frontage shall be located per the following requirements and Diagram 6.25.

1. The building wall(s) are required to be placed within a Build-to-Zone as required by the building site placement requirements in the Context Area section. Refer to Section 2005.
2. The ground area between the front and side street property lines and the building walls shall have one of the following treatments depending on distance from the property line.
 - a. Distance between building walls and property line is zero (0) to ten (10) feet: Ground area shall be paved to match public sidewalk.
 - b. Distance between building walls and property line is greater than ten (10) feet: Ground area shall be landscaped. A sidewalk connecting the entry door to the public sidewalk is required. Sidewalk connecting entry door and public sidewalk shall have a minimum width that is equal to the width of the entry door recess (item 4 on facing page).
 - c. Ground area may be paved at distances greater than ten (10) feet when outdoor seating is proposed per approval of Planning Director and / or Planning Commission.
3. Balconies, awnings, canopies, cornices, upper bays, and projecting signs may extend into the public right-of-way per the encroachment requirements in the Context Area section. Refer to Section 2005.

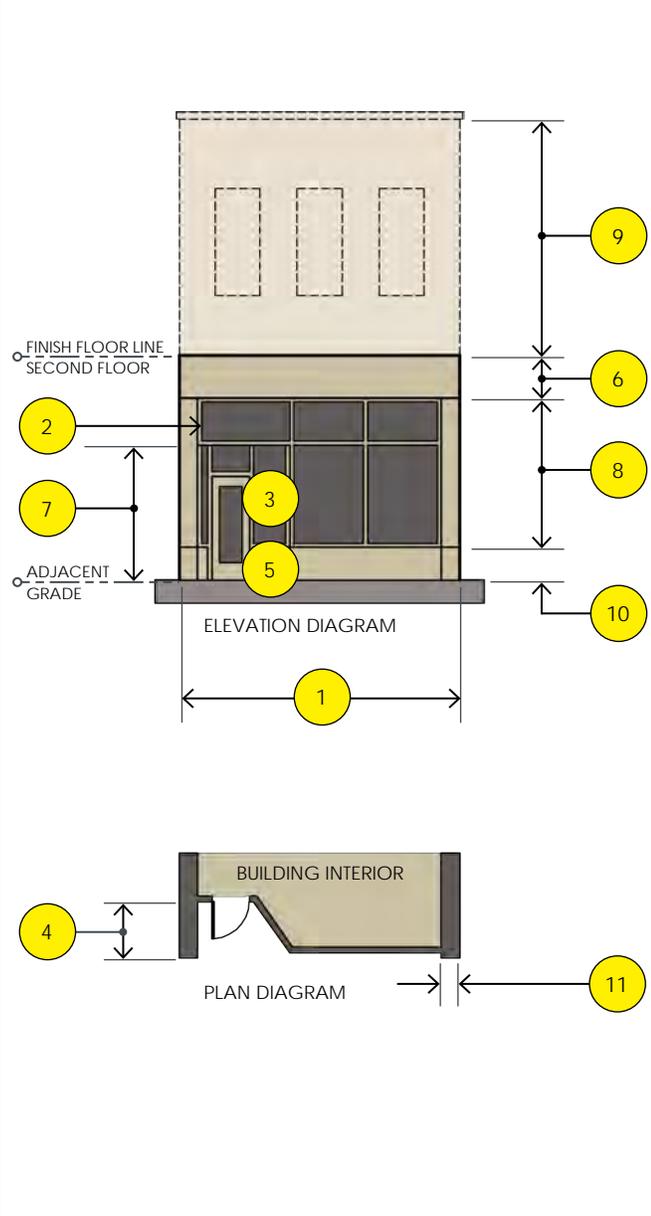
DIAGRAM 6.25 FRONTAGE LOCATION REQUIREMENTS



2006.11 FLEX BUILDING TYPE FRONTAGE OPTIONS

J. BUILDING TYPE FRONTAGE OPTION 1: STOREFRONT (continued)

DIAGRAM 6.26 FRONTAGE COMPOSITION REQUIREMENTS



STOREFRONT COMPOSITION REQUIREMENTS

Storefront frontage composition shall meet the following requirements and Diagram 6.26.

1. Frontage shall extend across the overall length of the ground floor as required by the Context Area frontage placement requirements in Section 2005.
2. Optional transom window may extend over entry recess (as depicted) or follow entry recess.
3. Required entry door shall have fifty (50) percent minimum transparency.
4. Entry door is required to be recessed three (3) feet to eight (8) feet from the building wall. The angled wall (the wall that connects the storefront to the door) in the recess area shall match the main storefront window.
5. Entry door is required to be at adjacent sidewalk grade.
6. Required 30" to 42" sign band or horizontal expression line above storefront window or transom. Sign band or horizontal expression line shall extend the entire width of the storefront but may be interrupted by the required pilasters referenced in item 10. on this page.
7. Storefront window glass shall be eight (8) feet high minimum, measured from the adjacent grade.
8. Transparency Ground Floor: Storefront frontage shall have 70% to 90% of the façade be glass between the top of the storefront base and bottom of sign band (or horizontal expression line). Entry door transparency may be included as part of the required transparency calculation.
9. Transparency Upper Floors: Refer to Building Type for transparency requirements of upper floors.
10. Required 18" to 24" high storefront base.
11. Required 18" to 32" wide pilaster or wall surface spaced as indicated by Building Type. Pilaster or wall surface shall extend the full height of the storefront frontage, but may be interrupted by the sign band or horizontal expression line.
12. The frontage may have an angled corner entry as permitted by the specific Building Type. The angled corner entry shall meet the transparency requirements of the storefront frontage and have an entry door.
13. Storefront windows may be replaced with overhead doors. Overhead doors that replace storefront windows are required to meet the transparency requirements in item 8. Refer to Image 6.22.



IMAGE 6.22 STOREFRONT WITH TRANSPARENT OVERHEAD DOORS

2006.11 FLEX BUILDING TYPE FRONTAGE OPTIONS

K. BUILDING TYPE FRONTAGE OPTION 2: TERRACE

DESCRIPTION

In a Terrace Frontage, the facade of the building that faces the street is set back from the right-of-way line to accommodate an elevated terrace. The terrace provides circulation along the facade. This Frontage Type can be used to provide at-grade access while accommodating a grade change. Frequent steps up to the terrace are necessary to avoid dead walls and maximize access. This frontage may also be used in historic industrial areas to mimic historic loading docks.



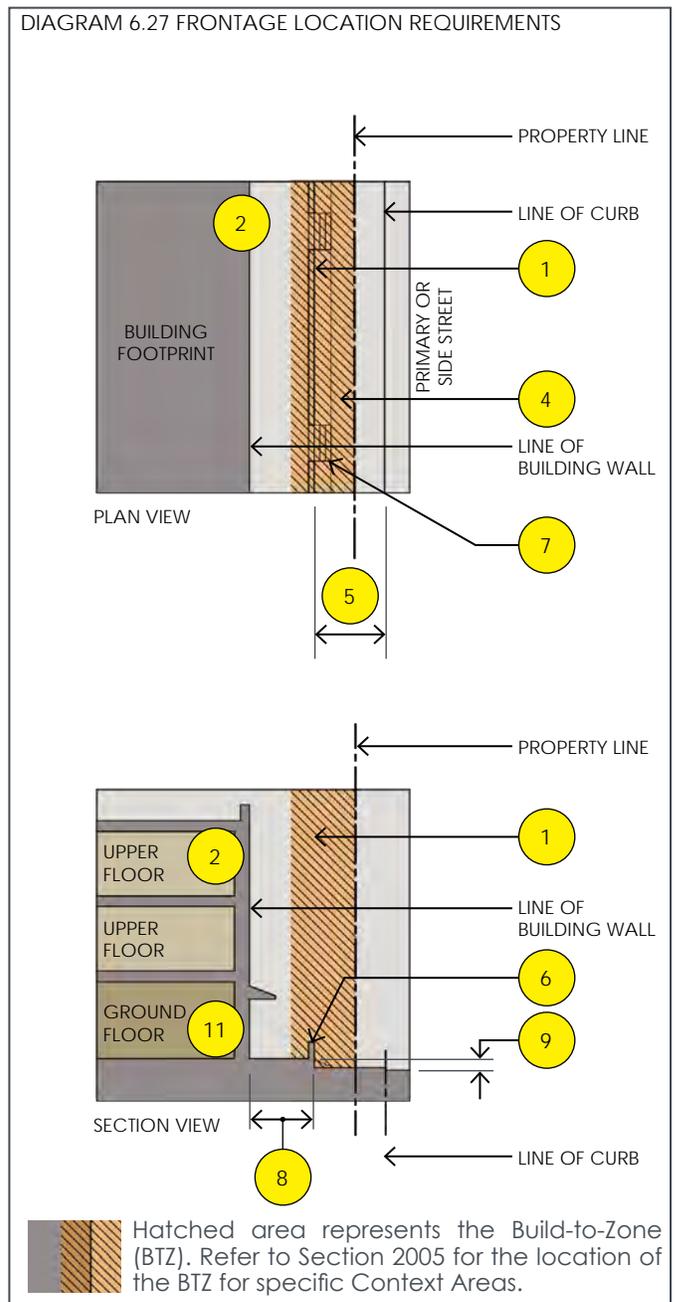
IMAGE 6.23 FLEX BUILDING WITH TERRACE FRONTAGE

TERRACE LOCATION REQUIREMENTS

Terrace frontage shall be located per the following requirements and Diagram 6.27.

1. The terrace frontage is required to be placed within a Build-to-Zone as required by the building site placement requirements in the Context Area section. Refer to Section 2005.
2. Building walls with the terrace frontage are exempt from the requirement of being placed within the Build-to-Zone at the front and side property lines. The terrace is required to be placed within the Build-to-Zone.
3. Terrace frontages shall not be permitted on more than 50% of the buildings on one block face.
4. The ground area between the front property lines and the front edge of the terrace shall be paved to match the public sidewalk. In cases where steps project beyond the front edge of the terrace, the area adjacent to and in line with the steps may be landscaped.
5. Terrace placement shall provide a minimum of 10 feet for sidewalk, pedestrian access, and sidewalk furnishing zone between terrace edge and line of curb. Clear pedestrian access shall be maintained at 5 feet minimum.
6. Low walls of the terrace that are designed for seating are encouraged.
7. Steps to access terrace shall occur at intervals of not greater than 50 feet. Steps may extend past the build-to-zone when the requirements of item 5. are met.
8. Terrace depth shall be 6 feet minimum.
9. Terrace finish level above sidewalk shall be 42 inches maximum.
10. Maximum length of terrace shall not exceed building wall length.
11. Storefront is required at the ground level floor.

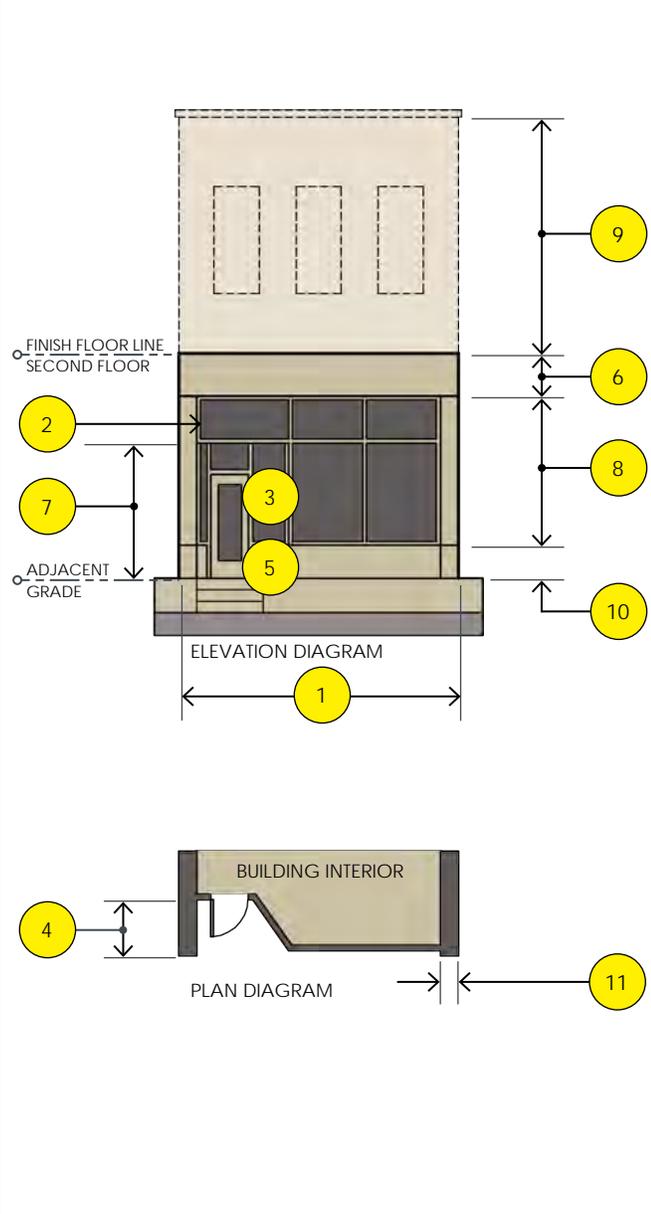
DIAGRAM 6.27 FRONTAGE LOCATION REQUIREMENTS



2006.11 FLEX BUILDING TYPE FRONTAGE OPTIONS

K. BUILDING TYPE FRONTAGE OPTION 2: TERRACE (continued)

DIAGRAM 6.28 FRONTAGE COMPOSITION REQUIREMENTS

**TERRACE COMPOSITION REQUIREMENTS**

Storefront frontage composition shall meet the following requirements and Diagram 6.28.

1. Frontage shall extend across the overall length of the ground floor as required by the Context Area frontage placement requirements in Section 2005.
2. Optional transom window may extend over entry recess (as depicted) or follow entry recess.
3. Required entry door shall have fifty (50) percent minimum transparency.
4. Entry door option: Entry door may be recessed three (3) feet to eight (8) feet from the building wall. The angled wall (the wall that connects the storefront to the door) in the recess area shall match the main storefront window.
5. Entry door is required to be at adjacent sidewalk grade.
6. Required 30" to 42" sign band or horizontal expression line above storefront window or transom. Sign band or horizontal expression line shall extend the entire width of the storefront but may be interrupted by the required pilasters referenced in item 10. on this page.
7. Storefront window glass shall be eight (8) feet high minimum, measured from the adjacent grade.
8. Transparency Ground Floor: Storefront frontage shall have 70% to 90% of the façade be glass between the top of the storefront base and bottom of sign band (or horizontal expression line). Entry door transparency may be included as part of the required transparency calculation.
9. Transparency Upper Floors: Refer to Building Type for transparency requirements of upper floors.
10. Required 18" to 24" high storefront base.
11. Required 18" to 32" wide pilaster or wall surface spaced as indicated by Building Type. Pilaster or wall surface shall extend the full height of the storefront frontage, but may be interrupted by the sign band or horizontal expression line.
12. Storefront windows may be replaced with overhead doors. Overhead doors that replace storefront windows are required to meet the transparency requirements in item 8. Refer to Image 6.24.
13. Conditional Permitting of Frontage: Terrace Frontage is permitted to be used on this Building Type only when adjacent sidewalk and Public Realm conditions present slopes that prevent consistent at-grade access.



IMAGE 6.24 STOREFRONT WITH TRANSPARENT OVERHEAD DOORS

2006.11 FLEX BUILDING TYPE FRONTAGE OPTIONS

L. BUILDING TYPE FRONTAGE OPTION 3: FORECOURT

DESCRIPTION

In a Forecourt Frontage Type, the facade of the building that faces the primary street is at or near the right-of-way line and a small percentage of the facade is set back, creating a small courtyard space. The courtyard space may be used as an entry court or shared garden space, or as an additional area for shopping or restaurant seating. The courtyard area is not covered and extends the entire height of the building.



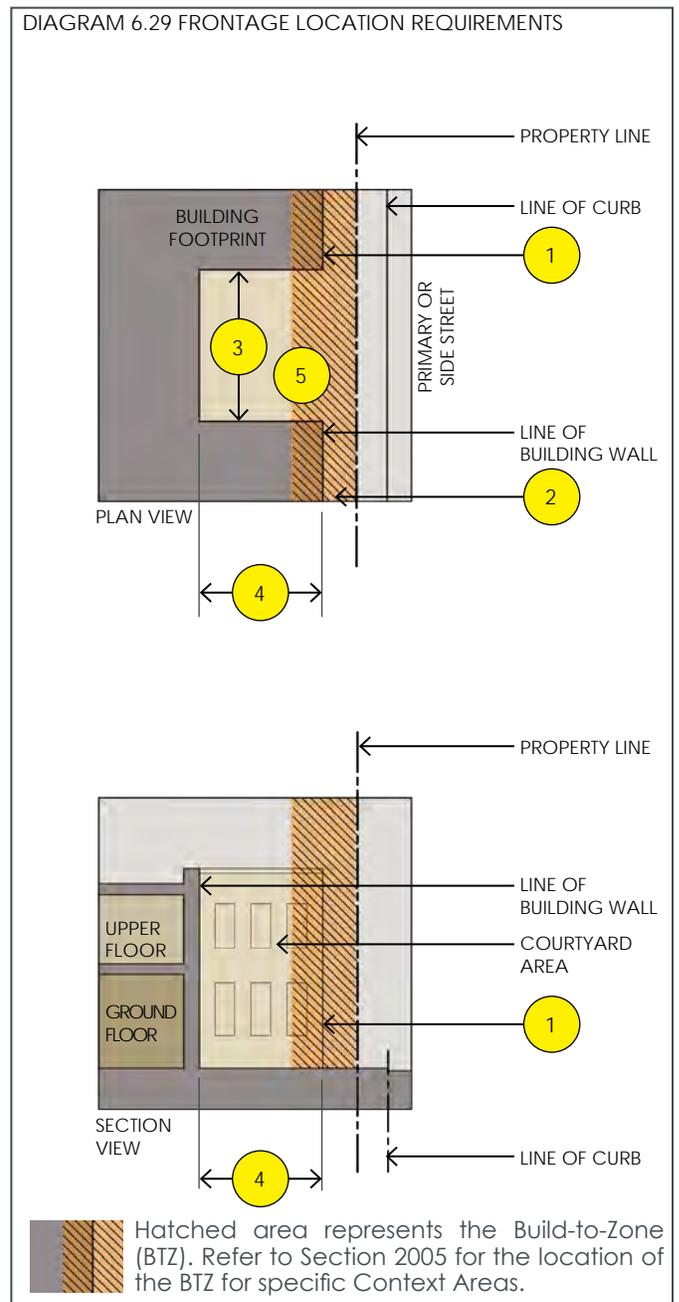
IMAGE 6.25 FLEX BUILDING WITH FORECOURT FRONTAGE

FORECOURT LOCATION REQUIREMENTS

Forecourt frontage shall be located per the following requirements and Diagram 6.29.

1. A minimum of 30% of the building wall of the forecourt frontage is required to be placed within the build-to-zone as required by the building site placement requirements in the Context Area section. Refer to Section 2005.
2. The ground area between the primary and side street property lines and the building walls shall have one of the following treatments depending on distance from the property line.
 - a. Distance between building walls and property line is zero (0) to ten (10) feet: Ground area shall be paved to match public sidewalk.
 - b. Distance between building walls and property line is greater than ten (10) feet: Ground area shall be landscaped. A sidewalk connecting the entry door to the public sidewalk is required. Sidewalk connecting entry door and public sidewalk shall have a minimum width of five (5) feet.
 - c. Ground area may be paved at distances greater than ten (10) feet when outdoor seating is proposed per approval of Planning Director and / or Planning Commission.
3. Required courtyard shall have a width that is twelve (12) feet minimum.
4. Required courtyard shall have a depth of twelve (12) feet minimum.
5. Courtyard area shall be paved. Landscape islands may be used within the space, but may not cover more than 40% of the courtyard's ground area.
6. Balconies, awnings, canopies, cornices, upper bays, and projecting signs may extend into the public right-of-way per the encroachment requirements in the Context Area section. Refer to Section 2005.

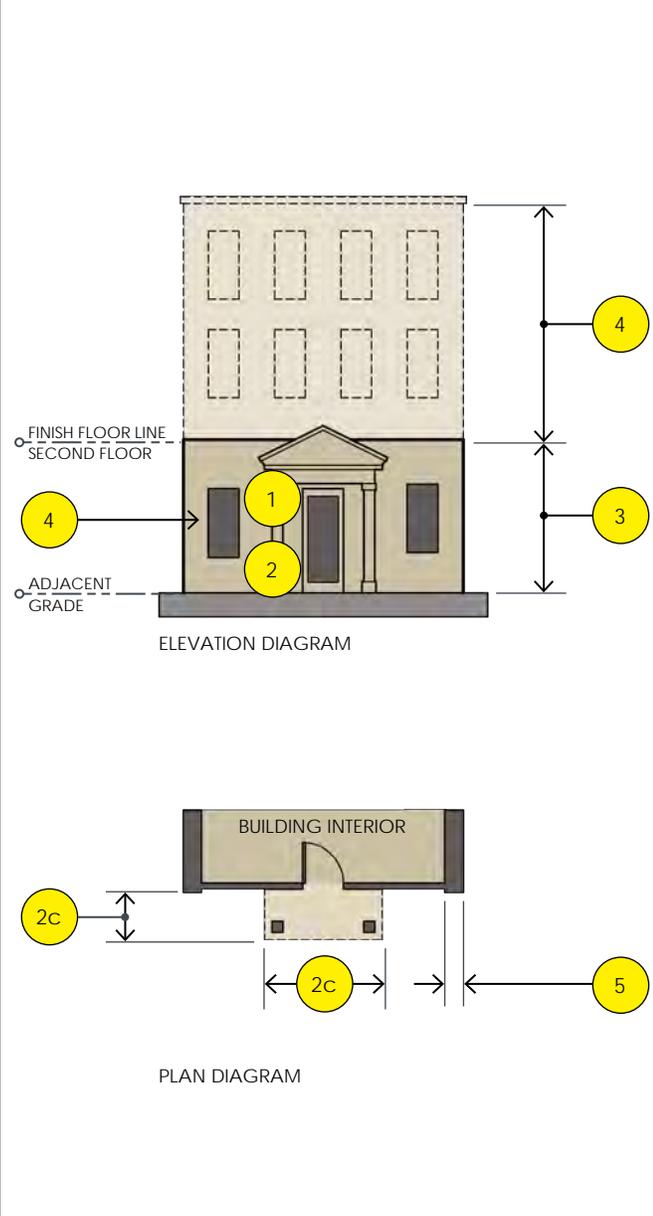
DIAGRAM 6.29 FRONTAGE LOCATION REQUIREMENTS



2006.11 FLEX BUILDING TYPE FRONTAGE OPTIONS

L. BUILDING TYPE FRONTAGE OPTION 3: FORECOURT (continued)

DIAGRAM 6.30 FRONTAGE COMPOSITION REQUIREMENTS

**FORECOURT COMPOSITION REQUIREMENTS**

All building walls that face the courtyard, primary street, and side street as part of the forecourt frontage composition shall meet the following requirements and Diagram 6.30.

1. Entry door(s) shall have 25% minimum transparency.
2. Entry door(s) may be at-grade or raised and accessed by steps.
 - a. At-Grade entry door (zero-step) shall have one of the following treatments:
 - Covered with a supported roof (as depicted in the graphic). Roof shall be supported with columns.
 - Covered with a canopy. Canopy shall be cantilevered or supported by brackets or cables.
 - Uncovered (with no canopy or supported roof).
 - Recessed in building wall.
 - b. Elevated entry door shall have one of the following treatments:
 - Covered with a supported roof. Roof shall be supported with columns.
 - Covered with a canopy. Canopy shall be cantilevered or supported by brackets or cables.
 - Uncovered (with no canopy or supported roof).
 - c. Elevated entry doors shall have a stoop (landing at door) that is minimum 4 feet deep and minimum 4 feet wide.
3. Transparency Ground Floor: Forecourt frontage shall have minimum 15% of the façade be glass between the adjacent grade and the finish floor line of the second story. Entry door transparency shall not be included as part of the required transparency calculation.
4. Transparency Upper Floors: Refer to Building Type for transparency requirements of upper floors.
5. Required 18" to 32" wide pilaster or wall surface spaced as indicated by Building Type.

2006.11 FLEX BUILDING TYPE FRONTAGE OPTIONS

M. BUILDING TYPE FRONTAGE OPTION 4: DOORYARD

DESCRIPTION

In a Dooryard Frontage Type, the facade of the building that faces the primary street is setback a small distance from the front and side streets, typically within a build-to-zone. The front property line is oftentimes defined by a low wall, fence, or hedge, creating a small dooryard. The dooryard shall not provide public circulation along the rights-of-way. The dooryard may be raised or at-grade and is most often intended for ground floor residential.



IMAGE 6.26 FLEX BUILDING WITH DOORYARD FRONTAGE

DOORYARD LOCATION REQUIREMENTS

Dooryard frontage shall be located per the following requirements and Diagram 6.31.

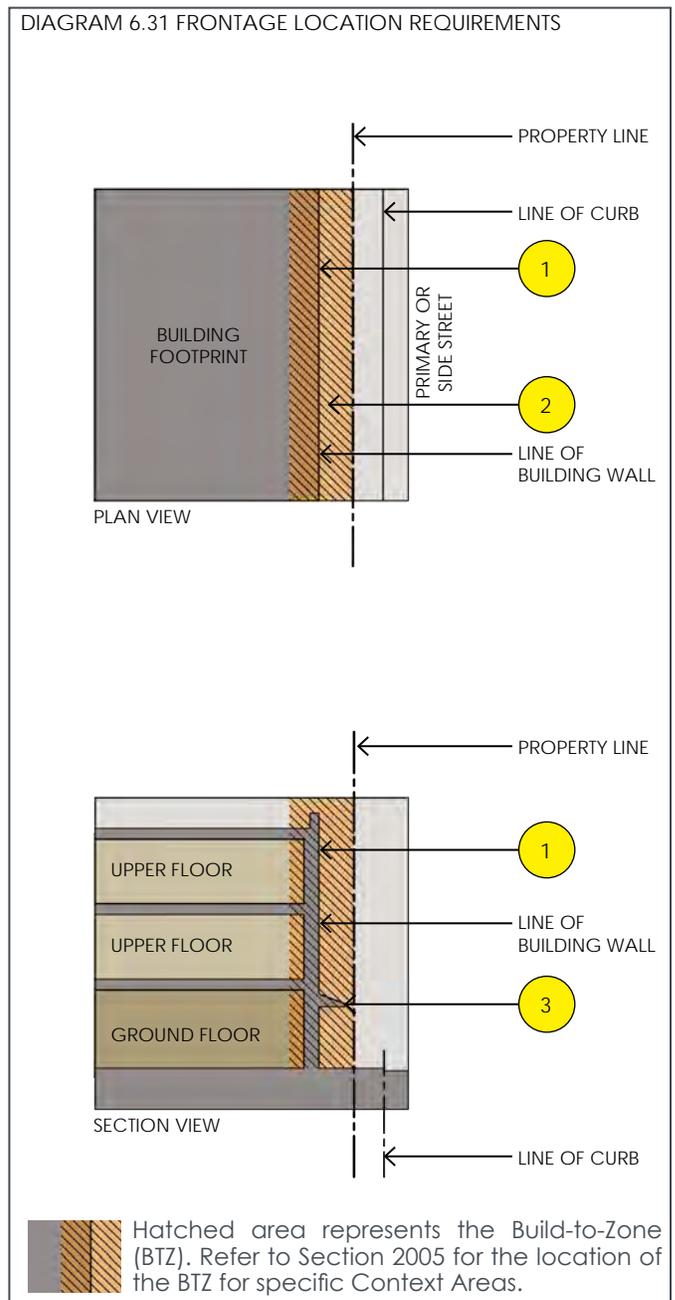
1. The building wall(s) are required to be placed within a build-to-zone as required by the building site placement requirements in the Context Area section. Refer to Section 2005.
2. The ground area between the primary and side street property lines and the building wall shall have one of the following treatments depending on distance from the property line.
 - a. Distance between building wall and property line is zero (0) to ten (10) feet: Ground area shall be paved to match public sidewalk.
 - b. Distance between building walls and property line is greater than ten (10) feet: Ground area shall be landscaped. A sidewalk connecting the entry door to the public sidewalk is required. Sidewalk connecting entry door and public sidewalk shall have a minimum width of five (5) feet.

Additionally, one of the following landscape elements is required to be placed at the property line when the distance between wall and property line is greater than ten (10) feet:

- A 24" to 36" high brick wall.
- A decorative metal fence that is 42" high maximum.
- A continuous hedge that is maintained at a 24" to 36" height.

- c. Ground area may be paved at distances greater than ten (10) feet when outdoor seating is proposed per approval of Planning Director and / or Planning Commission.
3. Balconies, awnings, canopies, cornices, upper bays, and projecting signs may extend into the public right-of-way per the encroachment requirements in the Context Area section. Refer to Section 2005.
4. Wells may extend into required setbacks per the requirements of the encroachment section in Section 2005.

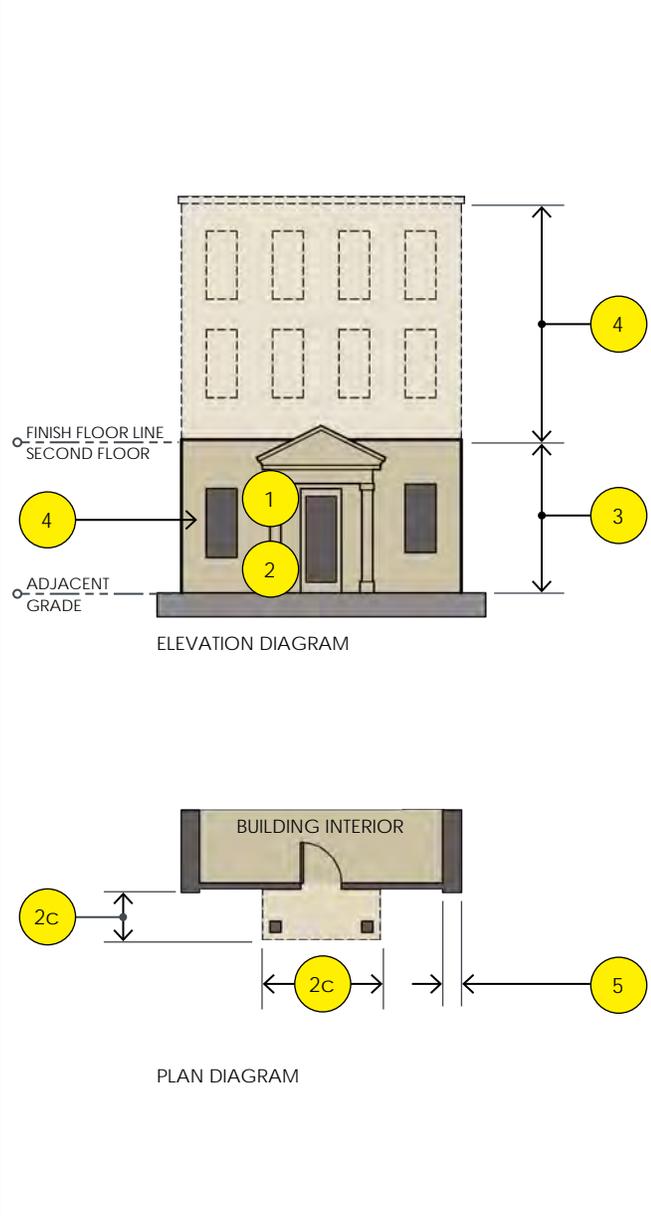
DIAGRAM 6.31 FRONTAGE LOCATION REQUIREMENTS



2006.11 FLEX BUILDING TYPE FRONTAGE OPTIONS

M. BUILDING TYPE FRONTAGE OPTION 4: DOORYARD (continued)

DIAGRAM 6.32 FRONTAGE COMPOSITION REQUIREMENTS

**DOORYARD COMPOSITION REQUIREMENTS**

Dooryard frontage composition shall meet the following requirements and Diagram 6.32.

1. Entry door(s) shall have 25% minimum transparency.
2. Entry door(s) may be at-grade or raised and accessed by steps.
 - a. At-Grade entry door (zero-step) shall have one of the following treatments:
 - Covered with a supported roof (as depicted in the graphic). Roof shall be supported with columns.
 - Covered with a canopy. Canopy shall be cantilevered or supported by brackets or cables.
 - Uncovered (with no canopy or supported roof).
 - Recessed in building wall.
 - b. Elevated entry door shall have one of the following treatments:
 - Covered with a supported roof. Roof shall be supported with columns.
 - Covered with a canopy. Canopy shall be cantilevered or supported by brackets or cables.
 - Uncovered (with no canopy or supported roof).
 - c. Elevated entry doors shall have a stoop (landing at door) that is minimum 4 feet deep and minimum 4 feet wide.
3. Transparency Ground Floor: Dooryard frontage shall have minimum 15% of the façade be glass between the adjacent grade and the finish floor line of the second story. Entry door transparency shall not be included as part of the required transparency calculation.
4. Transparency Upper Floors: Refer to Building Type for transparency requirements of upper floors.
5. Required 18" to 32" wide pilaster or wall surface spaced as indicated by Building Type.

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2006.12 COTTAGE RETAIL BUILDING TYPE

A. BUILDING TYPE DESCRIPTION

The COTTAGE RETAIL BUILDING TYPE is a small- to medium-sized detached structure. It is intended to provide retail or service uses at the ground floor. This Type will typically have a residential mass, scale, and composition that allows it to integrate into adjacent residential areas.



B. PRECEDENT OF COTTAGE RETAIL BUILDING TYPE

The following images represent precedent examples of the Cottage Retail Building Type. They are intended as examples only and should be used for inspiration in the creation of this Building Type for projects within the Traverse City Form-Based Code area.

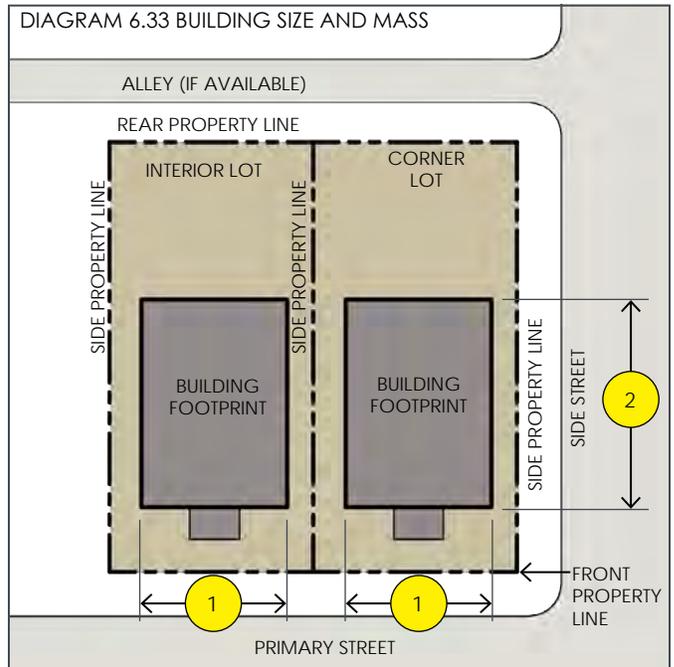


2006.12 COTTAGE RETAIL BUILDING TYPE

C. BUILDING SIZE AND MASSING

Building Type size and massing shall meet the following requirements and Diagram 6.33.

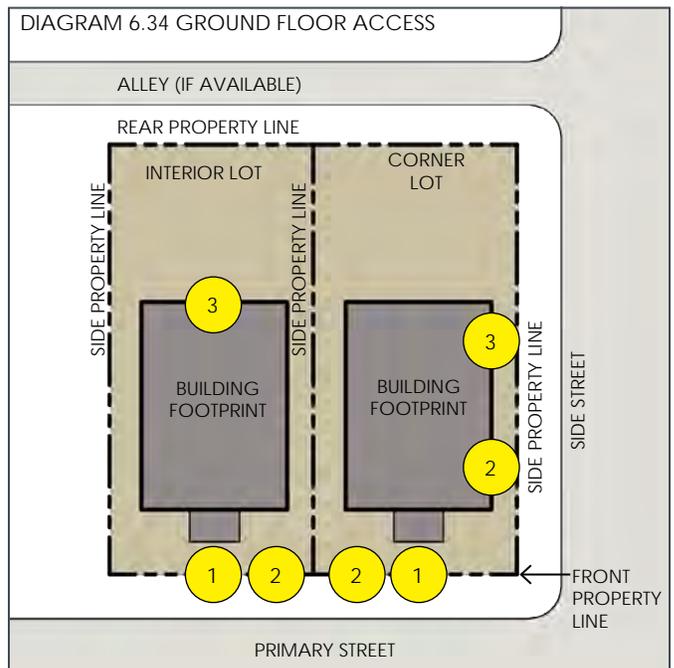
1. Building width at primary street: 30 feet maximum
2. Building depth: 20 feet minimum
3. Maximum site coverage: 70%



D. GROUND FLOOR PEDESTRIAN ACCESS AND ACTIVATION

Building Type ground floor entrances shall meet the following requirements and Diagram 6.34.

1. Entrances to ground floor unit(s) are required at the primary street and shall be directly accessed from and face the primary street.
2. Entrances to ground floor unit(s) at the side street (if provided) shall be directly accessed from and face the side street.
3. Upper floor units shall be accessed by a common entry along the primary or side street, or at the rear of the building.



E. NUMBER OF UNITS

Number of units per Building Type:

1. Required total of 1 unit minimum.

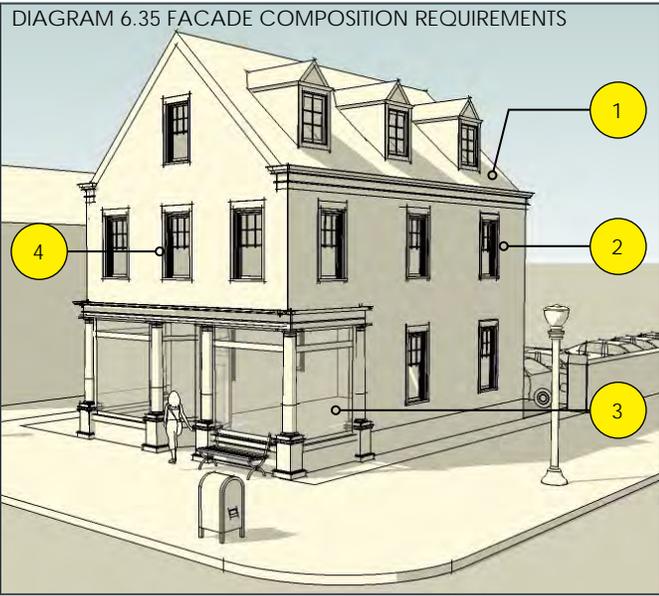
F. USE

Building Type use:

1. Uses are regulated by Context Area. Refer to Section 2005 for permitted uses in each Context Area.

2006.12 COTTAGE RETAIL BUILDING TYPE

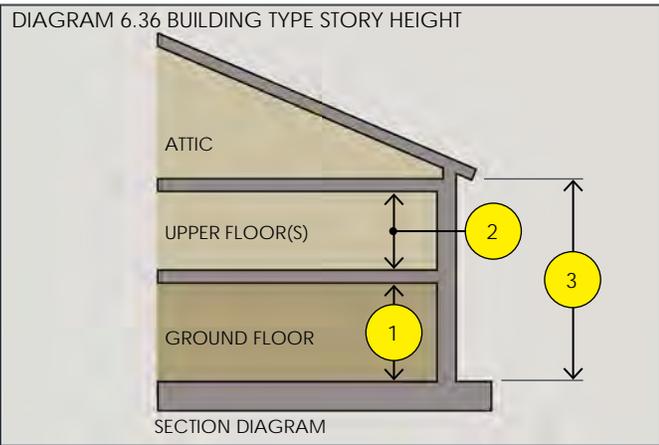
G. FACADE COMPOSITION REQUIREMENTS



Building Type facade composition shall meet the following requirements and Diagram 6.35.

1. Building shall have a pitched (sloped) roof that is compatible with the surrounding residential architecture.
2. Transparency Upper Floors: Building facades facing streets shall minimum 12% of the façade be glass between the finish floor line of the second story and bottom of eave.
3. Transparency Ground Floor: Refer to Building Type Frontage options for transparency requirements at the ground floor.
4. Upper windows shall be square or vertically proportioned with clear glass. Refer to definitions in Section 2009 for clear glass requirements.
5. Building shall have an 16" to 24" pilaster or wall surface every 20 to 30 feet along building facades facing streets. Pilasters shall extend vertically from grade to bottom of eave.

H. BUILDING TYPE FLOOR HEIGHT REQUIREMENTS



Building Type floor heights shall meet the following requirements and Diagram 6.36.

1. Ground floor: Floor to ceiling height shall be 12 feet minimum.
2. Upper floors: Floor to ceiling height shall as required by Context Area.
3. Overall height of Building Type is regulated by Context Area, refer to Section 2005.

I. BUILDING TYPE FRONTAGE OPTIONS

Each Cottage Retail Building Type is required to have only 1 of the following frontage configurations applied to the ground level floor where it abuts front and side streets, civic space, and / or public rights-of-way.

Frontage options for the Cottage Building Type are provided in the table below and described on the following pages of this sub-section.

COTTAGE RETAIL BUILDING TYPE	BUILDING TYPE FRONTAGE OPTION	CONTEXT AREAS			
		DE DOWNTOWN EDGE	MS MAINSTREET	GW GATEWAY	NE NEIGHBORHOOD EDGE
	with STOREFRONT (2006.12.J)				By Right
	with DOORYARD (2006.12.K)				By Right
	with STOOP (2006.12.L)				By Right

Shaded areas represent Context Areas where Building Type with frontage option is not permitted.

2006.12 COTTAGE RETAIL BUILDING TYPE FRONTAGE OPTIONS

J. BUILDING TYPE FRONTAGE OPTION 1: STOREFRONT

DESCRIPTION

The Storefront Frontage is applied to the ground level floor of a Building Type along the primary and side streets. It is typically associated with retail and mixed use buildings. The storefront shall be designed in a way that promotes an attractive and convenient shopping experience and a transparent wall along the sidewalk. Storefront entries are at grade with the sidewalk and are sometimes shaded by awnings.



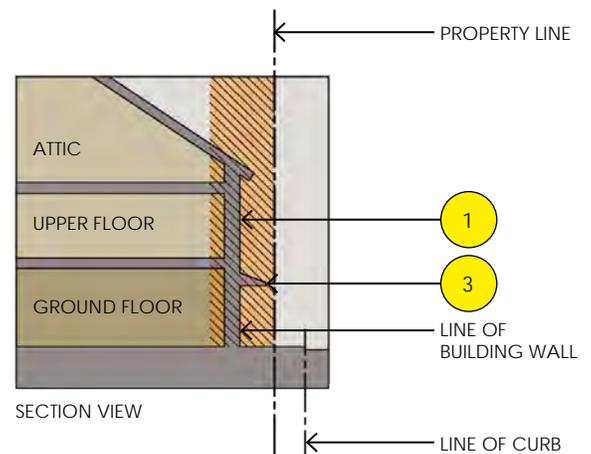
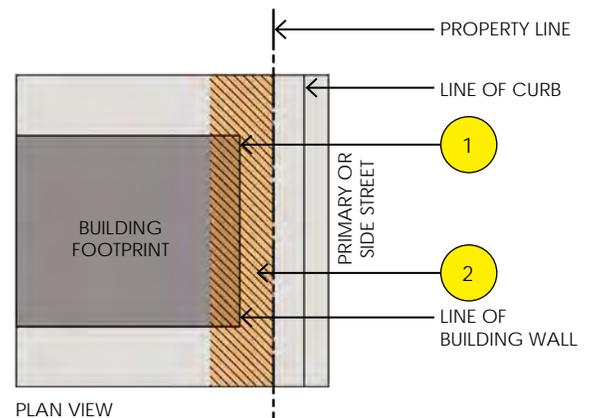
IMAGE 6.31 COTTAGE RETAIL BUILDING WITH STOREFRONT FRONTAGE

STOREFRONT LOCATION REQUIREMENTS

Storefront frontage shall be located per the following requirements and Diagram 6.37.

1. The building wall(s) are required to be placed within a Build-to-Zone as required by the building site placement requirements in the Context Area section. Refer to Section 2005.
2. The ground area between the primary and side street property lines and the building walls shall have one of the following treatments depending on distance from the property line.
 - a. Distance between building walls and property line is zero (0) to ten (10) feet: Ground area shall be paved to match public sidewalk.
 - b. Distance between building walls and property line is greater than ten (10) feet: Ground area shall be landscaped. A sidewalk connecting the entry door to the public sidewalk is required. Sidewalk connecting entry door and public sidewalk shall have a minimum width that is equal to the width of the entry door recess (item 4 on facing page).
 - c. Ground area may be paved at distances greater than ten (10) feet when outdoor seating is proposed per approval of Planning Director and / or Planning Commission.
3. Balconies, awnings, canopies, cornices, upper bays, and projecting signs may extend into the public right-of-way per the encroachment requirements in the Context Area section. Refer to Section 2005.

DIAGRAM 6.37 FRONTAGE LOCATION REQUIREMENTS

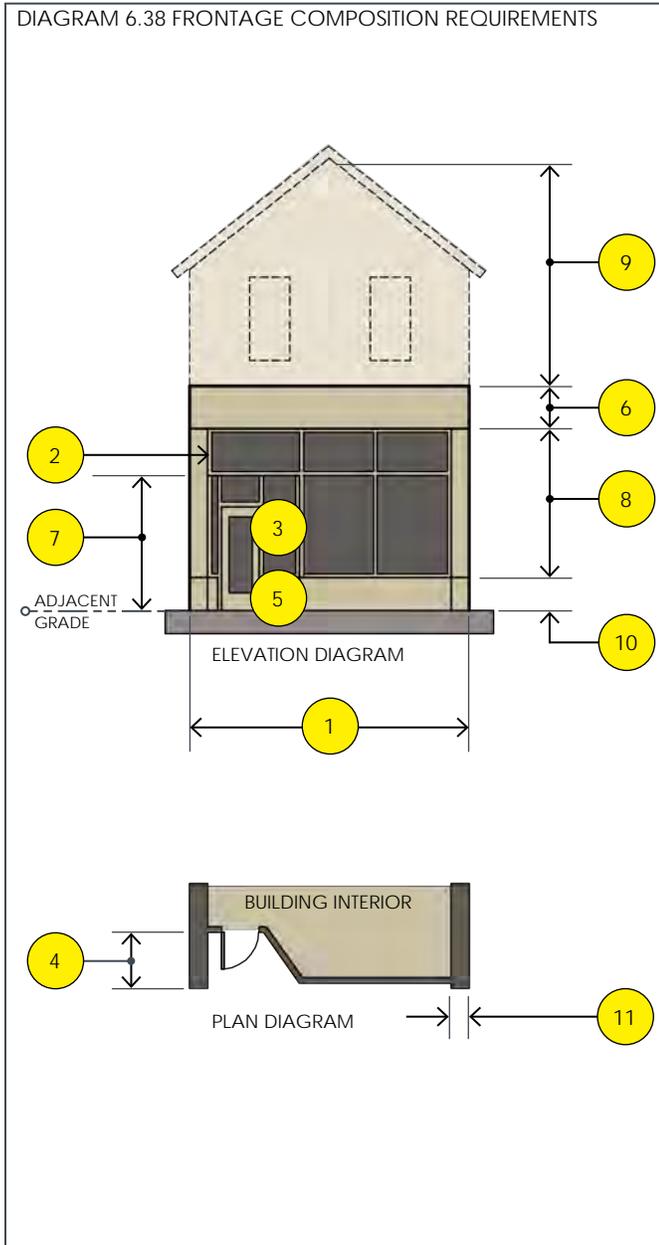


 Hatched area represents the Build-to-Zone (BTZ). Refer to Section 2005 for the location of the BTZ for specific Context Areas.

2006.12 COTTAGE RETAIL BUILDING TYPE FRONTAGE OPTIONS

J. BUILDING TYPE FRONTAGE OPTION 1: STOREFRONT (continued)

DIAGRAM 6.38 FRONTAGE COMPOSITION REQUIREMENTS

**STOREFRONT COMPOSITION REQUIREMENTS**

Storefront frontage composition shall meet the following requirements and Diagram 6.38.

1. Frontage shall extend across the overall length of the ground floor as required by the Context Area frontage placement requirements in Section 2005.
2. Optional transom window may extend over entry recess (as depicted) or follow entry recess.
3. Required entry door shall have fifty (50) percent minimum transparency.
4. Entry door is required to be recessed three (3) feet to eight (8) feet from the building wall. The angled wall (the wall that connects the storefront to the door) in the recess area shall match the main storefront window.
5. Entry door is required to be at adjacent sidewalk grade.
6. Required 30" to 42" sign band or horizontal expression line above storefront window or transom. Sign band or horizontal expression line shall extend the entire width of the storefront but may be interrupted by the required pilasters referenced in item 10. on this page.
7. Storefront window glass shall be eight (8) feet high minimum, measured from the adjacent grade.
8. Transparency Ground Floor: Storefront frontage shall have 60% to 80% of the façade be glass between the top of the storefront base and bottom of sign band (or horizontal expression line). Entry door transparency may be included as part of the required transparency calculation.
9. Transparency Upper Floors: Refer to Building Type for transparency requirements of upper floors.
10. Required 18" to 24" high storefront base.
11. Required 16" to 24" wide pilaster or wall surface spaced as indicated by Building Type. Pilaster or wall surface shall extend the full height of the storefront frontage, but may be interrupted by the sign band or horizontal expression line.

2006.12 COTTAGE RETAIL BUILDING TYPE FRONTAGE OPTIONS

K. BUILDING TYPE FRONTAGE OPTION 2: DOORYARD

DESCRIPTION

In a Dooryard Frontage Type, the facade of the building that faces the primary street is setback a small distance from the front and side streets, typically within a build-to-zone. The front property line is oftentimes defined by a low wall, fence, or hedge, creating a small dooryard. The dooryard shall not provide public circulation along the rights-of-way. The dooryard is at-grade.

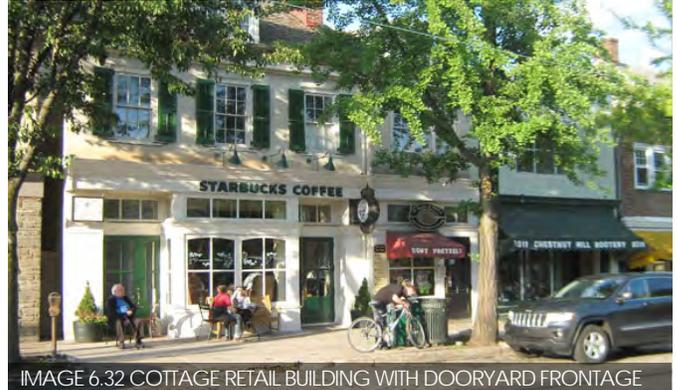


IMAGE 6.32 COTTAGE RETAIL BUILDING WITH DOORYARD FRONTAGE

DOORYARD LOCATION REQUIREMENTS

Dooryard frontage shall be located per the following requirements and Diagram 6.39.

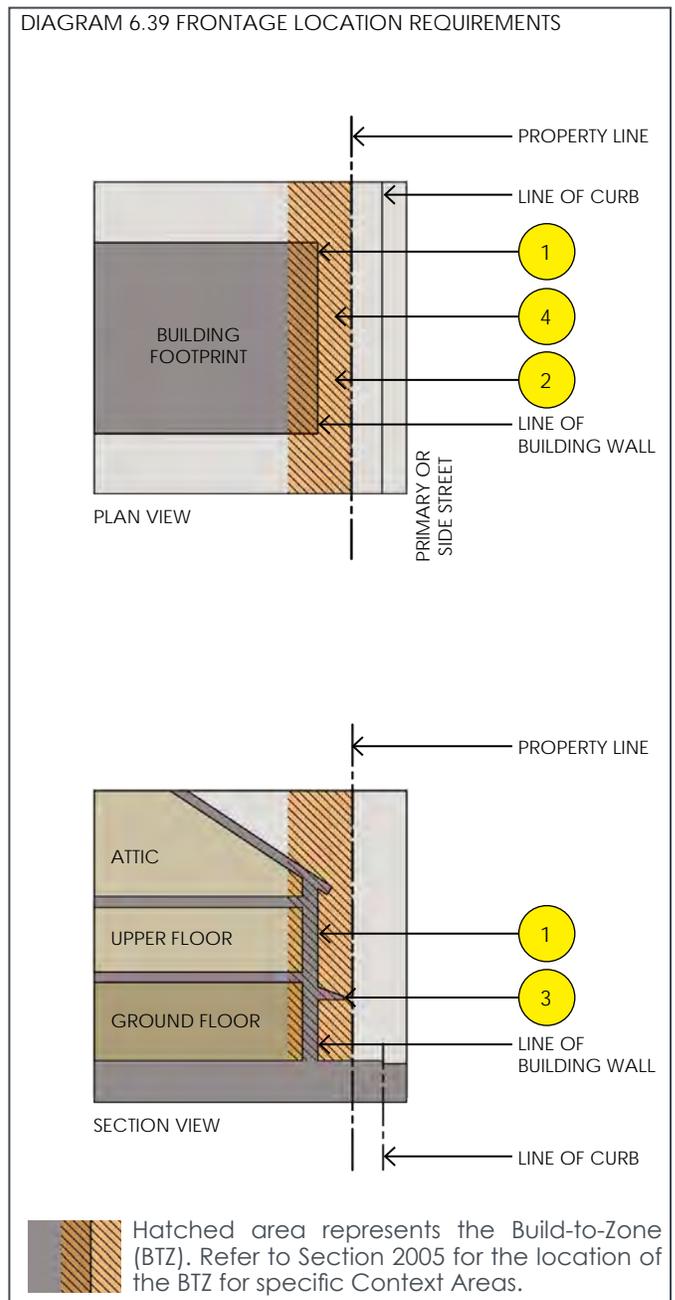
1. The building wall(s) are required to be placed within a build-to-zone as required by the building site placement requirements in the Context Area section. Refer to Section 2005.
2. The ground area between the primary and side street property lines and the building walls shall have one of the following treatments depending on distance from the property line.
 - a. Distance between building walls and property line is zero (0) to ten (10) feet: Ground area shall be paved to match public sidewalk.
 - b. Distance between building walls and property line is greater than ten (10) feet: Ground area shall be landscaped. A sidewalk connecting the entry door to the public sidewalk is required. Sidewalk connecting entry door and public sidewalk shall have a minimum width of five (5) feet.

Additionally, one of the following landscape elements is required to be placed at the property line when the distance between facade and property line is greater than ten (10) feet:

- A 24" to 36" high brick wall.
- A decorative metal fence that is 42" high maximum.
- A continuous hedge that is maintained at a 24" to 36" height.

- c. Ground area may be paved at distances greater than ten (10) feet when outdoor seating is proposed per approval of Planning Director and / or Planning Commission.
3. Balconies, awnings, canopies, cornices, upper bays, and projecting signs may extend into the public right-of-way per the encroachment requirements in the Context Area section. Refer to Section 2005.
4. Wells may extend into required setbacks per the requirements of the encroachment section in Section 2005.

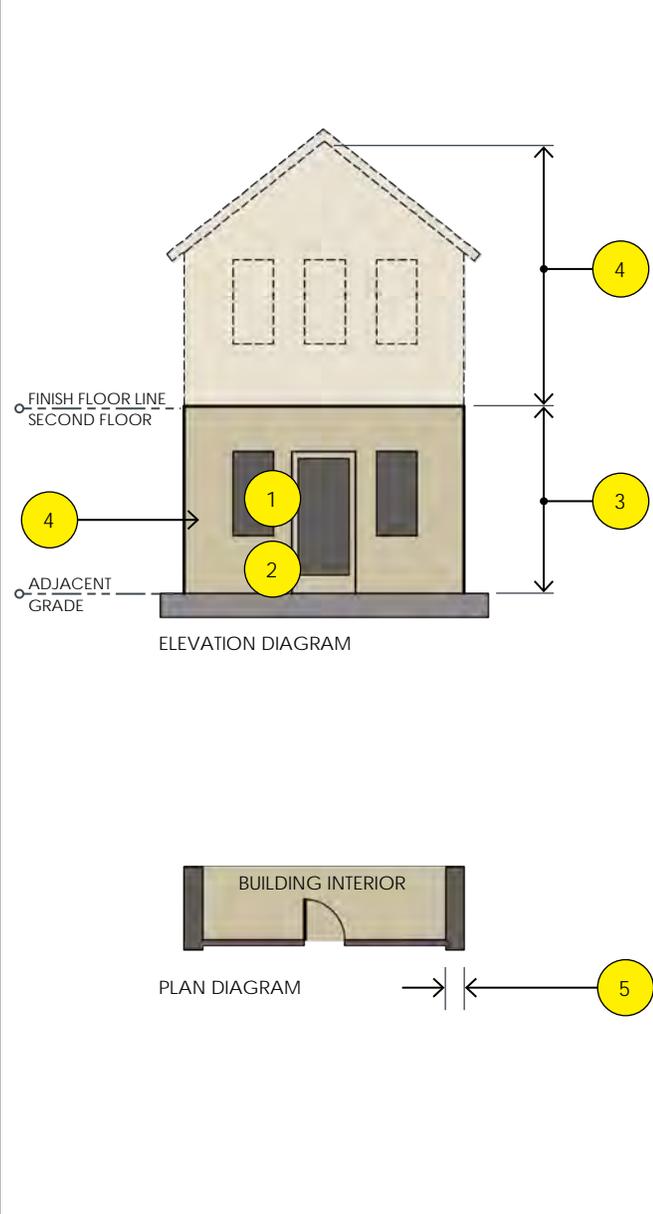
DIAGRAM 6.39 FRONTAGE LOCATION REQUIREMENTS



2006.12 COTTAGE RETAIL BUILDING TYPE FRONTAGE OPTIONS

K. BUILDING TYPE FRONTAGE OPTION 2: DOORYARD (continued)

DIAGRAM 6.40 FRONTAGE COMPOSITION REQUIREMENTS

**DOORYARD COMPOSITION REQUIREMENTS**

Dooryard frontage composition shall meet the following requirements and Diagram 6.40.

1. Entry door(s) shall have 25% minimum transparency.
2. Entry door(s) are required to be at-grade. At-grade entry door (zero-step) shall have one of the following treatments:
 - a. Covered with a supported roof. Roof shall be supported with columns.
 - b. Covered with a canopy. Canopy shall be cantilevered or supported by brackets or cables.
 - c. Uncovered (with no canopy or supported roof)(as depicted in the graphic).
3. Transparency Ground Floor: Dooryard frontage shall have minimum 40% of the façade be glass between the adjacent grade and the finish floor line of the second story. Entry door transparency shall not be included as part of the required transparency calculation.
4. Transparency Upper Floors: Refer to Building Type for transparency requirements of upper floors.
5. Required 16" to 24" wide pilaster or wall surface spaced as indicated by Building Type.

2006.12 COTTAGE RETAIL BUILDING TYPE FRONTAGE OPTIONS

L. BUILDING TYPE FRONTAGE OPTION 3: STOOP

DESCRIPTION

In a Stoop Frontage Type, the facade of the building that faces the front and / or side streets is setback a small distance from the front and side streets, typically within a build-to-zone. The stoop is elevated above the sidewalk. Steps or a ramp from the stoop may lead directly to the sidewalk or may be side-loaded.



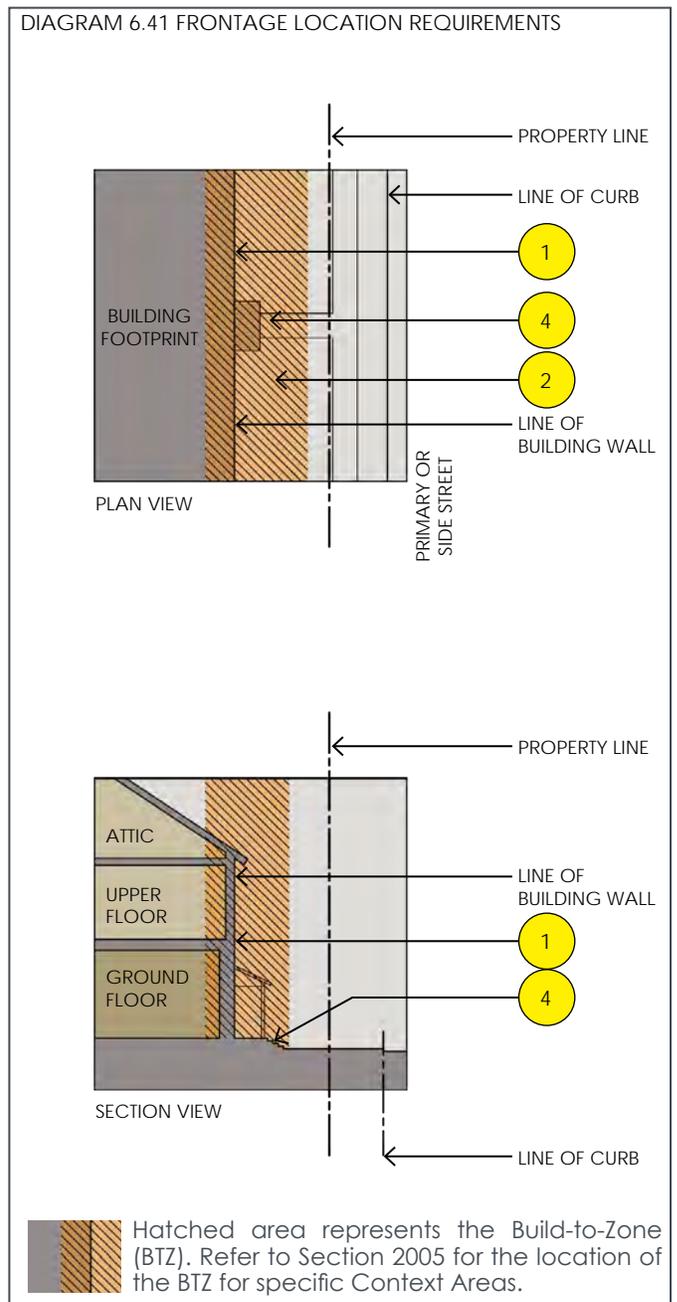
IMAGE 6.33 COTTAGE RETAIL BUILDING WITH STOOP FRONTAGE

STOOP LOCATION REQUIREMENTS

Stoop frontage shall be located per the following requirements and Diagram 6.41.

1. The building wall(s) are required to be placed within a Build-to-Zone as required by the building site placement requirements in the Context Area section. Refer to Section 2005.
2. The ground area between the primary and side street property lines and the building façade shall be landscaped. A sidewalk connecting the entry door to the public sidewalk is required. Sidewalk connecting entry door and public sidewalk shall have a minimum width of five (5) feet.
3. Balconies, awnings, canopies, cornices, upper bays, and projecting signs may extend into the public right-of-way per the encroachment requirements in the Context Area section. Refer to Section 2005.
4. Stoops, wells, and / or steps may extend into required setbacks per the requirements of the encroachment section in Section 2005.

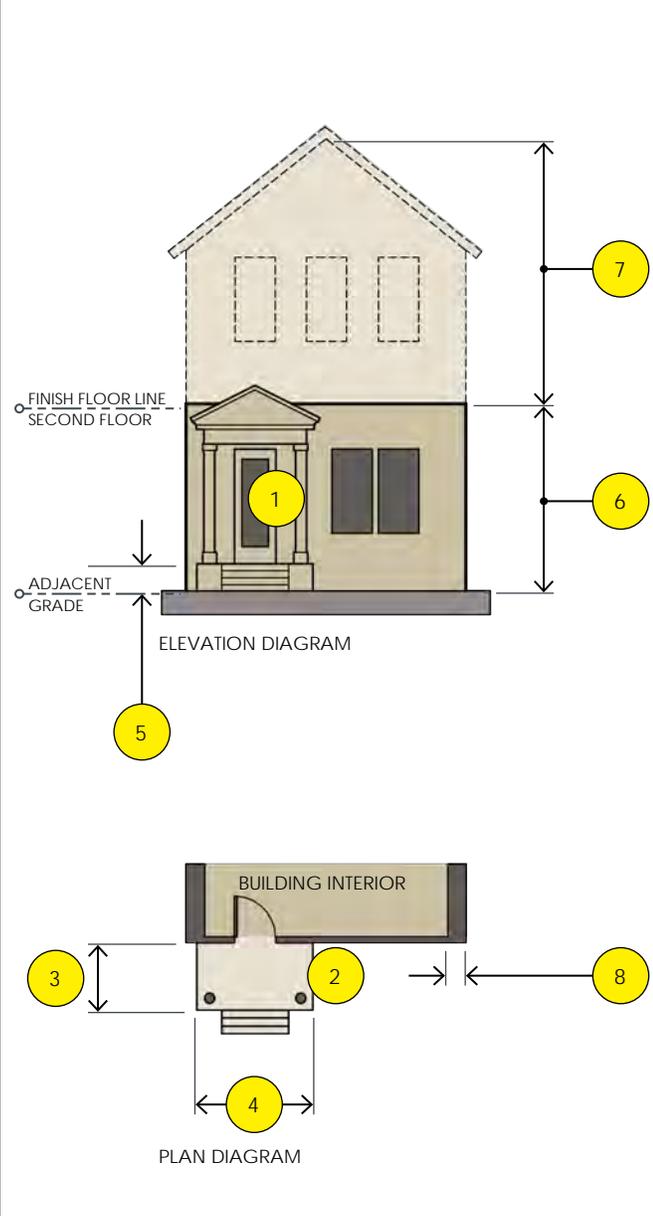
DIAGRAM 6.41 FRONTAGE LOCATION REQUIREMENTS



2006.12 COTTAGE RETAIL BUILDING TYPE FRONTAGE OPTIONS

L. BUILDING TYPE FRONTAGE OPTION 3: STOOP (continued)

DIAGRAM 6.42 FRONTAGE COMPOSITION REQUIREMENTS

**STOOP COMPOSITION REQUIREMENTS**

Dooryard frontage composition shall meet the following requirements and Diagram 6.42.

1. Entry door(s) shall have 25% minimum transparency.
2. Entry door(s) are required to be elevated above adjacent grade. Elevated entry doors shall have one of the following treatments:
 - a. Covered with a supported roof (as depicted in the graphic). Roof shall be supported with columns.
 - b. Covered with a canopy. Canopy shall be cantilevered or supported by brackets or cables.
3. Depth of stoop landing shall be 4 feet minimum.
4. Width of stoop landing shall be 5 feet minimum.
5. Stoop shall be 12" minimum above adjacent grade.
6. Transparency Ground Floor: Stoop frontage shall have minimum 40% of the façade be glass between the adjacent grade and the finish floor line of the second story. Entry door transparency shall not be included as part of the required transparency calculation.
7. Transparency Upper Floors: Refer to Building Type for transparency requirements of upper floors.
8. Required 16" to 24" wide pilaster or wall surface spaced as indicated by Building Type.

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2006.13 LIVE / WORK BUILDING TYPE

A. BUILDING TYPE DESCRIPTION

The LIVE / WORK BUILDING TYPE is a small- to medium-sized attached structure that consists of one dwelling unit above and and/or behind a flexible ground floor space that can be used for residential, service, or retail uses. Both the ground floor space and the dwelling unit are owned by one entity. This Type is especially appropriate for incubating retail and service uses and allowing neighborhood retail to expand as the market demands.



B. PRECEDENT OF LIVE / WORK BUILDING TYPE

The following images represent precedent examples of the Live / Work Building Type. They are intended as examples only and should be used for inspiration in the creation of this Building Type for projects within the Traverse City Form-Based Code area.



IMAGE 6.34 RENDERING OF PROPOSED TRAVERSE CITY LIVE/WORK BUILDINGS WITH STOOP & DOORYARD FRONTAGES ON STATE STREET



IMAGE 6.35 LIVE / WORK BUILDING WITH STOREFRONT FRONTAGE



IMAGE 6.36 LIVE / WORK BUILDINGS WITH STOREFRONT AND DOORYARD FRONTAGES



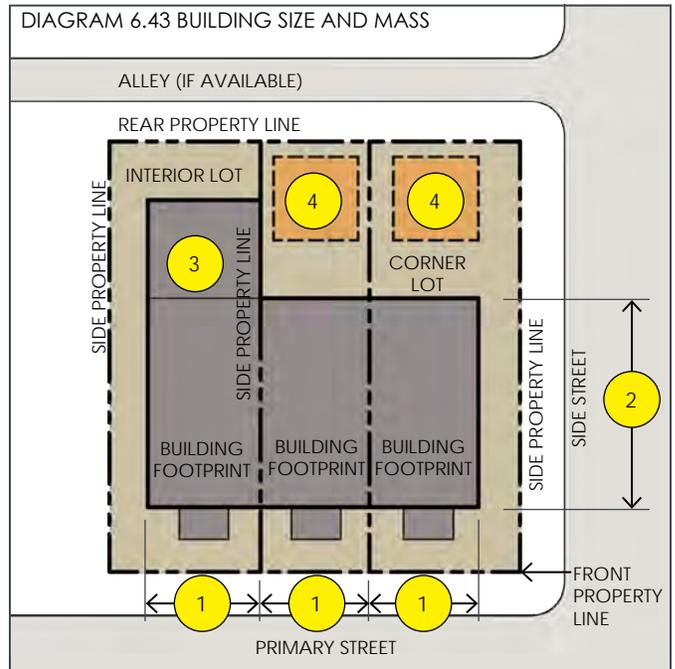
IMAGE 6.37 LIVE / WORK BUILDING WITH STOREFRONT FRONTAGE

2006.13 LIVE / WORK BUILDING TYPE

C. BUILDING SIZE AND MASSING

Building Type size and massing shall meet the following requirements and Diagram 6.43.

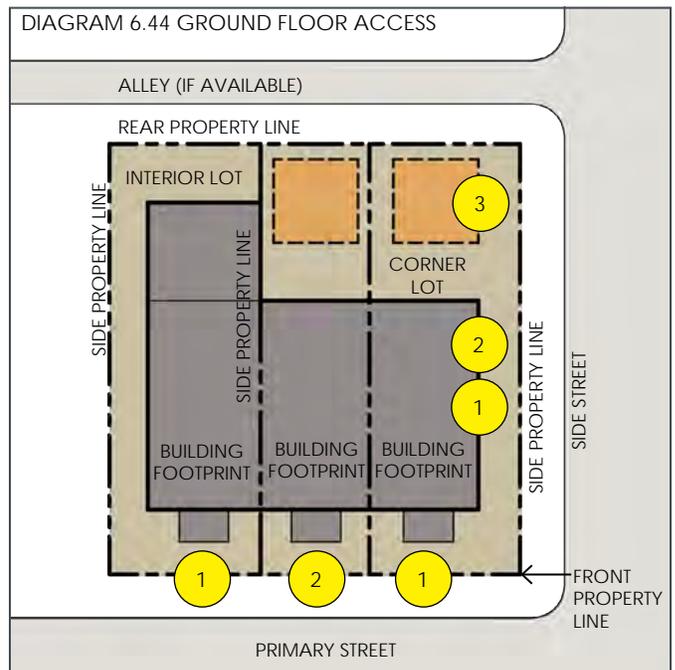
1. Building width at primary street: 18 feet minimum and 36 feet maximum.
2. Building depth: 20 feet minimum.
3. Building may have an attached garage located in the rear of the building and accessed from an alley or side street. Attached garage is not permitted if a Carriage House is included on the parcel.
4. Building may have a Carriage House in lieu of an attached garage. Refer to Carriage House Building Type in Section 2006.19 for requirements.
5. Live/Works per run of attached units: 2 minimum, 8 maximum.
6. Maximum site coverage: 80% including garage or Carriage House.



D. GROUND FLOOR PEDESTRIAN ACCESS AND ACTIVATION

Building Type ground floor entrances shall meet the following requirements and Diagram 6.44.

1. Entrances to ground floor unit(s) are required at the primary and / or side street and shall be directly accessed from and face the primary and / or side street.
2. Entrances to upper floor unit(s) are required to be located at the primary and / or side street and shall be directly accessed from and face the primary and / or side street.
3. Carriage House entrances shall be as required by the Carriage House Building Type in Section 2006.19.



E. NUMBER OF UNITS

Number of units per Building Type:

1. Total of 2 units minimum and 8 units maximum per building.
2. An additional unit is permitted if Carriage House Building Type is used in conjunction with the Live / Work Building.

F. USE

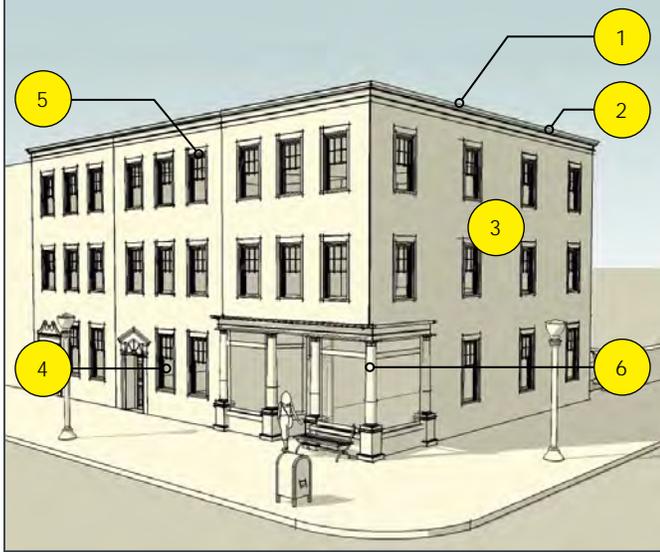
Building Type use:

- A. Uses are regulated by Context Area. Refer to Section 2005 for permitted uses in each Context Area.

2006.13 LIVE / WORK BUILDING TYPE

G. FACADE COMPOSITION REQUIREMENTS

ILLUSTRATION 6.45 FACADE COMPOSITION REQUIREMENTS

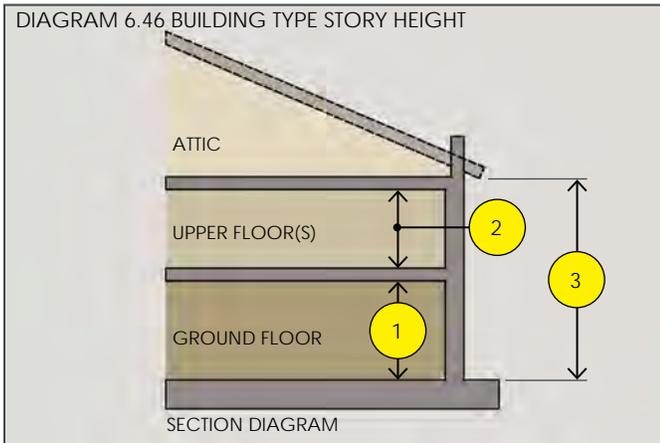


Building Type facade composition shall meet the following requirements and Diagram 6.45.

1. Building may have a flat roof with parapet or a pitched (sloped) roof.
2. Buildings with flat roof shall have a cornice expression line at roofline.
3. Transparency Upper Floors: Building facades facing streets shall have minimum 15% of the façade be glass between the finish floor line of the second story and bottom of cornice expression line or bottom of eave.
4. Transparency Ground Floor: Refer to Building Frontage options for transparency requirements at the ground floor.
5. Upper windows shall be square or vertically proportioned with clear glass. Refer to definitions in Section 2009 for clear glass requirements.
6. Building shall have an 16" to 32" pilaster or wall surface every 18 to 36 feet along building facades facing streets. Pilasters shall extend vertically from grade to cornice expression line.

H. BUILDING TYPE FLOOR HEIGHT REQUIREMENTS

DIAGRAM 6.46 BUILDING TYPE STORY HEIGHT



Building Type floor heights shall meet the following requirements and Diagram 6.46.

1. Ground floor: Floor to ceiling height shall be 12 feet minimum.
2. Upper floors: Floor to ceiling height shall as required by Context Area.
3. Overall height of Building Type is regulated by Context Area, refer to Section 2005.

I. BUILDING TYPE FRONTAGE OPTIONS

Each Live / Work Building Type is required to have at least 1 of the following frontage configurations applied to the ground level floor where it abuts front and side streets, civic space, and / or public rights-of-way.

Combination of Frontages: For Live / Work Building Types, more than one frontage may be used on the same building at both primary and side streets.

Frontage options for the Live / Work Building Type are provided in the table below and described on the following pages of this sub-section.

LIVE / WORK BUILDING TYPE	BUILDING TYPE FRONTAGE OPTION	CONTEXT AREAS			
		DE DOWNTOWN EDGE	MS MAINSTREET	GW GATEWAY	NE NEIGHBORHOOD EDGE
	with STOREFRONT (2006.13.J)		By Right	By Right	
	with DOORYARD (2006.13.K)		By Right	By Right	By Right
	with LIGHTWELL (2006.13.L)		By Right	By Right	
	with STOOP (2006.13.M)		By Right	By Right	By Right

Shaded areas represent Context Areas where Building Type with frontage option is not permitted.

2006.13 LIVE / WORK BUILDING TYPE FRONTAGE OPTIONS

J. BUILDING TYPE FRONTAGE OPTION 1: STOREFRONT

DESCRIPTION

The Storefront Frontage is applied to the ground level floor of a Building Type along the primary and side streets. It is typically associated with retail and mixed use buildings. The storefront shall be designed in a way that promotes an attractive and convenient shopping experience and a transparent wall along the sidewalk. Storefront entries are at grade with the sidewalk and are sometimes shaded by awnings.



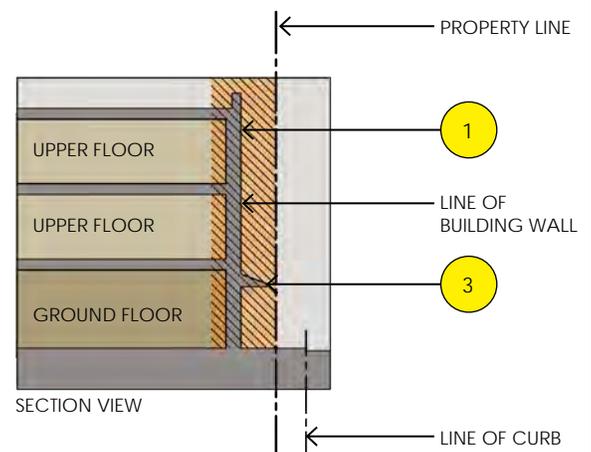
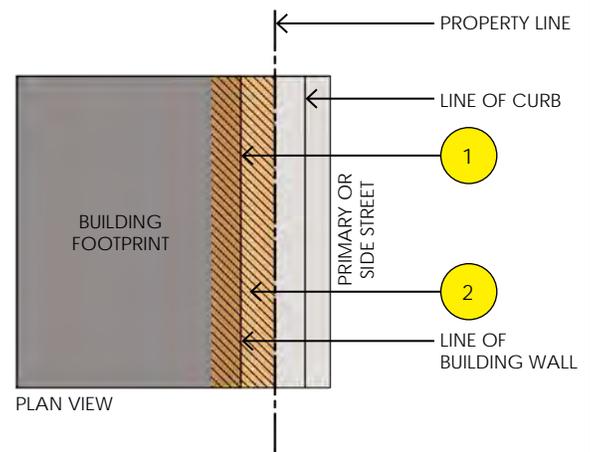
IMAGE 6.38 LIVE / WORK BUILDING WITH STOREFRONT FRONTAGE

STOREFRONT LOCATION REQUIREMENTS

Storefront frontage shall be located per the following requirements and Diagram 6.47.

1. The building wall(s) are required to be placed within a Build-to-Zone as required by the building site placement requirements in the Context Area section. Refer to Section 2005.
2. The ground area between the primary and side street property lines and the building walls shall have one of the following treatments depending on distance from the property line.
 - a. Distance between building walls and property line is zero (0) to ten (10) feet: Ground area shall be paved to match public sidewalk.
 - b. Distance between building walls and property line is greater than ten (10) feet: Ground area shall be landscaped. A sidewalk connecting the entry door to the public sidewalk is required. Sidewalk connecting entry door and public sidewalk shall have a minimum width of five (5) feet.
 - c. Ground area may be paved at distances greater than ten (10) feet when outdoor seating is proposed per approval of Planning Director and / or Planning Commission.
3. Balconies, awnings, canopies, cornices, upper bays, and projecting signs may extend into the public right-of-way per the encroachment requirements in the Context Area section. Refer to Section 2005.

DIAGRAM 6.47 FRONTAGE LOCATION REQUIREMENTS

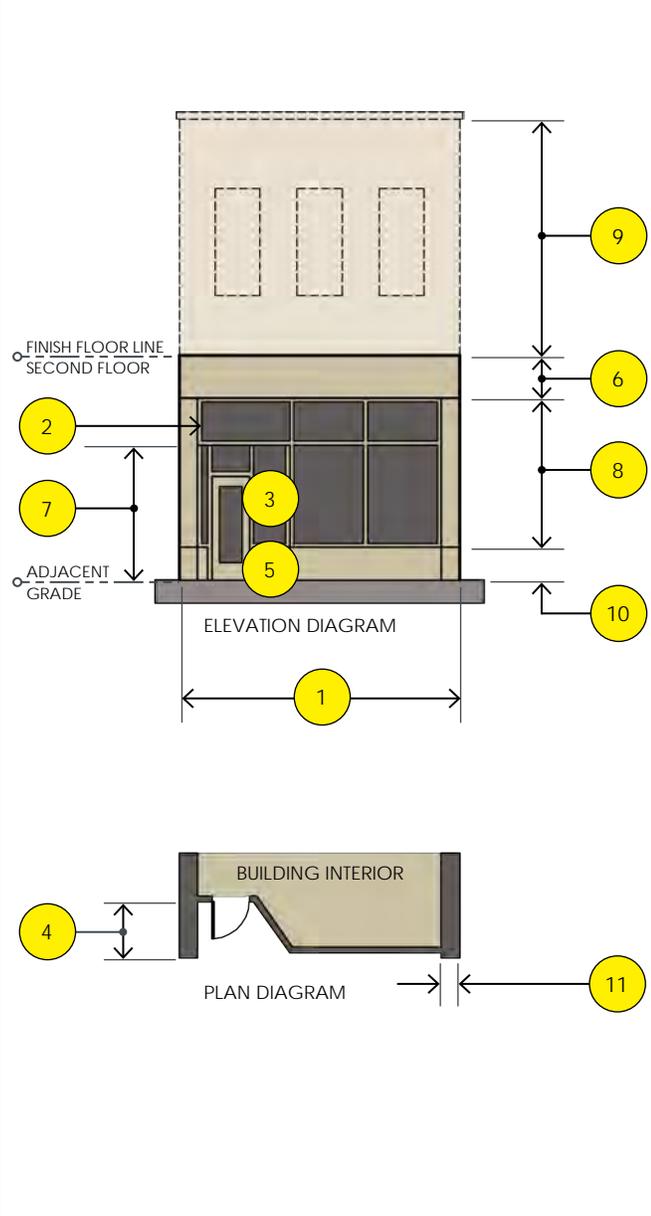


Hatched area represents the Build-to-Zone (BTZ). Refer to Section 2005 for the location of the BTZ for specific Context Areas.

2006.13 LIVE / WORK BUILDING TYPE FRONTAGE OPTIONS

J. BUILDING TYPE FRONTAGE OPTION 1: STOREFRONT (continued)

DIAGRAM 6.48 FRONTAGE COMPOSITION REQUIREMENTS



STOREFRONT COMPOSITION REQUIREMENTS

Storefront frontage composition shall meet the following requirements and Diagram 6.48.

1. Frontage shall extend across the overall length of the ground floor as required by the Context Area frontage placement requirements in Section 2005.
2. Optional transom window may extend over entry recess (as depicted) or follow entry recess.
3. Required entry door shall have fifty (50) percent minimum transparency.
4. Entry door option: Entry door may be recessed three (3) feet to eight (8) feet from the building wall. The angled wall (the wall that connects the storefront to the door) in the recess area shall match the main storefront window.
5. Entry door is required to be at adjacent sidewalk grade.
6. Required 30" to 42" sign band or horizontal expression line above storefront window or transom. Sign band or horizontal expression line shall extend the entire width of the storefront but may be interrupted by the required pilasters referenced in item 10. on this page.
7. Storefront window glass shall be eight (8) feet high minimum, measured from the adjacent grade.
8. Transparency Ground Floor: Storefront frontage shall have 60% to 80% of the façade be glass between the top of the storefront base and bottom of sign band (or horizontal expression line). Entry door transparency may be included as part of the required transparency calculation.
9. Transparency Upper Floors: Refer to Building Type for transparency requirements of upper floors.
10. Required 18" to 24" high storefront base.
11. Required 16" to 32" wide pilaster or wall surface spaced as indicated by Building Type. Pilaster or wall surface shall extend the full height of the storefront frontage, but may be interrupted by the sign band or horizontal expression line.
12. Storefront windows may be replaced with overhead doors. Overhead doors that replace storefront windows are required to meet the transparency requirements in item 8. Refer to Image 6.39.



IMAGE 6.39 STOREFRONT WITH TRANSPARENT OVERHEAD DOORS

2006.13 LIVE / WORK BUILDING TYPE FRONTAGE OPTIONS

K. BUILDING TYPE FRONTAGE OPTION 2: DOORYARD

DESCRIPTION

In a Dooryard Frontage Type, the facade of the building that faces the primary street is setback a small distance from the front and side streets, typically within a build-to-zone. The front property line is oftentimes defined by a low wall, fence, or hedge, creating a small dooryard. The dooryard shall not provide public circulation along the rights-of-way. The dooryard is at-grade.

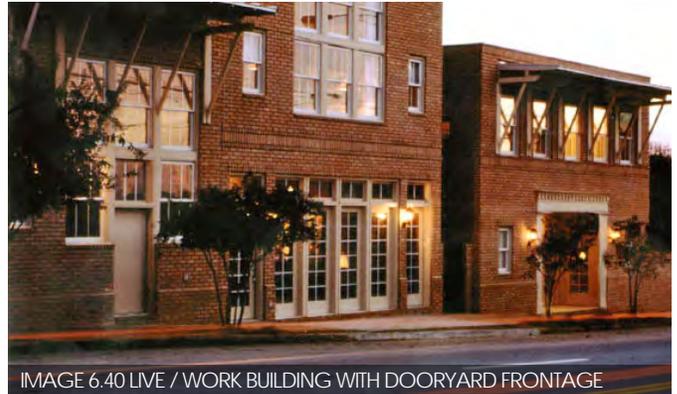


IMAGE 6.40 LIVE / WORK BUILDING WITH DOORYARD FRONTAGE

DOORYARD LOCATION REQUIREMENTS

Dooryard frontage shall be located per the following requirements and Diagram 6.49.

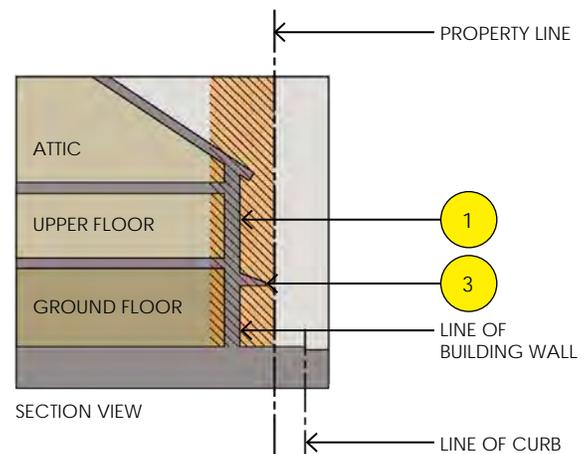
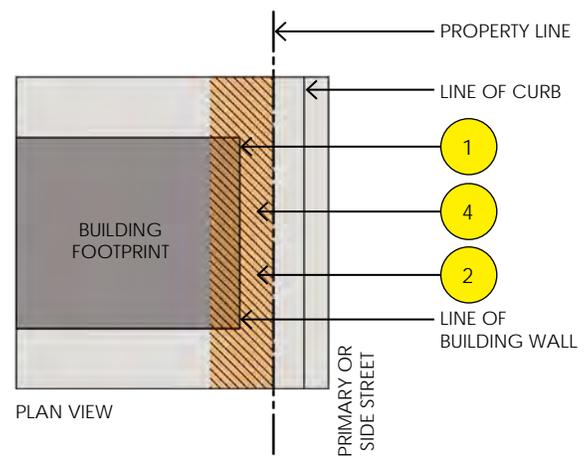
1. The building wall(s) are required to be placed within a build-to-zone as required by the building site placement requirements in the Context Area section. Refer to Section 2005.
2. The ground area between the primary and side street property lines and the building walls shall have one of the following treatments depending on distance from the property line.
 - a. Distance between building walls and property line is zero (0) to ten (10) feet: Ground area shall be paved to match public sidewalk.
 - b. Distance between building walls and property line is greater than ten (10) feet: Ground area shall be landscaped. A sidewalk connecting the entry door to the public sidewalk is required. Sidewalk connecting entry door and public sidewalk shall have a minimum width of five (5) feet.

Additionally, one of the following landscape elements is required to be placed at the property line when the distance between facade and property line is greater than ten (10) feet:

- A 24" to 36" high brick wall.
- A decorative metal fence that is 42" high maximum.
- A continuous hedge that is maintained at a 42" maximum height.

- c. Ground area may be paved at distances greater than ten (10) feet when outdoor seating is proposed per approval of Planning Director and / or Planning Commission.
3. Balconies, awnings, canopies, cornices, upper bays, and projecting signs may extend into the public right-of-way per the encroachment requirements in the Context Area section. Refer to Section 2005.
4. Wells may extend into required setbacks per the requirements of the encroachment section in Section 2005.

DIAGRAM 6.49 FRONTAGE LOCATION REQUIREMENTS

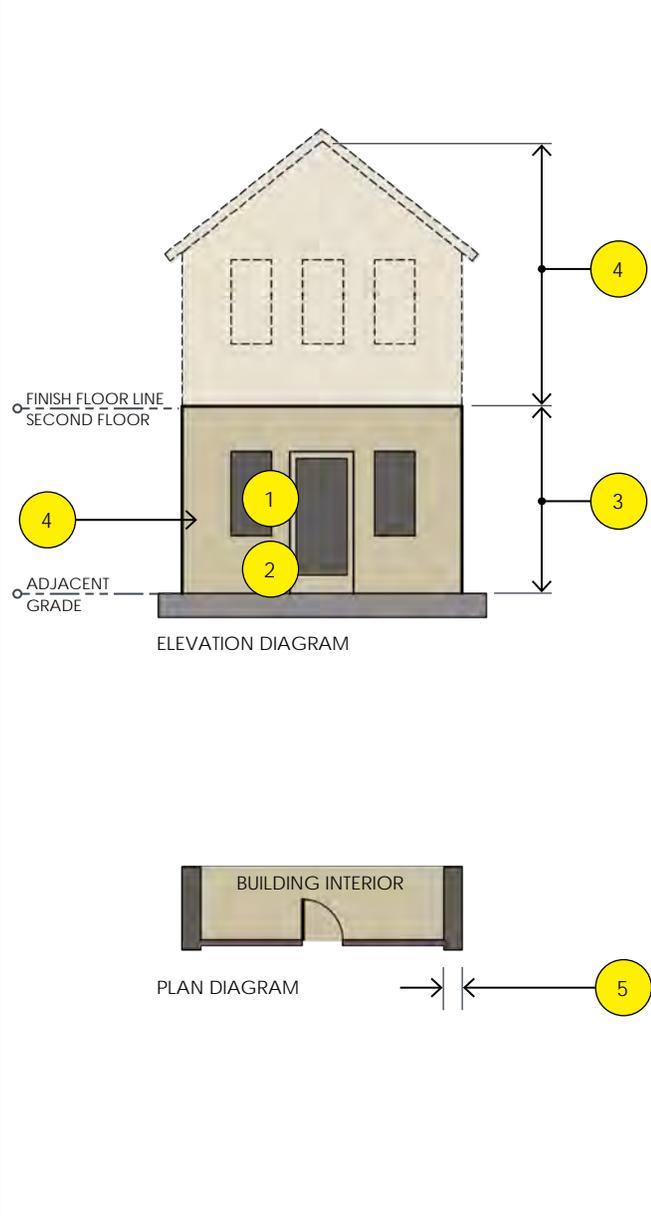


Hatched area represents the Build-to-Zone (BTZ). Refer to Section 2005 for the location of the BTZ for specific Context Areas.

2006.13 LIVE / WORK BUILDING TYPE FRONTAGE OPTIONS

K. BUILDING TYPE FRONTAGE OPTION 2: DOORYARD (continued)

DIAGRAM 6.50 FRONTAGE COMPOSITION REQUIREMENTS

**DOORYARD COMPOSITION REQUIREMENTS**

Dooryard frontage composition shall meet the following requirements and Diagram 6.50.

1. Entry door(s) shall have 25% minimum transparency.
2. Entry door(s) are required to be at-grade. At-grade entry door (zero-step) shall have one of the following treatments:
 - a. Covered with a supported roof. Roof shall be supported with columns.
 - b. Covered with a canopy. Canopy shall be cantilevered or supported by brackets or cables.
 - c. Uncovered (with no canopy or supported roof) (as depicted in the graphic).
3. Transparency Ground Floor: Dooryard frontage shall have minimum 15% of the façade be glass between the adjacent grade and the finish floor line of the second story. Entry door transparency shall not be included as part of the required transparency calculation.
4. Transparency Upper Floors: Refer to Building Type for transparency requirements of upper floors.
5. Required 16" to 32" wide pilaster or wall surface spaced as indicated by Building Type.

2006.13 LIVE / WORK BUILDING TYPE FRONTAGE OPTIONS

L. BUILDING TYPE FRONTAGE OPTION 3: LIGHTWELL

DESCRIPTION

In a Lightwell Frontage Type, the facade of the building that faces the primary and / or side streets is setback a small distance from the primary and side streets, typically within a build-to-zone. This frontage has a combined elevated terrace and sunken lightwell between the building wall and property line. This frontage type buffers residential, retail, and service uses from urban sidewalks and removes the private yard from public encroachment.



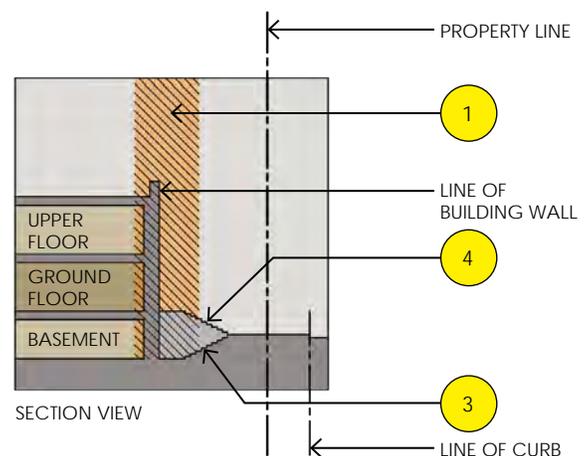
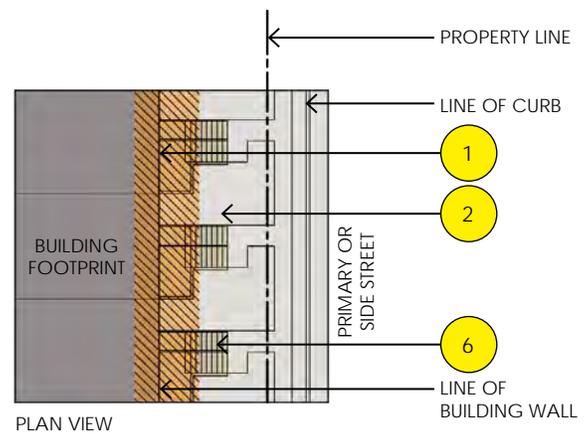
IMAGE 6.41 LIVE / WORK BUILDING WITH LIGHTWELL FRONTAGE

LIGHTWELL LOCATION REQUIREMENTS

Lightwell frontage shall be located per the following requirements and Diagram 6.51.

1. The building wall(s) are required to be placed within a build-to-zone as required by the building site placement requirements in the Context Area section. Refer to Section 2005.
2. The ground area between the primary and side street property lines and the building walls shall have one of the following treatments depending on distance from the property line.
 - a. Distance between building walls and property line is zero (0) to ten (10) feet: Ground area shall be paved to match public sidewalk.
 - b. Distance between building walls and property line is greater than ten (10) feet: Ground area shall be landscaped. A sidewalk connecting the entry door to the public sidewalk is required. Sidewalk connecting entry door and public sidewalk shall have a minimum width of five (5) feet.
3. Required exterior stair from adjacent sidewalk grade down to sunken lightwell.
4. Required exterior stair from adjacent sidewalk grade to elevated terrace.
5. Balconies, awnings, canopies, cornices, upper bays, and projecting signs may extend into the public right-of-way per the encroachment requirements in the Context Area section. Refer to Section 2005.
6. Stoops, wells, and / or steps may extend into required setbacks per the requirements of the encroachment section in Section 2005.

DIAGRAM 6.51 FRONTAGE LOCATION REQUIREMENTS

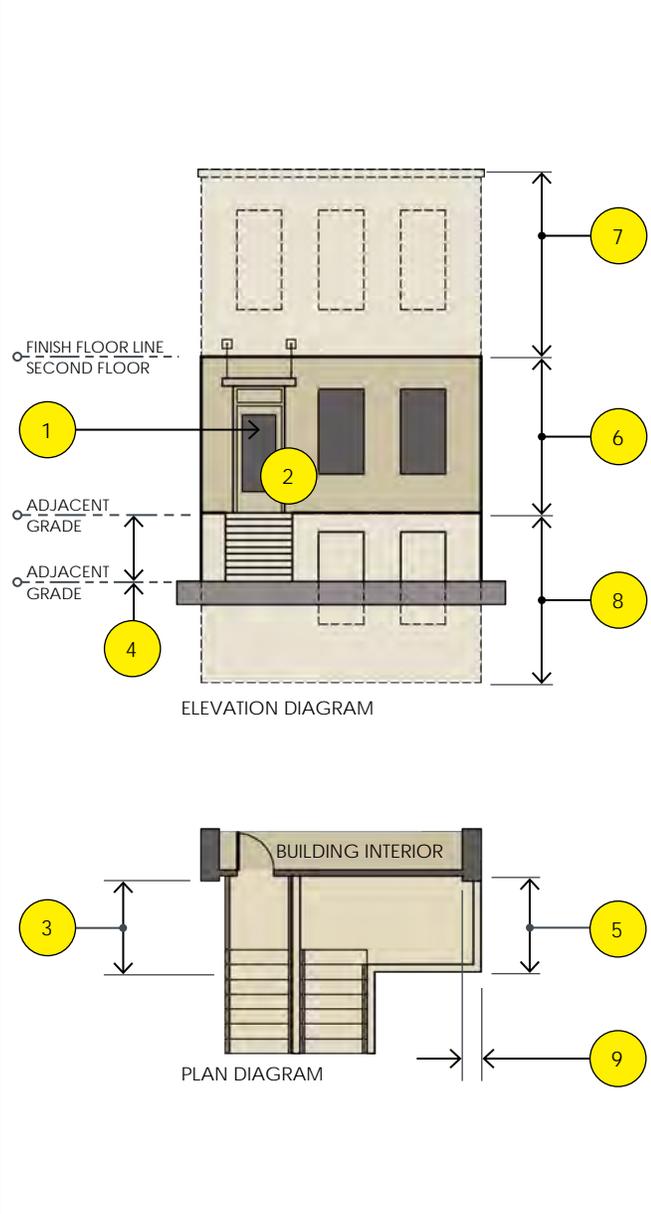


Hatched area represents the Build-to-Zone (BTZ). Refer to Section 2005 for the location of the BTZ for specific Context Areas.

2006.13 LIVE / WORK BUILDING TYPE FRONTAGE OPTIONS

L. BUILDING TYPE FRONTAGE OPTION 3: LIGHTWELL (continued)

DIAGRAM 6.52 FRONTAGE COMPOSITION REQUIREMENTS

**LIGHTWELL COMPOSITION REQUIREMENTS**

Lightwell frontage composition shall meet the following requirements and Diagram 6.52.

1. Entry door(s) is not required to have transparency.
2. Entry door(s) are required to be elevated. Elevated entry doors shall have one of the following treatments:
 - a. Covered with a canopy. Canopy shall be cantilevered or supported by brackets or cables (as depicted in the graphic).
 - b. Uncovered (with no canopy or supported roof).
3. Depth of required terrace shall be 4 feet minimum and 8 feet maximum.
4. Terrace shall be 3 feet minimum above adjacent grade.
5. Depth of required lightwell shall be 6 feet minimum and 10 feet maximum.
6. Transparency Ground Floor: Lightwell frontage shall have minimum 15% of the façade be glass between the finish floor line of the first story and the finish floor line of the second story. Entry door transparency shall not be included as part of the required transparency calculation.
7. Transparency Upper Floors: Refer to Building Type for transparency requirements of upper floors.
8. Transparency Lightwell: Lightwell: A partial storefront window and entry door is required at the lightwell level (basement). Storefront shall have minimum 15% of the building wall be glass. Door is required to have 50% transparency and shall not be included as part of the transparency calculation.
9. Required 16" to 32" wide pilaster or wall surface spaced as indicated by Building Type.

2006.13 LIVE / WORK BUILDING TYPE FRONTAGE OPTIONS

M. BUILDING TYPE FRONTAGE OPTION 4: STOOP

DESCRIPTION

In a Stoop Frontage Type, the facade of the building that faces the front and / or side streets is setback a small distance from the front and side streets, typically within a build-to-zone. The stoop is elevated above the sidewalk. Steps or a ramp from the stoop may lead directly to the sidewalk or may be side-loaded.



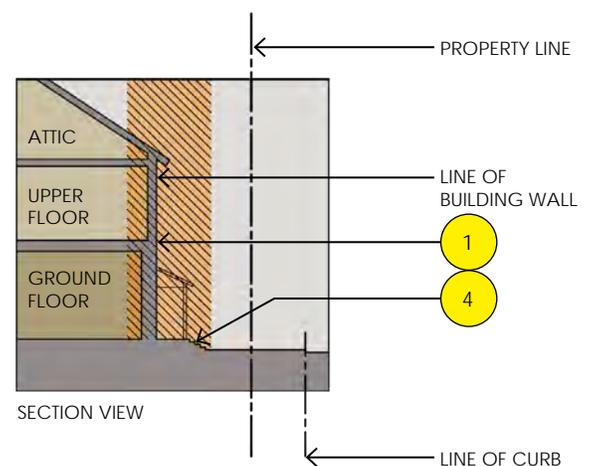
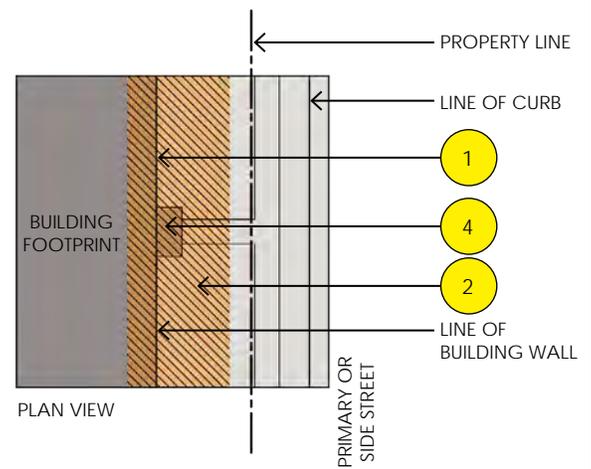
IMAGE 6.42 LIVE / WORK BUILDING WITH STOOP FRONTAGE

STOOP LOCATION REQUIREMENTS

Stoop frontage shall be located per the following requirements and Diagram 6.53.

1. The building wall(s) are required to be placed within a Build-to-Zone as required by the building site placement requirements in the Context Area section. Refer to Section 2005.
2. The ground area between the primary and side street property lines and the building walls shall have one of the following treatments depending on distance from the property line.
 - a. Distance between building walls and property line is zero (0) to ten (10) feet: Ground area shall be paved to match public sidewalk.
 - b. Distance between building walls and property line is greater than ten (10) feet: Ground area shall be landscaped. A sidewalk connecting the entry door to the public sidewalk is required. Sidewalk connecting entry door and public sidewalk shall have a minimum width of five (5) feet.
3. Balconies, awnings, canopies, cornices, upper bays, and projecting signs may extend into the public right-of-way per the encroachment requirements in the Context Area section. Refer to Section 2005.
4. Stoops, wells, and / or steps may extend into required setbacks per the requirements of the encroachment section in Section 2005.

DIAGRAM 6.53 FRONTAGE LOCATION REQUIREMENTS

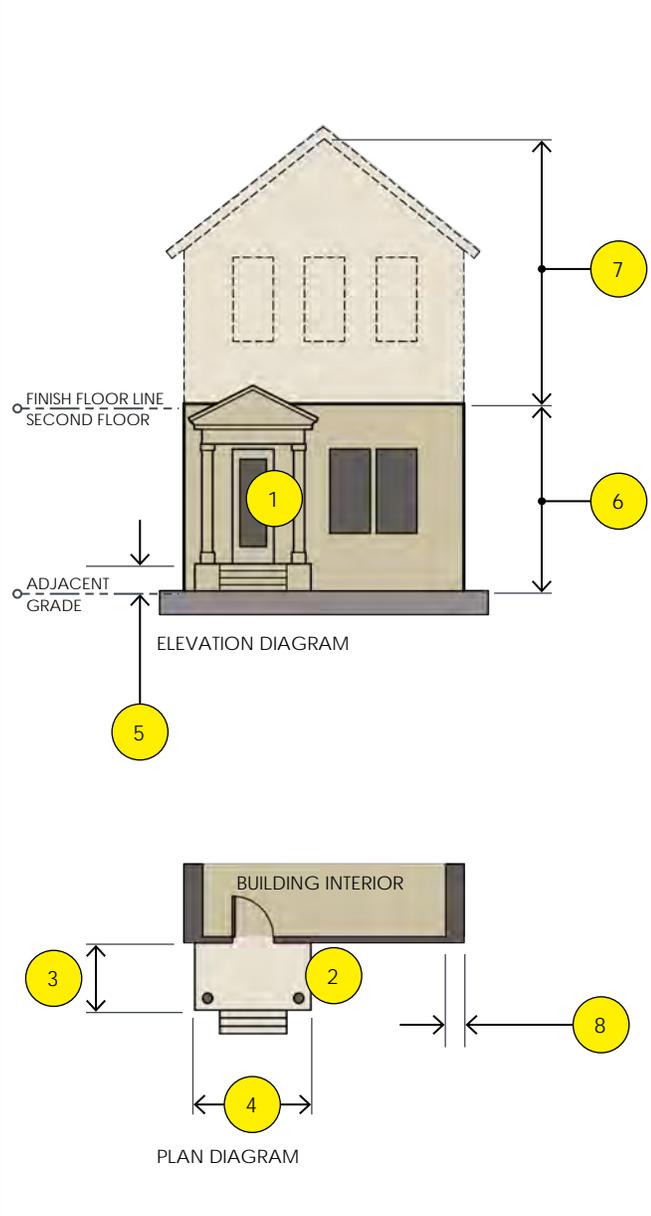


Hatched area represents the Build-to-Zone (BTZ). Refer to Section 2005 for the location of the BTZ for specific Context Areas.

2006.13 LIVE / WORK BUILDING TYPE FRONTAGE OPTIONS

M. BUILDING TYPE FRONTAGE OPTION 4: STOOP (continued)

DIAGRAM 6.54 FRONTAGE COMPOSITION REQUIREMENTS

**STOOP COMPOSITION REQUIREMENTS**

Dooryard frontage composition shall meet the following requirements and Diagram 6.54.

1. Entry door(s) shall have 25% minimum transparency.
2. Entry door(s) are required to be elevated above adjacent grade. Elevated entry doors shall have one of the following treatments:
 - a. Covered with a supported roof (as depicted in the graphic). Roof shall be supported with columns.
 - b. Covered with a canopy. Canopy shall be cantilevered or supported by brackets or cables.
3. Depth of stoop landing shall be 4 feet minimum.
4. Width of stoop landing shall be 5 feet minimum.
5. Stoop shall be 12" minimum above adjacent grade.
6. Transparency Ground Floor: Stoop frontage shall have minimum 15% of the façade be glass between the adjacent grade and the finish floor line of the second story. Entry door transparency shall not be included as part of the required transparency calculation.
7. Transparency Upper Floors: Refer to Building Type for transparency requirements of upper floors.
8. Required 16" to 32" wide pilaster or wall surface spaced as indicated in Building Type.

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2006.14 LARGE MULTI-PLEX BUILDING TYPE

A. BUILDING TYPE DESCRIPTION

The LARGE MULTI-PLEX BUILDING TYPE is a medium- to large-sized structure that consists of 7 or more side-by-side and/or stacked dwelling units, typically with one shared entry. This Type is appropriately scaled to fit in medium-density neighborhoods and enables well-designed higher densities. It is an essential Building Type for providing a broad choice of housing types and promoting walkability.



B. PRECEDENT OF LARGE MULTI-PLEX BUILDING TYPE

The following images represent precedent examples of the Large Multi-plex Building Type. They are intended as examples only and should be used for inspiration in the creation of this Building Type for projects within the Traverse City Form-Based Code area.



IMAGE 6.43 TRAVERSE CITY LARGE MULTI-PLEX WITH DOORYARD FRONTAGES ON RANDOLPH STREET



IMAGE 6.44 LARGE MULTI-PLEX WITH FORECOURT FRONTAGE



IMAGE 6.45 TRAVERSE CITY LARGE MULTI-PLEX WITH STOOP FRONTAGE ON RIVERS EDGE DRIVE



IMAGE 6.46 TRAVERSE CITY LARGE MULTI-PLEX (ADAPTIVE RE-USE AT GRAND TRAVERSE COMMONS)

2006.14 LARGE MULTI-PLEX BUILDING TYPE

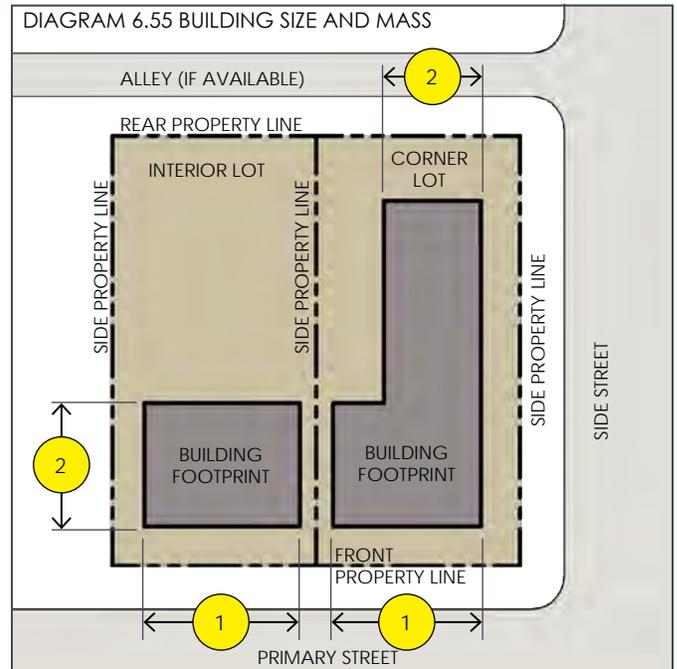
C. BUILDING SIZE AND MASSING

Building Type size and massing shall meet the following requirements and Diagram 6.55.

1. Percentage of front building wall at primary street: Building shall be built to a minimum of 70% of the overall width of the front street property line.

Exception: When parking access is not available on an alley, rear street, or side street and is only available at primary street, the required percentage indicated above may be reduced to allow access that meets the requirements indicated in the Context Area (Section 2005).

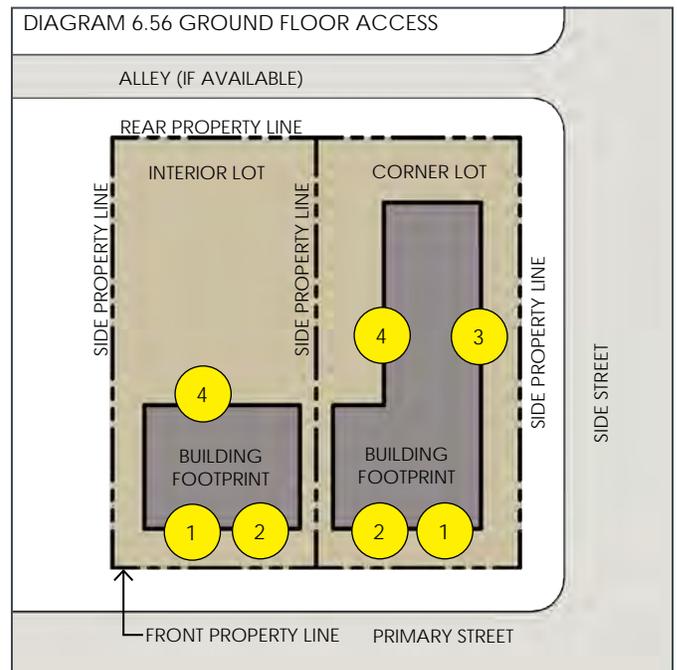
2. Building depth: 20 feet minimum
3. Maximum site coverage: 80%



D. GROUND FLOOR PEDESTRIAN ACCESS AND ACTIVATION

Building Type ground floor entrances shall meet the following requirements and Diagram 6.56.

1. Main building entrance(s) is required to be located at the primary street and shall be directly accessed from and face the primary street.
2. Units shall be accessed by a common entry along the primary street.
3. At corner lots, units may be accessed from a secondary side street common entry.
4. Units may be accessed from a secondary common entry in the rear of the building.



E. NUMBER OF UNITS

Number of units per Building Type:

1. Required total of 7 units minimum per building.

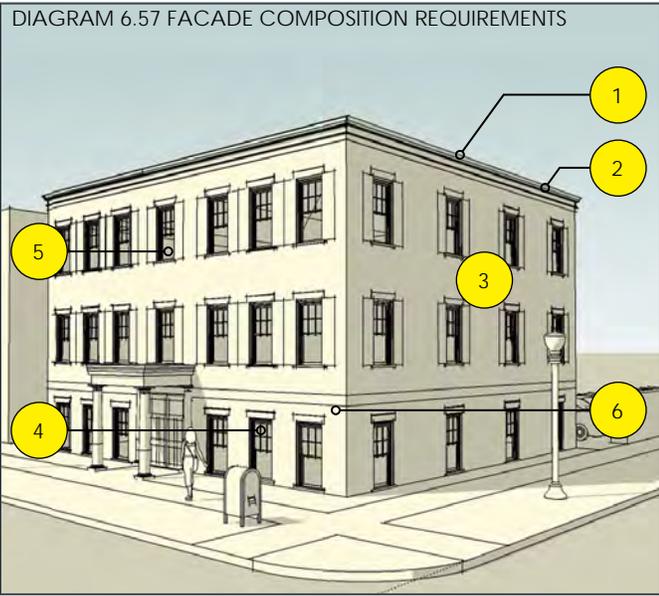
F. USE

Building Type use:

1. Uses are regulated by Context Area. Refer to Section 2005 for permitted uses in each Context Area.

2006.14 LARGE MULTI-PLEX BUILDING TYPE

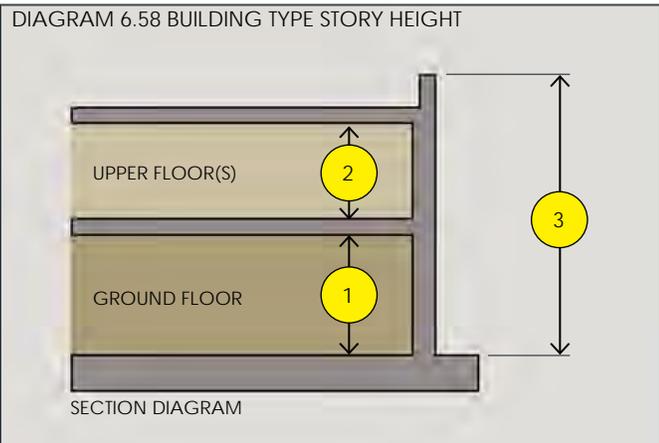
G. FACADE COMPOSITION REQUIREMENTS



Building Type facade composition shall meet the following requirements and Diagram 6.57.

1. Building shall have a flat roof with parapet.
2. Building shall have a cornice expression line at roofline.
3. Transparency Upper Floors: Building facades facing streets shall have minimum 12% of the façade be glass between the finish floor line of the second story and bottom of cornice expression line.
4. Transparency Ground Floor: Refer to Building Type frontage options for transparency requirements at ground floor.
5. Upper windows shall be square or vertically proportioned with clear glass. Refer to definitions in Section 2009 for clear glass requirements.
6. Building shall have an 18" to 42" pilaster or wall surface every 20 to 40 feet along building facades facing streets. Pilasters shall extend vertically from grade to cornice expression line.

H. BUILDING TYPE FLOOR HEIGHT REQUIREMENTS



Building Type floor heights shall meet the following requirements and Diagram 6.58.

1. Ground floor: Floor to ceiling height shall be 10 feet minimum.
2. Upper Floors: floor to ceiling height shall as required by Context Area.
3. Overall height of Building Type is regulated by Context Area, refer to Section 2005.

I. BUILDING TYPE FRONTAGE OPTIONS

Each Large Multi-plex Building Type is required to have at least 1 of the following frontage configurations applied to the ground level floor where it abuts front and side streets, civic space, and / or public rights-of-way.

Combination of Frontages: For Large Multi-plex Building Types, more than one frontage may be used on the same building at both primary and side streets.

Frontage options for the Large Multi-plex Building Type are provided in the table below and described on the following pages of this sub-section.

LARGE MULTI-PLEX BUILDING TYPE	BUILDING TYPE FRONTAGE OPTION	CONTEXT AREAS			
		DE DOWNTOWN EDGE	MS MAINSTREET	GW GATEWAY	NE NEIGHBORHOOD EDGE
	with FORECOURT (2006.14.J)		By Right		
	with DOORYARD (2006.14.K)		By Right		
	with STOOP (2006.14.L)		By Right		
	with PROJECTING PORCH (2006.14.M)		By Right		

Shaded areas represent Context Areas where Building Type with frontage option is not permitted.

2006.13 LARGE MULTI-PLEX BUILDING TYPE FRONTAGE OPTIONS

J. BUILDING TYPE FRONTAGE OPTION 1: FORECOURT

DESCRIPTION

In a Forecourt Frontage Type, the facade of the building that faces the primary street is at or near the right-of-way line and a small percentage of the facade is set back, creating a small courtyard space. The courtyard space may be used as an entry court or shared garden space. The courtyard area is not covered and extends the entire height of the building.



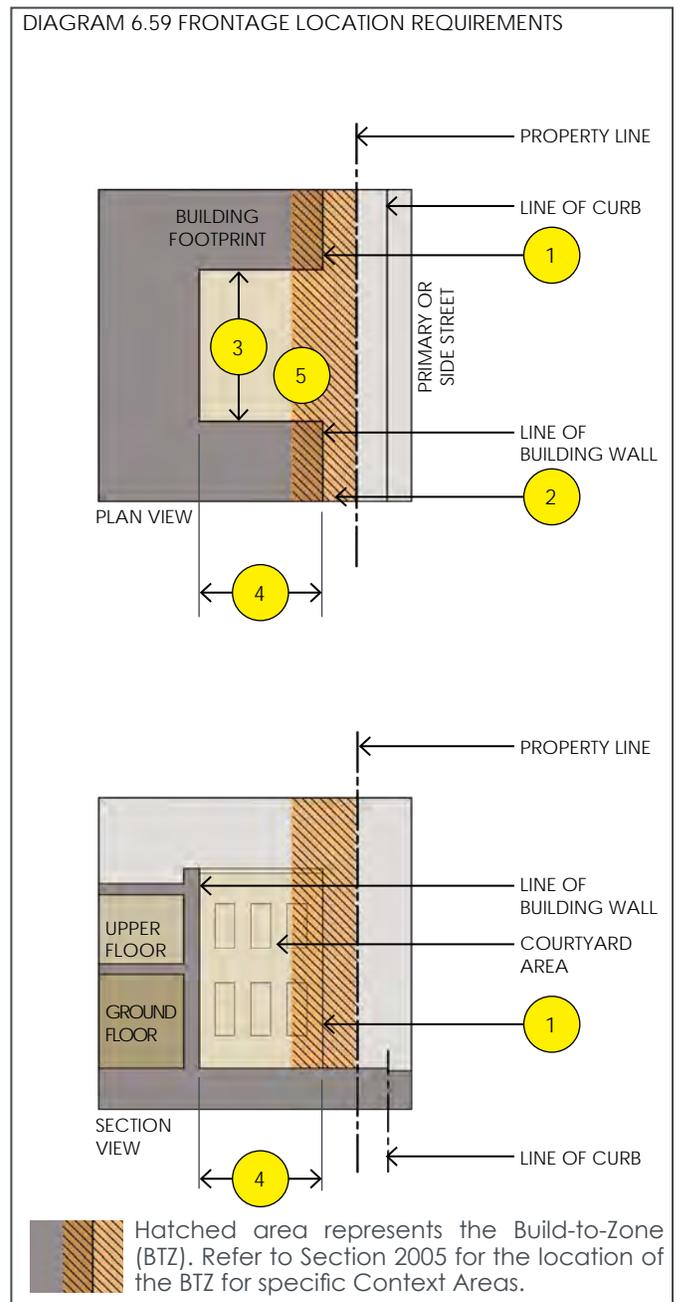
IMAGE 6.47 LARGE MULTI-PLEX WITH FORECOURT FRONTAGE

FORECOURT LOCATION REQUIREMENTS

Forecourt frontage shall be located per the following requirements and Diagram 6.59.

1. A minimum of 30% of the building wall of the forecourt frontage is required to be placed within the build-to-zone as required by the building site placement requirements in the Context Area section. Refer to Section 2005.
2. The ground area between the primary and side street property lines and the main building façade shall be landscaped. A sidewalk connecting the entry door to the public sidewalk is required. Sidewalk connecting entry door and public sidewalk shall have a minimum width of five (5) feet.
3. Required courtyard shall have a width that is twelve (12) feet minimum.
4. Required courtyard shall have a depth of twelve (12) feet minimum.
5. Courtyard area shall be landscaped with sidewalks connecting entry doors. Landscape shall cover 70% of the courtyard's ground area.
6. Balconies, awnings, canopies, cornices, upper bays, and projecting signs may extend into the public right-of-way per the encroachment requirements in the Context Area section. Refer to Section 2005.

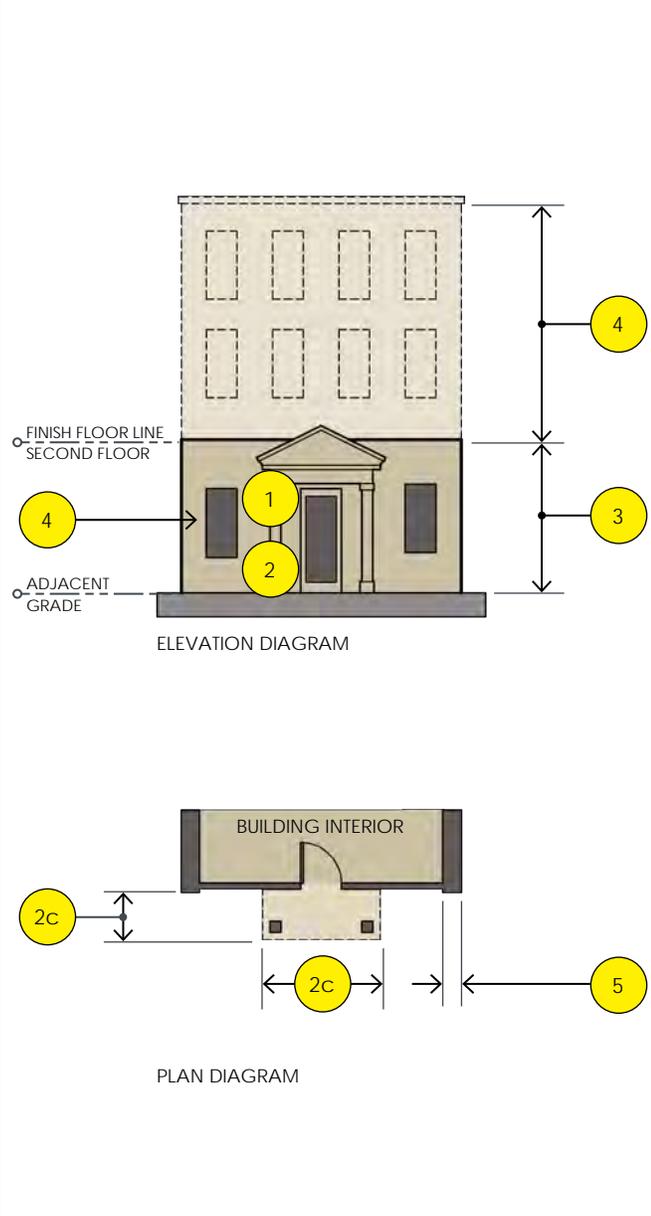
DIAGRAM 6.59 FRONTAGE LOCATION REQUIREMENTS



2006.14 LARGE MULTI-PLEX BUILDING TYPE FRONTAGE OPTIONS

J. BUILDING TYPE FRONTAGE OPTION 1: FORECOURT (continued)

DIAGRAM 6.60 FRONTAGE COMPOSITION REQUIREMENTS

**FORECOURT COMPOSITION REQUIREMENTS**

All building walls that face the courtyard, primary street, and side street as part of the forecourt frontage composition shall meet the following requirements and Diagram 6.60.

1. Entry door(s) shall have 25% minimum transparency.
2. Entry door(s) may be at-grade or raised and accessed by steps.
 - a. At-Grade entry door (zero-step) shall have one of the following treatments:
 - Covered with a supported roof (as depicted in the graphic). Roof shall be supported with columns.
 - Covered with a canopy. Canopy shall be cantilevered or supported by brackets or cables.
 - Uncovered (with no canopy or supported roof).
 - Recessed in building wall.
 - b. Elevated entry door shall have one of the following treatments:
 - Covered with a supported roof. Roof shall be supported with columns.
 - Covered with a canopy. Canopy shall be cantilevered or supported by brackets or cables.
 - c. Elevated entry doors shall have a stoop (landing at door) that is minimum 4 feet deep and minimum 4 feet wide.
3. Transparency Ground Floor: Forecourt frontage shall have minimum 12% of the façade be glass between the adjacent grade and the finish floor line of the second story. Entry door transparency shall not be included as part of the required transparency calculation.
4. Transparency Upper Floors: Refer to Building Type for transparency requirements of upper floors.
5. Required 18" to 42" wide pilaster or wall surface spaced as indicated by Building Type.

2006.13 LARGE MULTI-PLEX BUILDING TYPE FRONTAGE OPTIONS

K. BUILDING TYPE FRONTAGE OPTION 2: DOORYARD

DESCRIPTION

In a Dooryard Frontage Type, the facade of the building that faces the primary street is setback a small distance from the front and side streets, typically within a build-to-zone. The front property line is oftentimes defined by a low wall, fence, or hedge, creating a small dooryard. The dooryard shall not provide public circulation along the rights-of-way. The dooryard may be raised or at-grade and is most often intended for ground floor residential.



IMAGE 6.48 LARGE MULTI-PLEX WITH DOORYARD FRONTAGE

DOORYARD LOCATION REQUIREMENTS

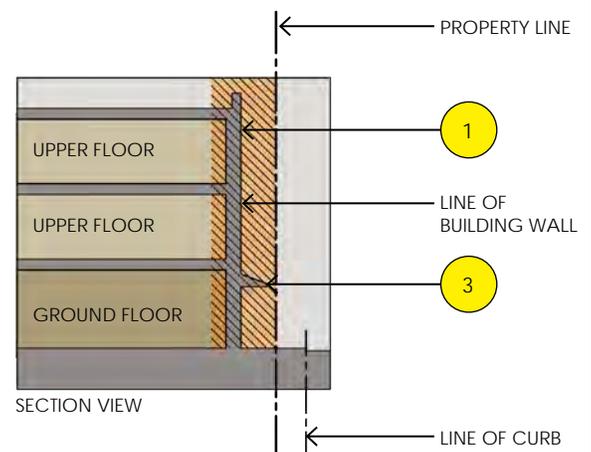
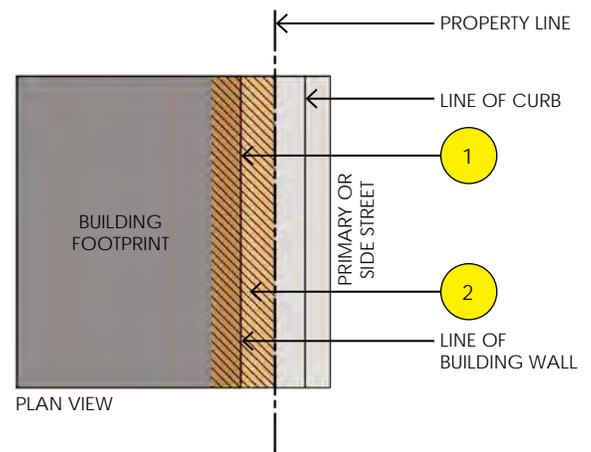
Dooryard frontage shall be located per the following requirements and Diagram 6.61.

1. The building wall(s) are required to be placed within a build-to-zone as required by the building site placement requirements in the Context Area section. Refer to Section 2005.
2. The ground area between the primary and side street property lines and the building walls shall have one of the following treatments depending on distance from the property line.
 - a. Distance between building walls and property line is zero (0) to ten (10) feet: Ground area shall be paved to match public sidewalk.
 - b. Distance between building walls and property line is greater than ten (10) feet: Ground area shall be landscaped. A sidewalk connecting the entry door to the public sidewalk is required. Sidewalk connecting entry door and public sidewalk shall have a minimum width of five (5) feet.

Additionally, one of the following landscape elements is required to be placed at the property line when the distance between facade and property line is greater than ten (10) feet:

- A 24" to 36" high brick wall.
 - A decorative metal fence that is 42" high maximum.
 - A continuous hedge that is maintained at a 42" maximum height.
- c. Ground area may be paved at distances greater than ten (10) feet when outdoor seating is proposed per approval of Planning Director and / or Planning Commission.
3. Balconies, awnings, canopies, cornices, upper bays, and projecting signs may extend into the public right-of-way per the encroachment requirements in the Context Area section. Refer to Section 2005.
 4. Wells may extend into required setbacks per the requirements of the encroachment section in Section 2005.

DIAGRAM 6.61 FRONTAGE LOCATION REQUIREMENTS

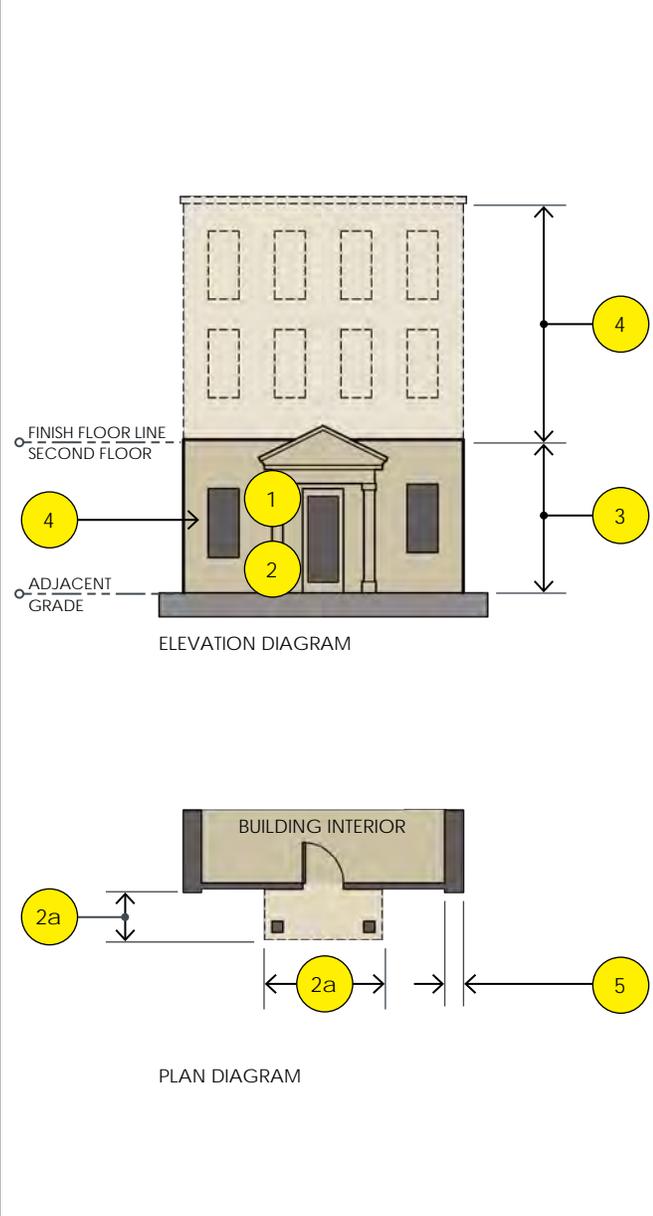


Hatched area represents the Build-to-Zone (BTZ). Refer to Section 2005 for the location of the BTZ for specific Context Areas.

2006.14 LARGE MULTI-PLEX BUILDING TYPE FRONTAGE OPTIONS

K. BUILDING TYPE FRONTAGE OPTION 2: DOORYARD (continued)

DIAGRAM 6.62 FRONTAGE COMPOSITION REQUIREMENTS

**DOORYARD COMPOSITION REQUIREMENTS**

Dooryard frontage composition shall meet the following requirements and Diagram 6.62.

1. Entry door(s) shall have 25% minimum transparency.
2. Entry door(s) shall be at-grade (zero-step) and shall have one of the following treatments:
 - a. Covered with a supported roof (as depicted in the graphic). Roof shall be supported with columns.
 - b. Covered with a canopy. Canopy shall be cantilevered or supported by brackets or cables.
 - c. Uncovered (with no canopy or supported roof).
 - d. Recessed in building wall.
3. Transparency Ground Floor: Dooryard frontage shall have minimum 12% of the façade be glass between the adjacent grade and the finish floor line of the second story. Entry door transparency shall not be included as part of the required transparency calculation.
4. Transparency Upper Floors: Refer to Building Type for transparency requirements of upper floors.
5. Required 18" to 42" wide pilaster or wall surface spaced as indicated by Building Type.

2006.13 LARGE MULTI-PLEX BUILDING TYPE FRONTAGE OPTIONS

L. BUILDING TYPE FRONTAGE OPTION 3: STOOP

DESCRIPTION

In a Stoop Frontage Type, the facade of the building that faces the front and / or side streets is setback a small distance from the front and side streets, typically within a build-to-zone. The stoop is elevated above the sidewalk. Steps or a ramp from the stoop may lead directly to the sidewalk or may be side-loaded.



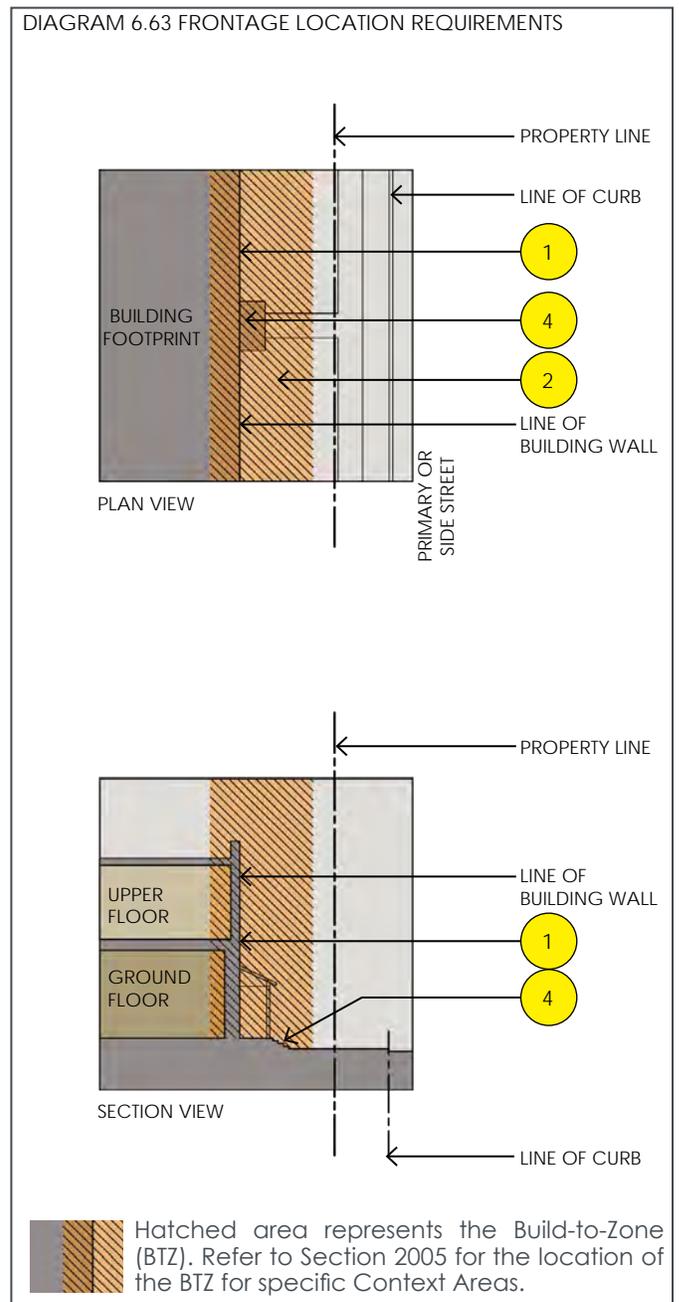
IMAGE 6.49 LARGE MULTI-PLEX WITH STOOP FRONTAGE

STOOP LOCATION REQUIREMENTS

Stoop frontage shall be located per the following requirements and Diagram 6.63.

1. The building wall(s) are required to be placed within a Build-to-Zone as required by the building site placement requirements in the Context Area section. Refer to Section 2005.
2. The ground area between the primary and side street property lines and the building walls shall have one of the following treatments depending on distance from the property line.
 - a. Distance between building walls and property line is zero (0) to ten (10) feet: Ground area shall be paved to match public sidewalk.
 - b. Distance between building walls and property line is greater than ten (10) feet: Ground area shall be landscaped. A sidewalk connecting the entry door to the public sidewalk is required. Sidewalk connecting entry door and public sidewalk shall have a minimum width of five (5) feet.
3. Balconies, awnings, canopies, cornices, upper bays, and projecting signs may extend into the public right-of-way per the encroachment requirements in the Context Area section. Refer to Section 2005.
4. Stoops, wells, and / or steps may extend into required setbacks per the requirements of the encroachment section in Section 2005.

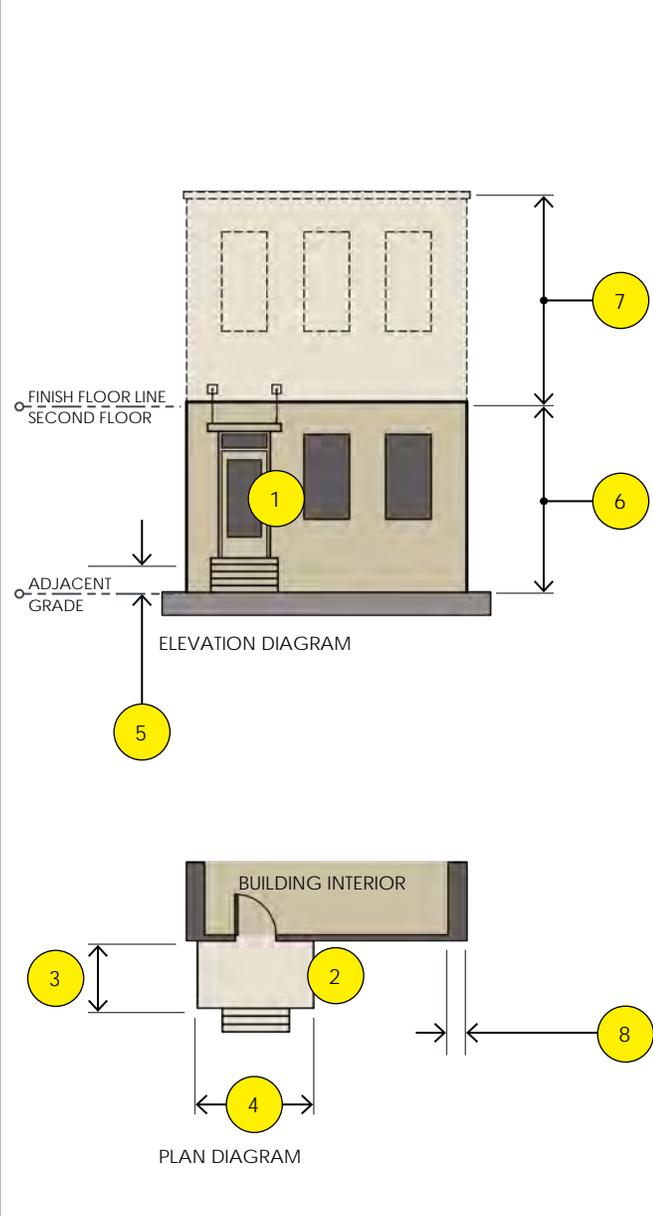
DIAGRAM 6.63 FRONTAGE LOCATION REQUIREMENTS



2006.14 LARGE MULTI-PLEX BUILDING TYPE FRONTAGE OPTIONS

L. BUILDING TYPE FRONTAGE OPTION 3: STOOP (continued)

DIAGRAM 6.64 FRONTAGE COMPOSITION REQUIREMENTS

**STOOP COMPOSITION REQUIREMENTS**

Stoop frontage composition shall meet the following requirements and Diagram 6.64.

1. Entry door(s) shall have 25% minimum transparency.
2. Entry door(s) are required to be elevated above adjacent grade. Elevated entry doors shall have one of the following treatments:
 - a. Covered with a supported roof. Roof shall be supported with columns.
 - b. Covered with a canopy (as depicted in the graphic). Canopy shall be cantilevered or supported by brackets or cables.
3. Depth of stoop landing shall be 4 feet minimum.
4. Width of stoop landing shall be 5 feet minimum.
5. Stoop shall be 12" minimum above adjacent grade.
6. Transparency Ground Floor: Stoop frontage shall have minimum 12% of the façade be glass between the adjacent grade and the finish floor line of the second story. Entry door transparency shall not be included as part of the required transparency calculation.
7. Transparency Upper Stories: Refer to Building Type for transparency requirements of upper floors.
8. Required 18" to 42" wide pilaster or wall surface spaced as indicated by Building Type.

2006.13 LARGE MULTI-PLEX BUILDING TYPE FRONTAGE OPTIONS

M. BUILDING TYPE FRONTAGE OPTION 4: PROJECTING PORCH

DESCRIPTION

In a Projecting Porch Frontage Type, the facade of the building that faces the front and / or side streets is setback a medium distance from the front and side streets, typically within a build-to-zone. The resulting yard is typically small and can be defined by a fence or hedge to spatially maintain the street edge. The projecting porch is open on three sides and all habitable space of the building is located behind the rear edge of the porch. The porch is elevated above the sidewalk. Steps from the porch may be on the front or side of the porch and shall lead directly to the sidewalk.



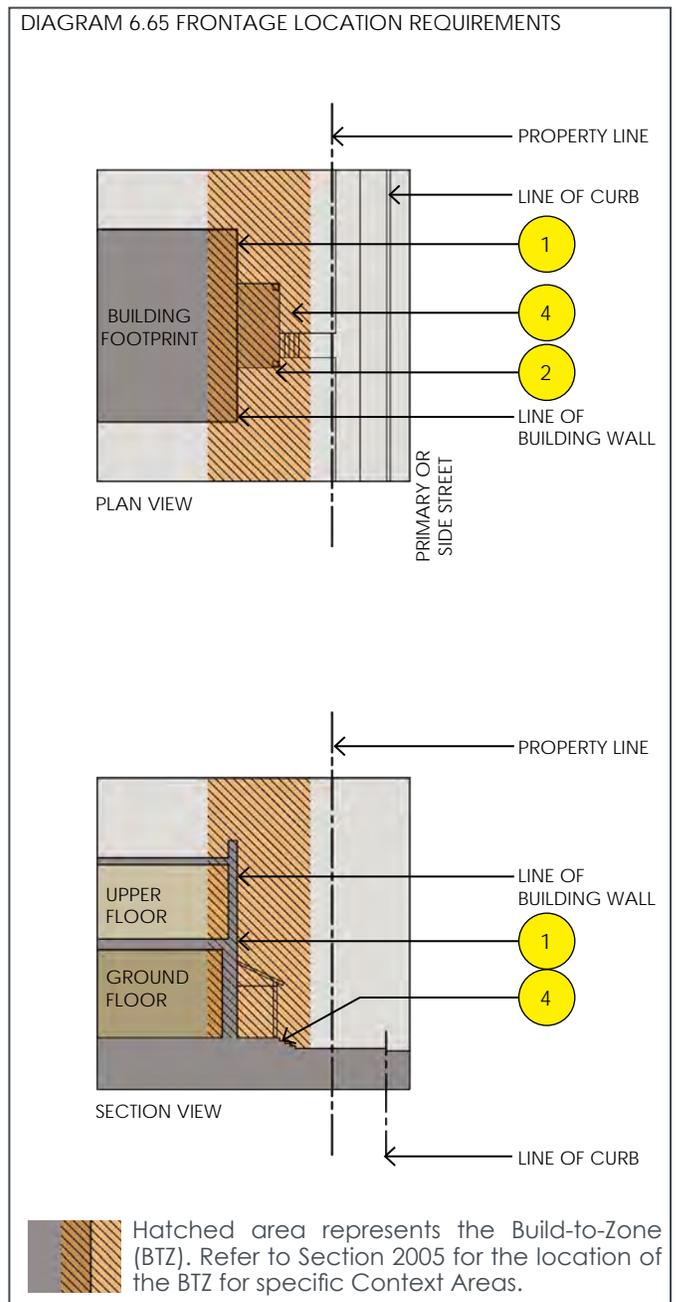
IMAGE 6.50 LARGE MULTI-PLEX WITH PROJECTING PORCH FRONTAGE

PROJECTING PORCH LOCATION REQUIREMENTS

Projecting porch frontage shall be located per the following requirements and Diagram 6.65.

1. The building wall(s) are required to be placed within a Build-to-Zone as required by the building site placement requirements in the Context Area section. Refer to Section 2005.
2. The ground area between the primary and side street property lines and the building walls shall landscaped. A sidewalk connecting the entry door to the public sidewalk is required. Sidewalk connecting entry door and public sidewalk shall have a minimum width of five (5) feet.
3. Balconies, awnings, canopies, cornices, upper bays, and projecting signs may extend into the public right-of-way per the encroachment requirements in the Context Area section. Refer to Section 2005.
4. Stoops, wells, and / or steps may extend into required setbacks per the requirements of the encroachment section in Section 2005.

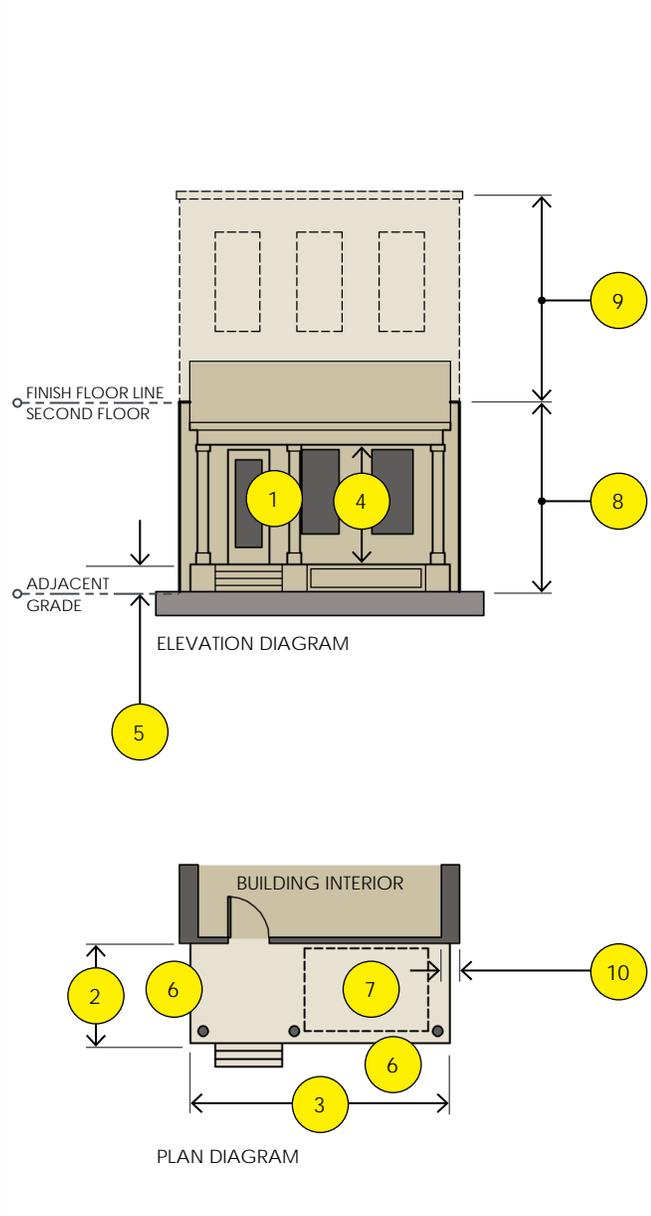
DIAGRAM 6.65 FRONTAGE LOCATION REQUIREMENTS



2006.14 LARGE MULTI-PLEX BUILDING TYPE FRONTAGE OPTIONS

M. BUILDING TYPE FRONTAGE OPTION 4: PROJECTING PORCH (continued)

DIAGRAM 6.66 FRONTAGE COMPOSITION REQUIREMENTS

**PROJECTING PORCH COMPOSITION REQUIREMENTS**

Projecting porch frontage composition shall meet the following requirements and Diagram 6.66.

1. Entry door(s) shall have 25% minimum transparency.
2. Depth of porch shall be 6 feet minimum.
3. Width of porch shall be 8 feet minimum.
4. Height of porch ceiling, measured from porch floor shall be 8 feet minimum.
5. Porch shall be 18" minimum above adjacent grade.
6. Projecting porches shall be open on three sides (no walls on three sides).
7. Furniture area shall be 4 feet x 6 feet minimum clear area.
8. Transparency Ground Floor: Projecting porch frontage shall have minimum 12% of the façade be glass between the adjacent grade and the finish floor line of the second story. Entry door transparency shall not be included as part of the required transparency calculation.
9. Transparency Upper Floors: Refer to Building Type for transparency requirements of upper floors.
10. Required 18" to 42" wide pilaster or wall surface spaced as indicated by Building Type.

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2006.15 SMALL MULTI-PLEX BUILDING TYPE

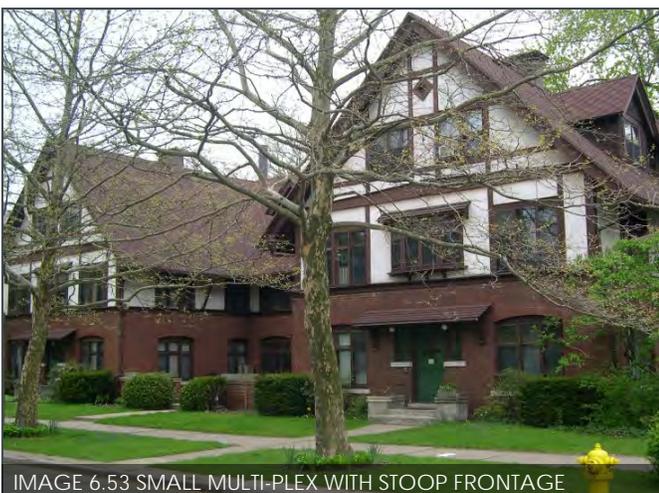
A. BUILDING TYPE DESCRIPTION

The SMALL MULTI-PLEX BUILDING TYPE is a medium-sized structure that consists of 3 to 6 side-by-side and / or stacked dwelling units, typically with one shared entry or individual entries along the front. This Type has the appearance of a large single-family house and is appropriately scaled to fit in single family neighborhoods. This Type enables well-designed higher densities. It is an essential Building Type for providing a broad choice of housing types and promoting walkability.



B. PRECEDENT OF SMALL MULTI-PLEX BUILDING TYPE

The following images represent precedent examples of the Small Multi-plex Building Type. They are intended as examples only and should be used for inspiration in the creation of this Building Type for projects within the Traverse City Form-Based Code area.

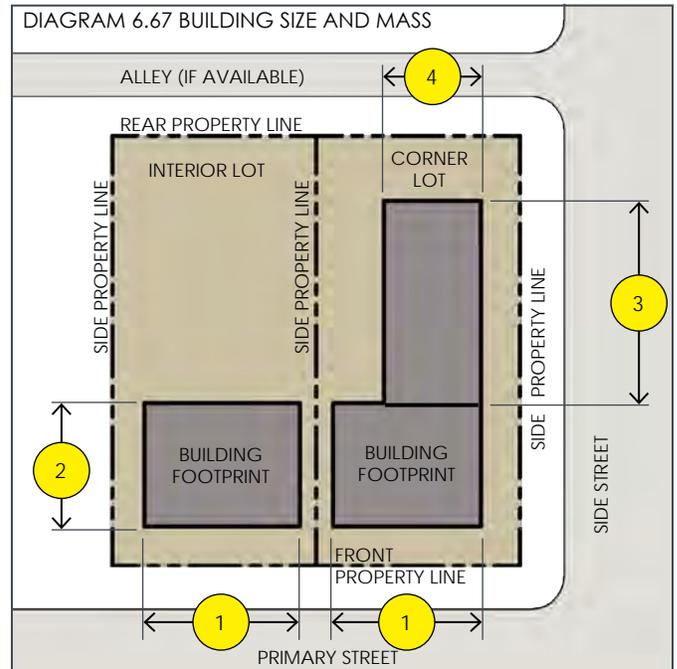


2006.15 SMALL MULTI-PLEX BUILDING TYPE

C. BUILDING SIZE AND MASSING

Building Type size and massing shall meet the following requirements and Diagram 6.67.

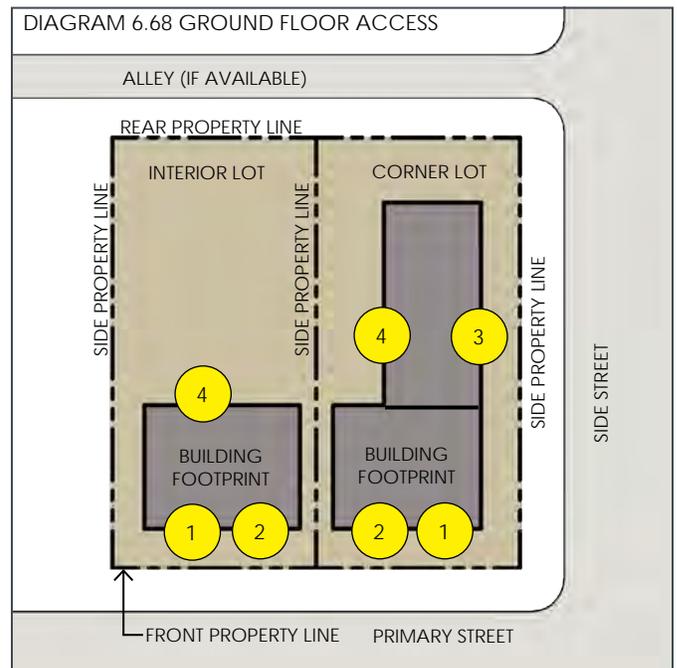
1. Building width at primary street: 48 feet maximum.
2. Building depth: 65 feet maximum.
3. Building secondary wing length (if secondary wing is used): 30 feet maximum.
4. Building secondary wing depth (if secondary wing is used): 30 feet maximum.
5. Maximum site coverage: 70%



D. GROUND FLOOR PEDESTRIAN ACCESS AND ACTIVATION

Building Type ground floor entrances shall meet the following requirements and Diagram 6.68.

1. Main building entrance(s) is required to be located at the primary street and shall be directly accessed from and face the primary street.
2. Each unit may have an individual entrance or units may be accessed by a common entry with lobby.
3. At corner lots, units may be accessed from a secondary side street common entry or individual unit entry.
4. Units may be accessed from a secondary common or individual entry in the rear of the building.



E. NUMBER OF UNITS

Number of units per Building Type:

1. 3 units minimum, 6 units maximum per building.

F. USE

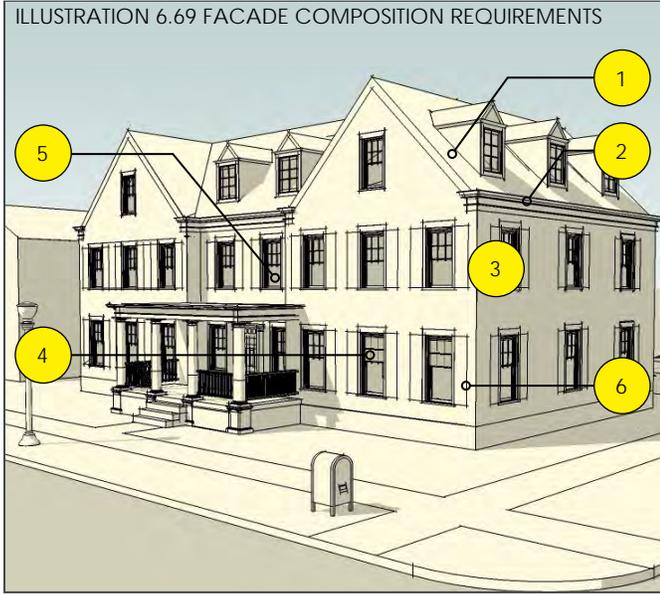
Building Type use:

1. Uses are regulated by Context Area. Refer to Section 2005 for permitted uses in each Context Area.

2006.15 SMALL MULTI-PLEX BUILDING TYPE

G. FACADE COMPOSITION REQUIREMENTS

ILLUSTRATION 6.69 FACADE COMPOSITION REQUIREMENTS

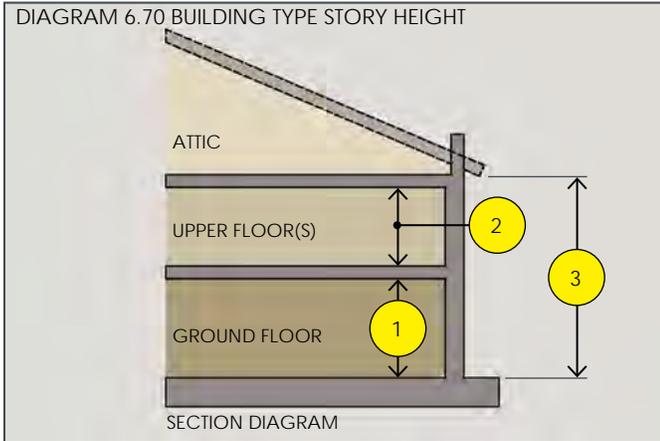


Building Type facade composition shall meet the following requirements and Diagram 6.69.

1. Building may have a flat roof with parapet or a pitched (sloped) roof.
2. Buildings with flat roof shall have a cornice expression line at roofline.
3. Transparency Upper Floors: Building facades facing streets shall have minimum 12% of the façade be glass between the finish floor line of the second story and bottom of cornice expression line or bottom of eave.
4. Transparency Ground Floor: Refer to Building Frontage options for transparency requirements at the ground floor.
5. Upper windows shall be square or vertically proportioned with clear glass. Refer to definitions in Section 2009 for clear glass requirements.
6. Building shall have an 16" to 36" pilaster or wall surface every 18 to 30 feet along building facades facing streets. Pilasters shall extend vertically from grade to cornice expression line.

H. BUILDING TYPE FLOOR HEIGHT REQUIREMENTS

DIAGRAM 6.70 BUILDING TYPE STORY HEIGHT



Building Type floor heights shall meet the following requirements and Diagram 6.70.

1. Ground floor: Floor to ceiling height shall be 10 feet minimum.
2. Upper floors: Floor to ceiling height shall as required by Context Area.
3. Overall height of Building Type is regulated by Context Area, refer to Section 2005.

I. BUILDING TYPE FRONTAGE OPTIONS

Each Small Multi-plex Building Type is required to have at least 1 of the following frontage configurations applied to the ground level floor where it abuts front and side streets, civic space, and / or public rights-of-way.

Combination of Frontages: For Small Multi-plex Building Types, more than one frontage may be used on the same building at both primary and side streets.

Frontage options for the Small Multi-plex Building Type are provided in the table below and described on the following pages of this sub-section.

SMALL MULTI-PLEX BUILDING TYPE	BUILDING TYPE FRONTAGE OPTION	CONTEXT AREAS			
		DE DOWNTOWN EDGE	MS MAINSTREET	GW GATEWAY	NE NEIGHBORHOOD EDGE
	with STOOP (2006.15.J)		By Right		By Right
	with PROJECTING PORCH (2006.15.K)		By Right		By Right
	with ENGAGED PORCH (2006.15.L)		By Right		By Right

Shaded areas represent Context Areas where Building Type with frontage option is not permitted.

2006.15 SMALL MULTI-PLEX BUILDING TYPE FRONTAGE OPTIONS

J. BUILDING TYPE FRONTAGE OPTION 1: STOOP

DESCRIPTION

In a Stoop Frontage Type, the facade of the building that faces the front and / or side streets is setback a small distance from the front and side streets, typically within a build-to-zone. The stoop is elevated above the sidewalk. Steps or a ramp from the stoop may lead directly to the sidewalk or may be side-loaded.



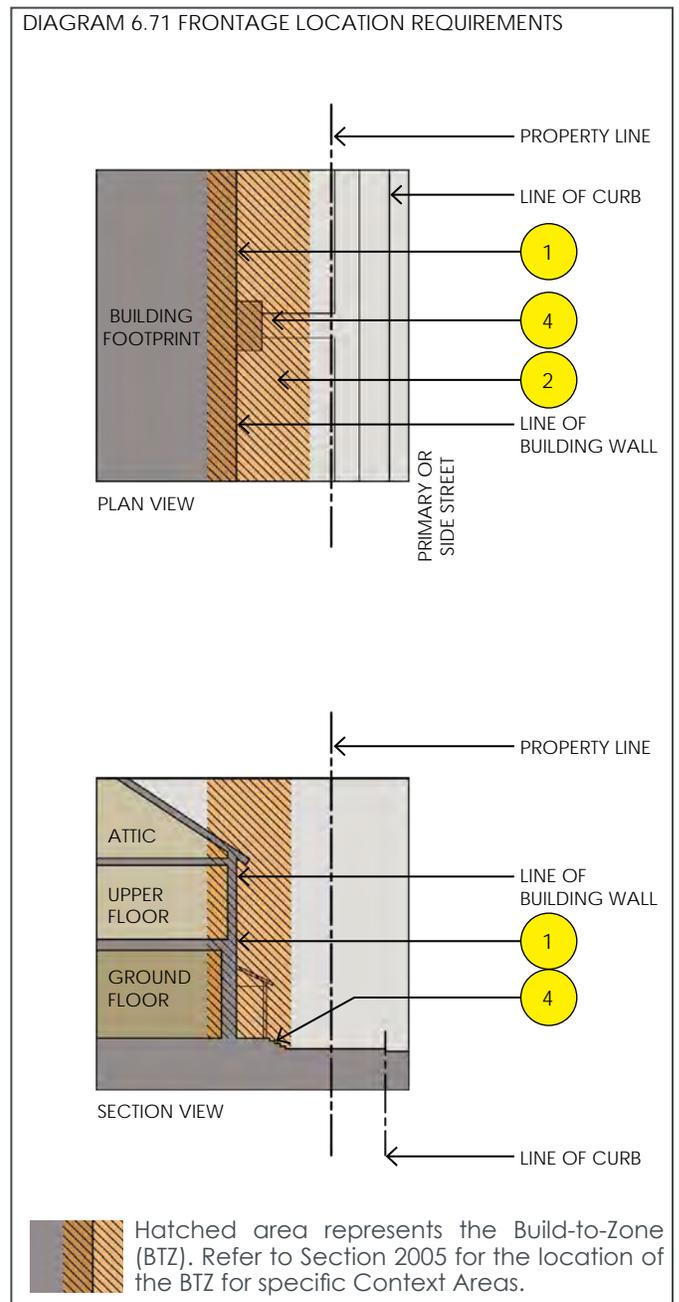
IMAGE 6.55 SMALL MULTI-PLEX BUILDING WITH STOOP FRONTAGE

STOOP LOCATION REQUIREMENTS

Stoop frontage shall be located per the following requirements and Diagram 6.71.

1. The building wall(s) are required to be placed within a Build-to-Zone as required by the building site placement requirements in the Context Area section. Refer to Section 2005.
2. The ground area between the primary and side street property lines and the building walls shall be landscaped. A sidewalk connecting the entry door to the public sidewalk is required. Sidewalk connecting entry door and public sidewalk shall have a minimum width of five (5) feet.
3. Balconies, awnings, canopies, cornices, upper bays, and projecting signs may extend into the public right-of-way per the encroachment requirements in the Context Area section. Refer to Section 2005.
4. Stoops, wells, and / or steps may extend into required setbacks per the requirements of the encroachment section in Section 2005.

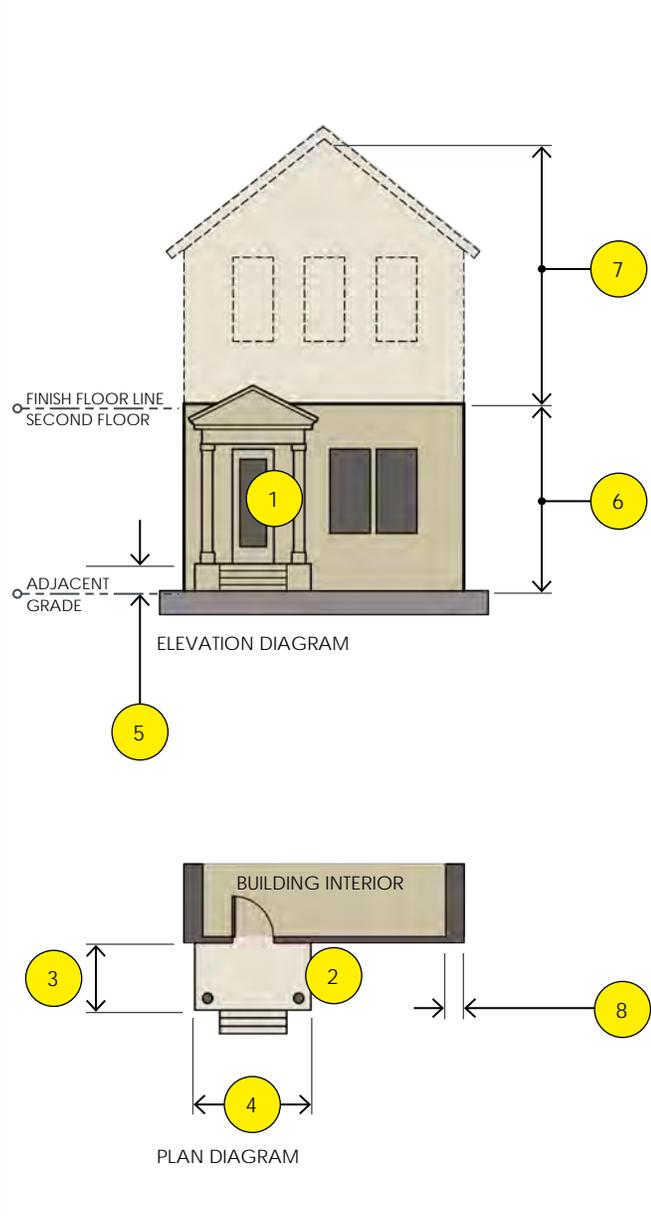
DIAGRAM 6.71 FRONTAGE LOCATION REQUIREMENTS



2006.15 SMALL MULTI-PLEX BUILDING TYPE FRONTAGE OPTIONS

J. BUILDING TYPE FRONTAGE OPTION 1: STOOP (continued)

DIAGRAM 6.72 FRONTAGE COMPOSITION REQUIREMENTS

**STOOP COMPOSITION REQUIREMENTS**

Dooryard frontage composition shall meet the following requirements and Diagram 6.72.

1. Entry door(s) shall have 25% minimum transparency.
2. Entry door(s) are required to be elevated above adjacent grade. Elevated entry doors shall have one of the following treatments:
 - a. Covered with a supported roof (as depicted in the graphic). Roof shall be supported with columns.
 - b. Covered with a canopy. Canopy shall be cantilevered or supported by brackets or cables.
3. Depth of stoop landing shall be 4 feet minimum.
4. Width of stoop landing shall be 5 feet minimum.
5. Stoop shall be 12" minimum above adjacent grade.
6. Transparency Ground Floor: Stoop frontage shall have minimum 12% of the façade be glass between the adjacent grade and the finish floor line of the second story. Entry door transparency shall not be included as part of the required transparency calculation.
7. Transparency Upper Stories: Refer to Building Type for transparency requirements of upper floors.
8. Required 16" to 36" wide pilaster or wall surface spaced as indicated by Building Type.

2006.15 SMALL MULTI-PLEX BUILDING TYPE FRONTAGE OPTIONS

K. BUILDING TYPE FRONTAGE OPTION 2: PROJECTING PORCH

DESCRIPTION

In a Projecting Porch Frontage Type, the facade of the building that faces the front and / or side streets is setback a medium distance from the front and side streets, typically within a build-to-zone. The resulting yard is typically small and can be defined by a fence or hedge to spatially maintain the street edge. The projecting porch is open on three sides and all habitable space of the building is located behind the rear edge of the porch. The porch is elevated above the sidewalk. Steps from the porch may be on the front or side of the porch and shall lead directly to the sidewalk.



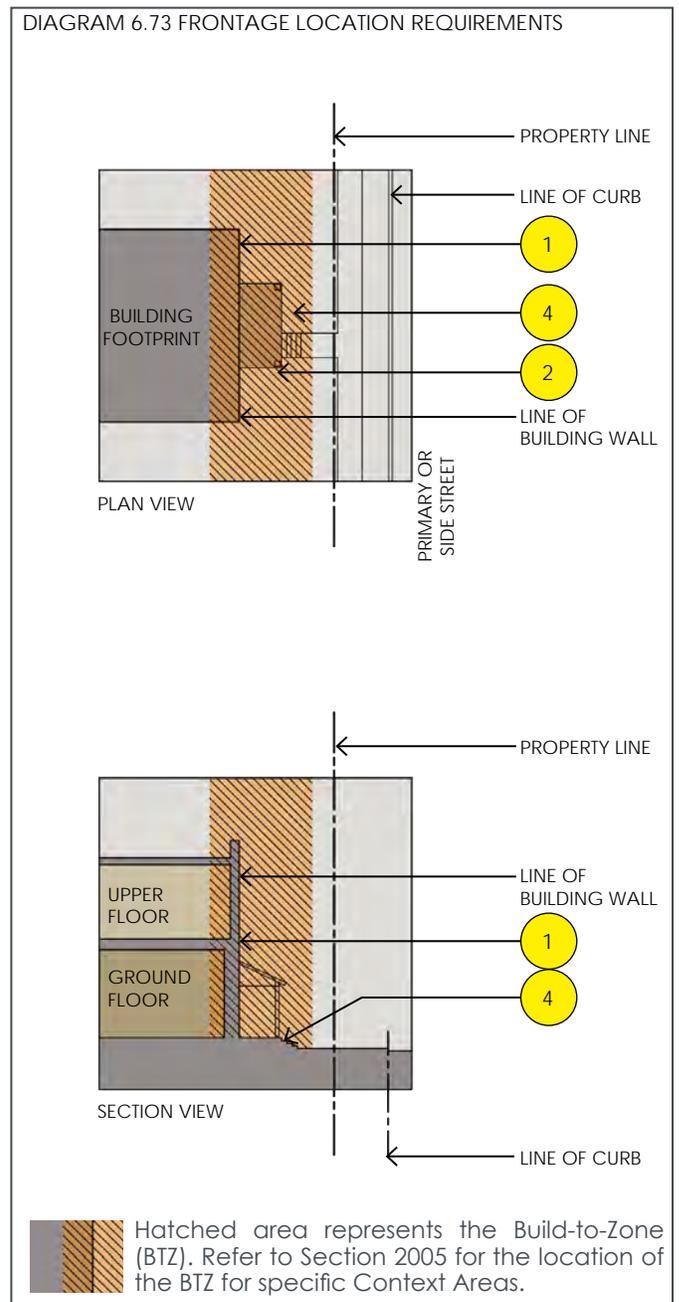
IMAGE 6.56 SMALL MULTI-PLEX WITH PROJECTING PORCH FRONTAGE

PROJECTING PORCH LOCATION REQUIREMENTS

Projecting porch frontage shall be located per the following requirements and Diagram 6.73.

1. The building wall(s) are required to be placed within a Build-to-Zone as required by the building site placement requirements in the Context Area section. Refer to Section 2005.
2. The ground area between the primary and side street property lines and the building walls shall landscaped. A sidewalk connecting the entry door to the public sidewalk is required. Sidewalk connecting entry door and public sidewalk shall have a minimum width of five (5) feet.
3. Balconies, awnings, canopies, cornices, upper bays, and projecting signs may extend into the public right-of-way per the encroachment requirements in the Context Area section. Refer to Section 2005.
4. Stoops, wells, and / or steps may extend into required setbacks per the requirements of the encroachment section in Section 2005.

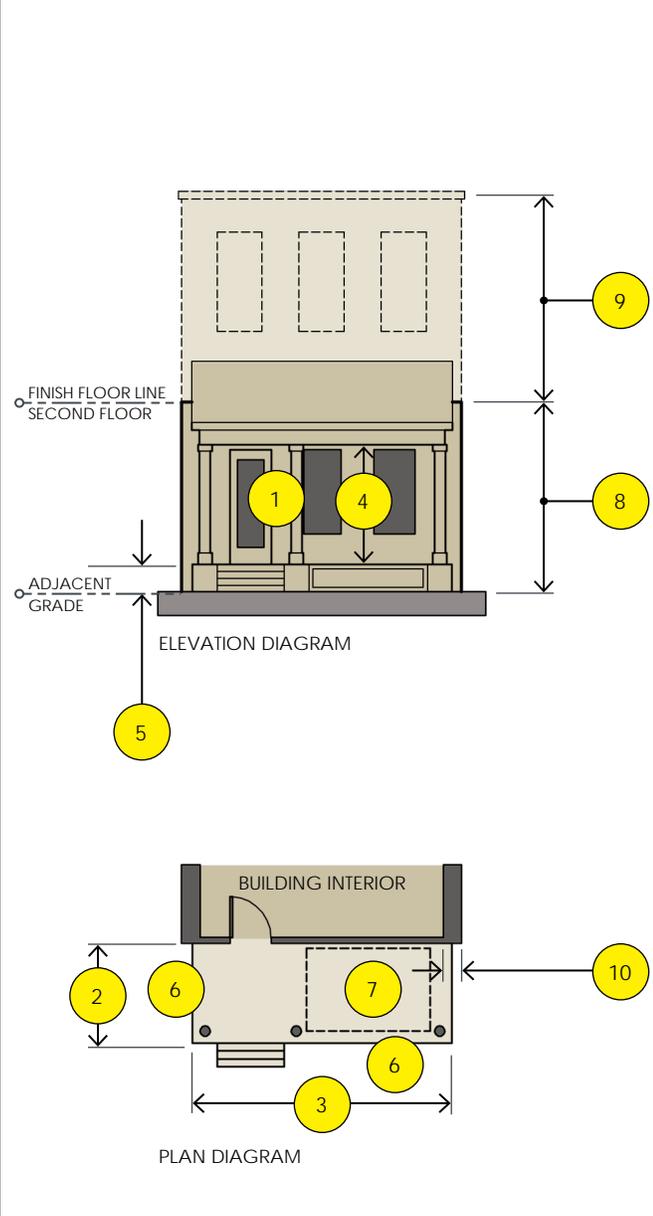
DIAGRAM 6.73 FRONTAGE LOCATION REQUIREMENTS



2006.15 SMALL MULTI-PLEX BUILDING TYPE FRONTAGE OPTIONS

K. BUILDING TYPE FRONTAGE OPTION 2: PROJECTING PORCH (continued)

DIAGRAM 6.74 FRONTAGE COMPOSITION REQUIREMENTS

**PROJECTING PORCH COMPOSITION REQUIREMENTS**

Projecting porch frontage composition shall meet the following requirements and Diagram 6.74.

1. Entry door(s) shall have 25% minimum transparency.
2. Depth of porch shall be 6 feet minimum.
3. Width of porch shall be 8 feet minimum.
4. Height of porch ceiling, measured from porch floor shall be 8 feet minimum.
5. Porch shall be 18" minimum above adjacent grade.
6. Projecting porches shall be open on three sides (no walls on three sides).
7. Furniture area shall be 4 feet x 6 feet minimum clear area.
8. Transparency Ground Floor: Projecting porch frontage shall have minimum 12% of the façade be glass between the adjacent grade and the finish floor line of the second story. Entry door transparency shall not be included as part of the required transparency calculation.
9. Transparency Upper Floors: Refer to Building Type for transparency requirements of upper floors.
10. Required 16" to 36" wide pilaster or wall surface spaced as indicated by Building Type.

2006.15 SMALL MULTI-PLEX BUILDING TYPE FRONTAGE OPTIONS

L. BUILDING TYPE FRONTAGE OPTION 3: ENGAGED PORCH

DESCRIPTION

In an Engaged Porch Frontage Type, the facade of the building that faces the front and / or side streets is setback a medium distance from the front and side streets, typically within a build-to-zone. The resulting yard is typically small and can be defined by a fence or hedge to spatially maintain the street edge. The engaged porch has two adjacent sides of the porch that are engaged to the building (connected to and enclosed by building walls) while the other two sides are open. Steps from the porch may be on the front or side of the porch and shall lead directly to the sidewalk.



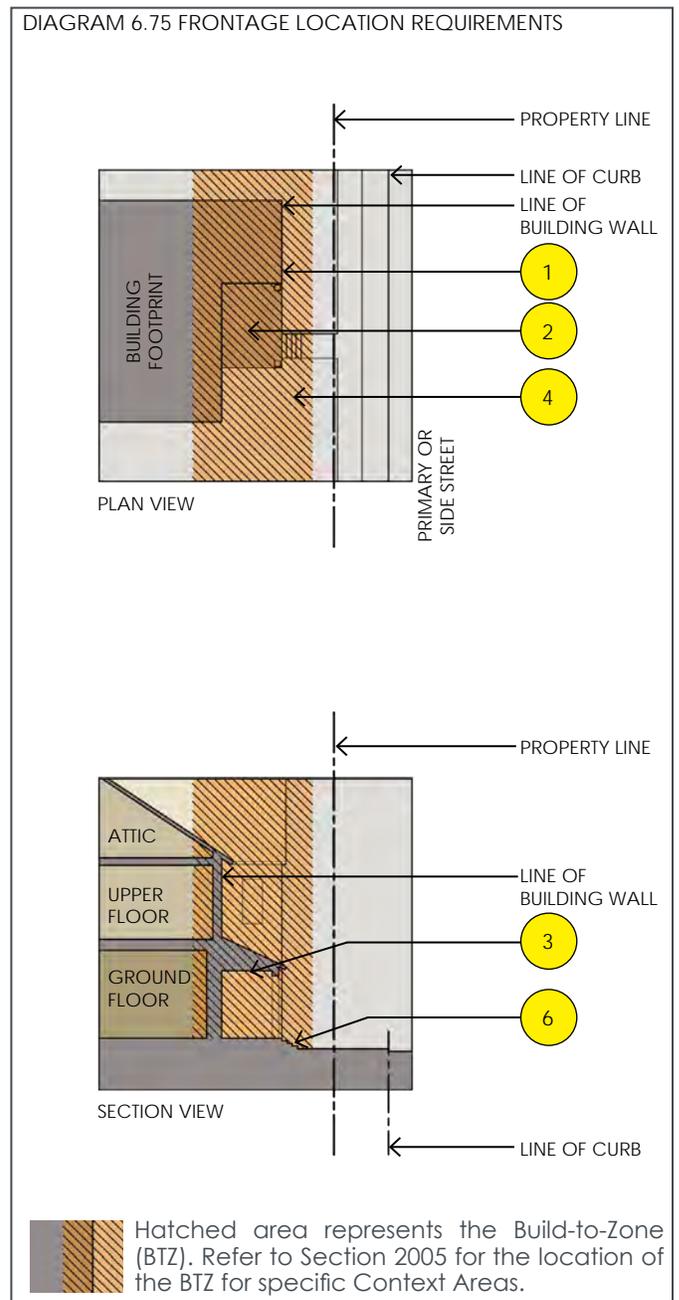
IMAGE 6.57 SMALL MULTI-PLEX WITH ENGAGED PORCH FRONTAGE

ENGAGED PORCH LOCATION REQUIREMENTS

Projecting porch frontage shall be located per the following requirements and Diagram 6.75.

1. The building wall(s) are required to be placed within a Build-to-Zone as required by the building site placement requirements in the Context Area section. Refer to Section 2005.
2. Engaged porch shall be located within the Build-to-Zone as required by the building site placement requirements in the Context Area section. Refer to Section 2005.
3. Engaged porch is required to be placed within the building mass with two sides connected and enclosed by the building walls.
4. The ground area between the primary and side street property lines and the building façade shall landscaped. A sidewalk connecting the entry door to the public sidewalk is required. Sidewalk connecting entry door and public sidewalk shall have a minimum width of five (5) feet.
5. Balconies, awnings, canopies, cornices, upper bays, and projecting signs may extend into the public right-of-way per the encroachment requirements in the Context Area section. Refer to Section 2005.
6. Stoops, wells, and / or steps may extend into required setbacks per the requirements of the encroachment section in Section 2005.

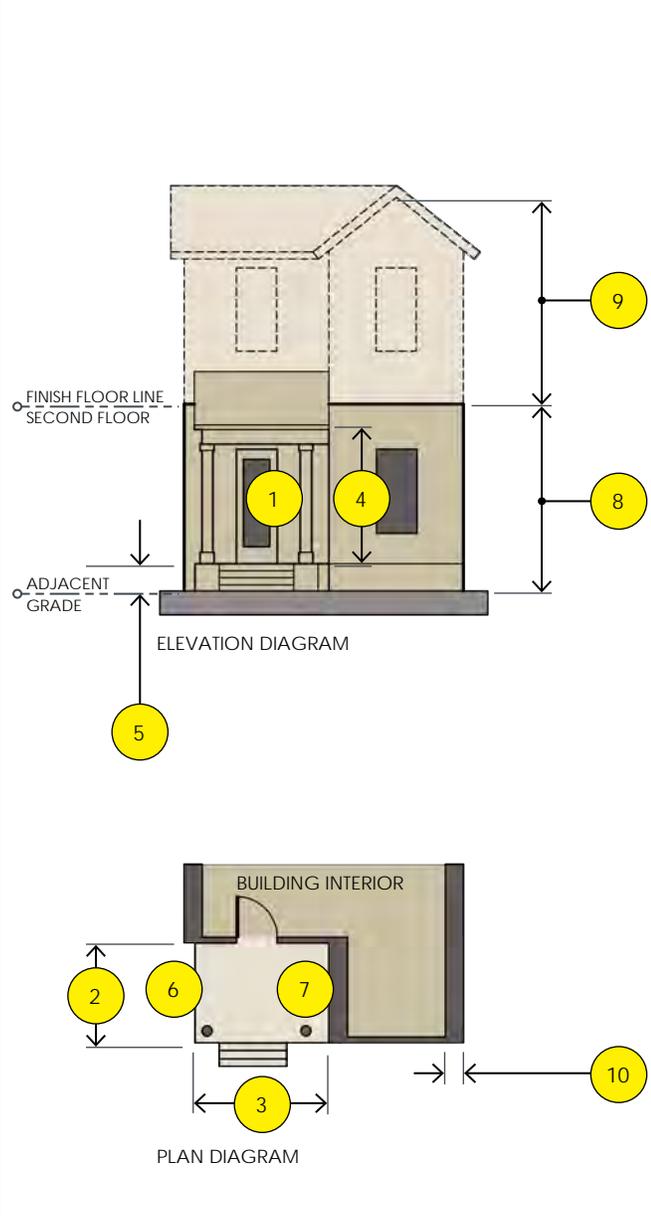
DIAGRAM 6.75 FRONTAGE LOCATION REQUIREMENTS



2006.15 SMALL MULTI-PLEX BUILDING TYPE FRONTAGE OPTIONS

L. BUILDING TYPE FRONTAGE OPTION 2: ENGAGED PORCH (continued)

DIAGRAM 6.76 FRONTAGE COMPOSITION REQUIREMENTS

**ENGAGED PORCH COMPOSITION REQUIREMENTS**

Projecting porch frontage composition shall meet the following requirements and Diagram 6.76.

1. Entry door(s) shall have 25% minimum transparency.
2. Depth of porch shall be 6 feet minimum.
3. Width of porch shall be 8 feet minimum.
4. Height of porch ceiling, measured from porch floor shall be 8 feet minimum.
5. Porch shall be 18" minimum above adjacent grade.
6. Engaged porches shall be open on two sides (no walls on two sides).
7. Engaged porches shall be located within the building mass with two sides attached and enclosed by the building.
8. Transparency Ground Floor: Engaged porch frontage shall have minimum 12% of the façade be glass between the adjacent grade and the finish floor line of the second story. Entry door transparency shall not be included as part of the required transparency calculation.
9. Transparency Upper Floors: Refer to Building Type for transparency requirements of upper floors.
10. Required 16" to 36" wide pilaster or wall surface spaced as indicated by Building Type.

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2006.16 ROWHOUSE BUILDING TYPE

A. BUILDING TYPE DESCRIPTION

The ROWHOUSE BUILDING TYPE is a small- to medium-sized attached structure that consists of 2 to 8 rowhouses placed side-by-side. This Type is typically located within medium-density neighborhoods or in a location that transitions from single-family to mixed-use. This Type enables well-designed higher densities. It is an essential Building Type for providing a broad choice of housing types and promoting walkability.



B. PRECEDENT OF ROWHOUSE BUILDING TYPE

The following images represent precedent examples of the Rowhouse Building Type. They are intended as examples only and should be used for inspiration in the creation of this Building Type for projects within the Traverse City Form-Based Code area.



IMAGE 6.58 ROWHOUSE WITH STOOP FRONTAGE



IMAGE 6.59 ROWHOUSE WITH PORCH FRONTAGE



IMAGE 6.60 ROWHOUSE WITH LIGHTWELL FRONTAGE

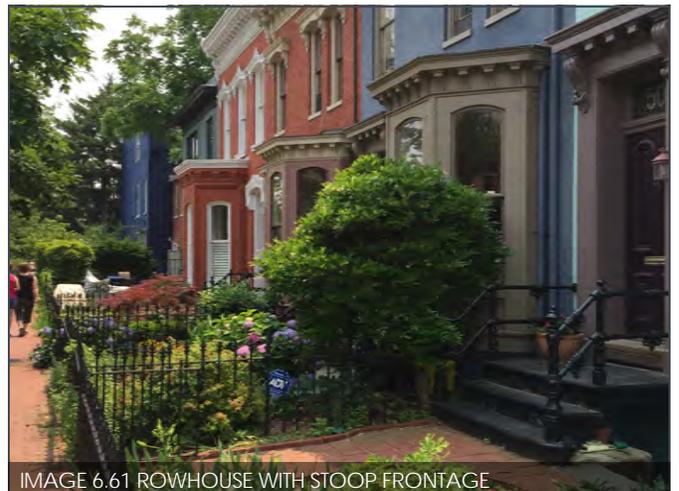


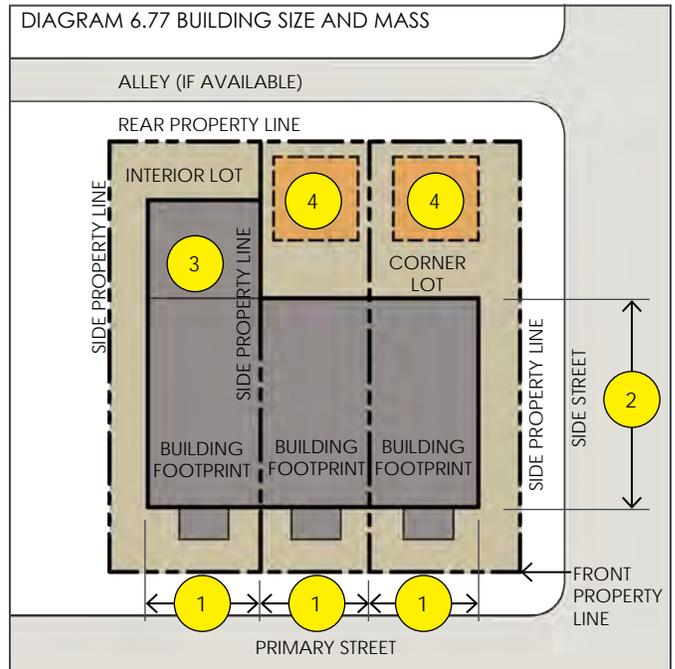
IMAGE 6.61 ROWHOUSE WITH STOOP FRONTAGE

2006.16 ROWHOUSE BUILDING TYPE

C. BUILDING SIZE AND MASSING

Building Type size and massing shall meet the following requirements and Diagram 6.77.

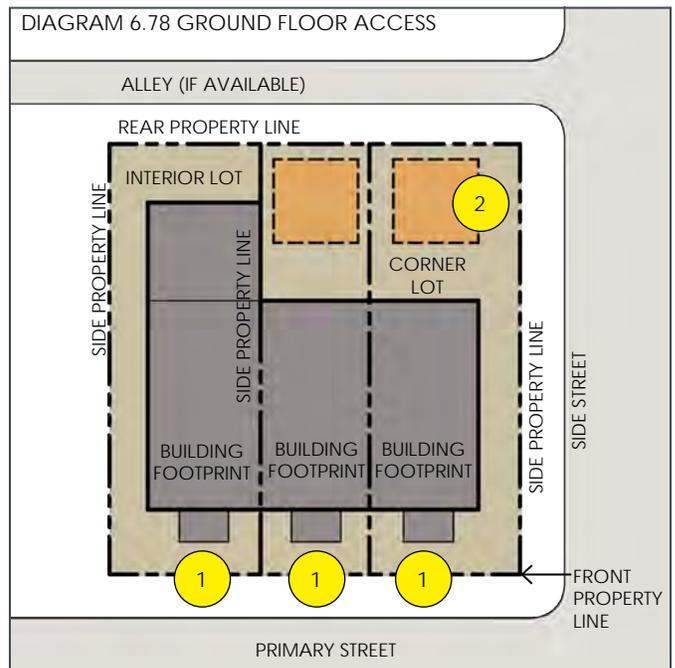
1. Building width at primary street: 18 feet minimum and 36 feet maximum.
2. Building depth: 20 feet minimum.
3. Building may have an attached garage located in the rear of the building and accessed from an alley or side street. Attached garage is not permitted if a Carriage House is included on the parcel.
4. Building may have a Carriage House in lieu of an attached garage. Refer to Carriage House Building Type in Section 2006.19 for requirements.
5. Rowhouses per run of attached units: 2 minimum, 8 maximum.
6. Maximum site coverage: 80% including garage or Carriage House.



D. GROUND FLOOR PEDESTRIAN ACCESS AND ACTIVATION

Building Type ground floor entrances shall meet the following requirements and Diagram 6.78.

1. Entrances to each unit are required at the primary street and shall be directly accessed from and face the primary street.
2. Carriage House entrances shall be as required by the Carriage House Building Type in Section 2006.19.



E. NUMBER OF UNITS

Number of units per Building Type:

1. Total of 2 units minimum and 8 units maximum per building.
2. An additional unit is permitted if Carriage House Building Type is used in conjunction with the Rowhouse Building.

F. USE

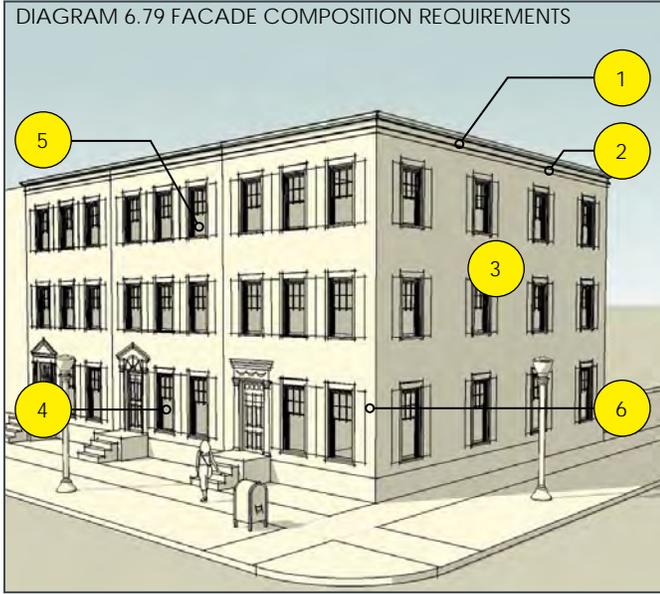
Building Type use:

1. Uses are regulated by Context Area. Refer to Section 2005 for permitted uses in each Context Area.

2006.16 ROWHOUSE BUILDING TYPE

G. FACADE COMPOSITION REQUIREMENTS

DIAGRAM 6.79 FACADE COMPOSITION REQUIREMENTS

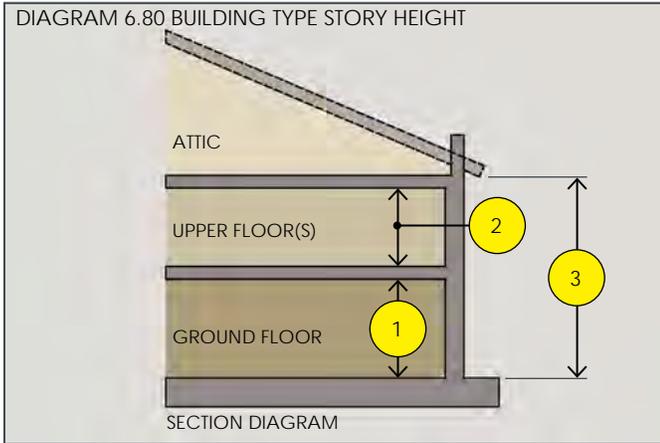


Building Type facade composition shall meet the following requirements and Diagram 6.79.

1. Building may have a flat roof with parapet or a pitched (sloped) roof.
2. Buildings with flat roof shall have a cornice expression line at roofline.
3. Transparency Upper Floors: Building facades facing streets shall have minimum 12% of the façade be glass between the finish floor line of the second story and bottom of cornice expression line or bottom of eave.
4. Transparency Ground Floor: Refer to Building Frontage options for transparency requirements at the ground floor.
5. Upper windows shall be square or vertically proportioned with clear glass. Refer to definitions in Section 2009 for clear glass requirements.
6. Building shall have an 16" to 24" pilaster or wall surface every 18 to 36 feet along building facades facing streets. Pilasters shall extend vertically from grade to cornice expression line.

H. BUILDING TYPE FLOOR HEIGHT REQUIREMENTS

DIAGRAM 6.80 BUILDING TYPE STORY HEIGHT



Building Type floor heights shall meet the following requirements and Diagram 6.80.

1. Ground floor: Floor to ceiling height shall be 10 feet minimum.
2. Upper floors: Floor to ceiling height shall as required by Context Area.
3. Overall height of Building Type is regulated by Context Area, refer to Section 2005.

I. BUILDING TYPE FRONTAGE OPTIONS

Each Rowhouse Building Type is required to have at least 1 of the following frontage configurations applied to the ground level floor where it abuts front and side streets, civic space, and / or public rights-of-way.

Combination of Frontages: For Rowhouse Building Types, more than one frontage may be used on the same building at both primary and side streets.

Frontage options for the Rowhouse Building Type are provided in the table below and described on the following pages of this sub-section.

ROWHOUSE BUILDING TYPE	BUILDING TYPE FRONTAGE OPTION	CONTEXT AREAS			
		DE DOWNTOWN EDGE	MS MAINSTREET	GW GATEWAY	NE NEIGHBORHOOD EDGE
	with LIGHTWELL (2006.16.J)		By Right		
	with STOOP (2006.16.K)		By Right		By Right
	with PROJECTING PORCH (2006.16.L)		By Right		By Right

Shaded areas represent Context Areas where Building Type with frontage option is not permitted.

2006.16 ROWHOUSE BUILDING TYPE FRONTAGE OPTIONS

J. BUILDING TYPE FRONTAGE OPTION 1: LIGHTWELL

DESCRIPTION

In a Lightwell Frontage Type, the facade of the building that faces the primary and / or side streets is setback a small distance from the primary and side streets, typically within a build-to-zone. This frontage has a combined elevated terrace and sunken lightwell between the building wall and property line. This frontage type buffers residential, retail, and service uses from urban sidewalks and removes the private yard from public encroachment.



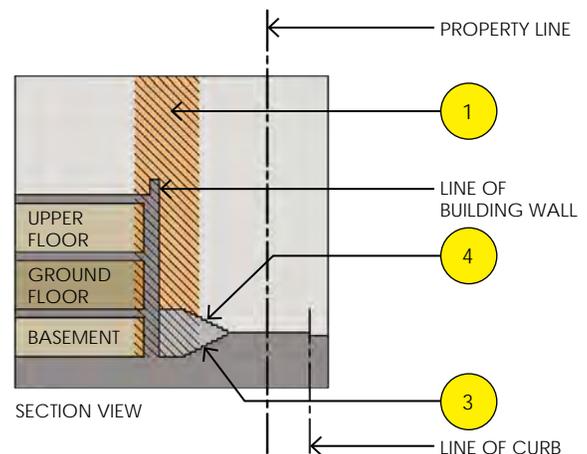
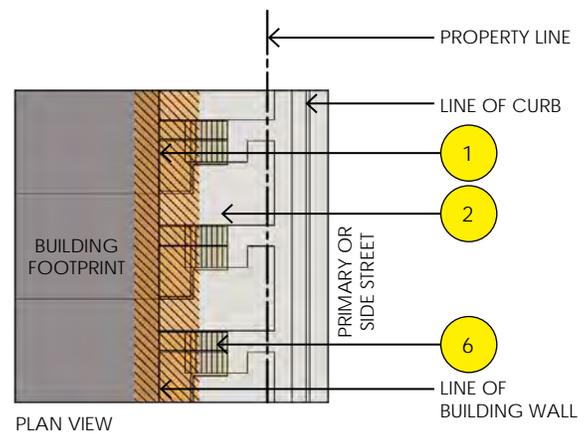
IMAGE 6.62 ROWHOUSE BUILDING WITH LIGHTWELL FRONTAGE

LIGHTWELL LOCATION REQUIREMENTS

Lightwell frontage shall be located per the following requirements and Diagram 6.81.

1. The building wall(s) are required to be placed within a build-to-zone as required by the building site placement requirements in the Context Area section. Refer to Section 2005.
2. The ground area between the primary and side street property lines and the building walls shall have one of the following treatments depending on distance from the property line.
 - a. Distance between building walls and property line is zero (0) to ten (10) feet: Ground area shall be paved to match public sidewalk.
 - b. Distance between building walls and property line is greater than ten (10) feet: Ground area shall be landscaped. A sidewalk connecting the entry door to the public sidewalk is required. Sidewalk connecting entry door and public sidewalk shall have a minimum width of five (5) feet.
3. Required exterior stair from adjacent sidewalk grade down to sunken lightwell.
4. Required exterior stair from adjacent sidewalk grade to elevated terrace.
5. Balconies, awnings, canopies, cornices, upper bays, and projecting signs may extend into the public right-of-way per the encroachment requirements in the Context Area section. Refer to Section 2005.
6. Stoops, wells, and / or steps may extend into required setbacks per the requirements of the encroachment section in Section 2005.

DIAGRAM 6.81 FRONTAGE LOCATION REQUIREMENTS

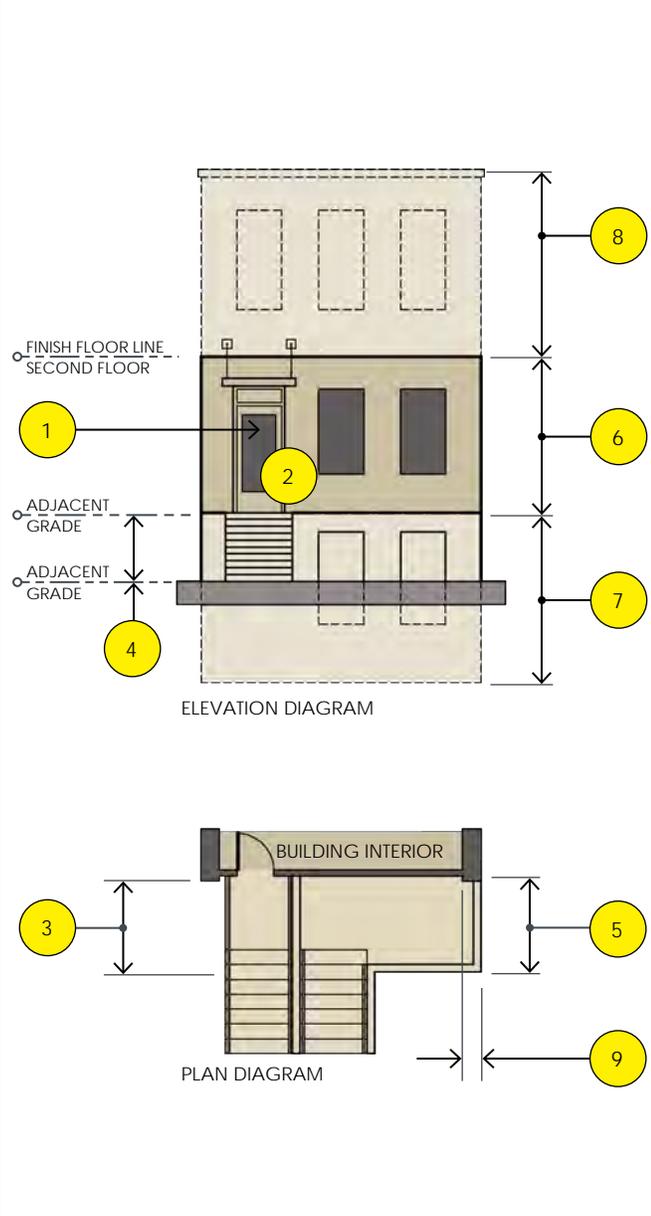


 Hatched area represents the Build-to-Zone (BTZ). Refer to Section 2005 for the location of the BTZ for specific Context Areas.

2006.16 ROWHOUSE BUILDING TYPE FRONTAGE OPTIONS

J. BUILDING TYPE FRONTAGE OPTION 1: LIGHTWELL (continued)

DIAGRAM 6.82 FRONTAGE COMPOSITION REQUIREMENTS

**LIGHTWELL COMPOSITION REQUIREMENTS**

Lightwell frontage composition shall meet the following requirements and Diagram 6.82.

- Entry door(s) shall have 25% minimum transparency.
- Entry door(s) are required to be elevated. Elevated entry doors shall have one of the following treatments:
 - Covered with a canopy. Canopy shall be cantilevered or supported by brackets or cables. (As depicted in the graphic).
 - Uncovered (with no canopy or supported roof).
- Depth of required terrace shall be 4 feet minimum and 8 feet maximum.
- Terrace shall be 3 feet minimum above adjacent grade.
- Depth of required lightwell shall be 6 feet minimum and 10 feet maximum.
- Transparency Ground Floor: Lightwell frontage shall have minimum 12% of the façade be glass between the finish floor line of the first story and the finish floor line of the second story. Entry door transparency shall not be included as part of the required transparency calculation.
- Transparency Lightwell: Lightwell: A partial storefront window and entry door is required at the lightwell level (basement). Storefront shall have minimum 12% of the building wall be glass. Door is not required to have transparency. Door is required to have 25% transparency and shall not be included as part of the transparency calculation.
- Transparency Upper Stories: Refer to Building Type for transparency requirements of upper floors.
- Required 16" to 24" wide pilaster or wall surface spaced as indicated by Building Type.

2006.16 ROWHOUSE BUILDING TYPE FRONTAGE OPTIONS

K. BUILDING TYPE FRONTAGE OPTION 2: STOOP

DESCRIPTION

In a Stoop Frontage Type, the facade of the building that faces the front and / or side streets is setback a small distance from the front and side streets, typically within a build-to-zone. The stoop is elevated above the sidewalk. Steps or a ramp from the stoop may lead directly to the sidewalk or may be side-loaded.



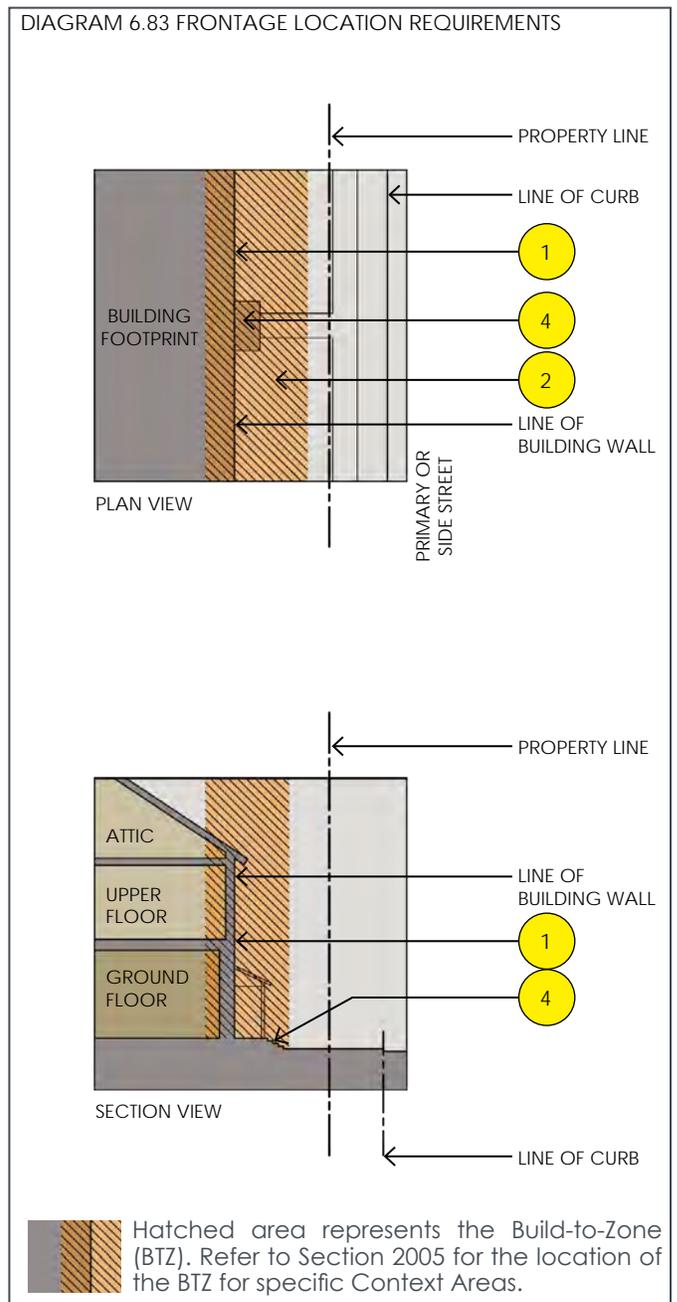
IMAGE 6.63 ROWHOUSE BUILDING WITH STOOP FRONTAGE

STOOP LOCATION REQUIREMENTS

Stoop frontage shall be located per the following requirements and Diagram 6.83.

1. The building wall(s) are required to be placed within a Build-to-Zone as required by the building site placement requirements in the Context Area section. Refer to Section 2005.
2. The ground area between the primary and side street property lines and the building walls shall be landscaped. A sidewalk connecting the entry door to the public sidewalk is required. Sidewalk connecting entry door and public sidewalk shall have a minimum width of five (5) feet.
3. Balconies, awnings, canopies, cornices, upper bays, and projecting signs may extend into the public right-of-way per the encroachment requirements in the Context Area section. Refer to Section 2005.
4. Stoops, wells, and / or steps may extend into required setbacks per the requirements of the encroachment section in Section 2005.

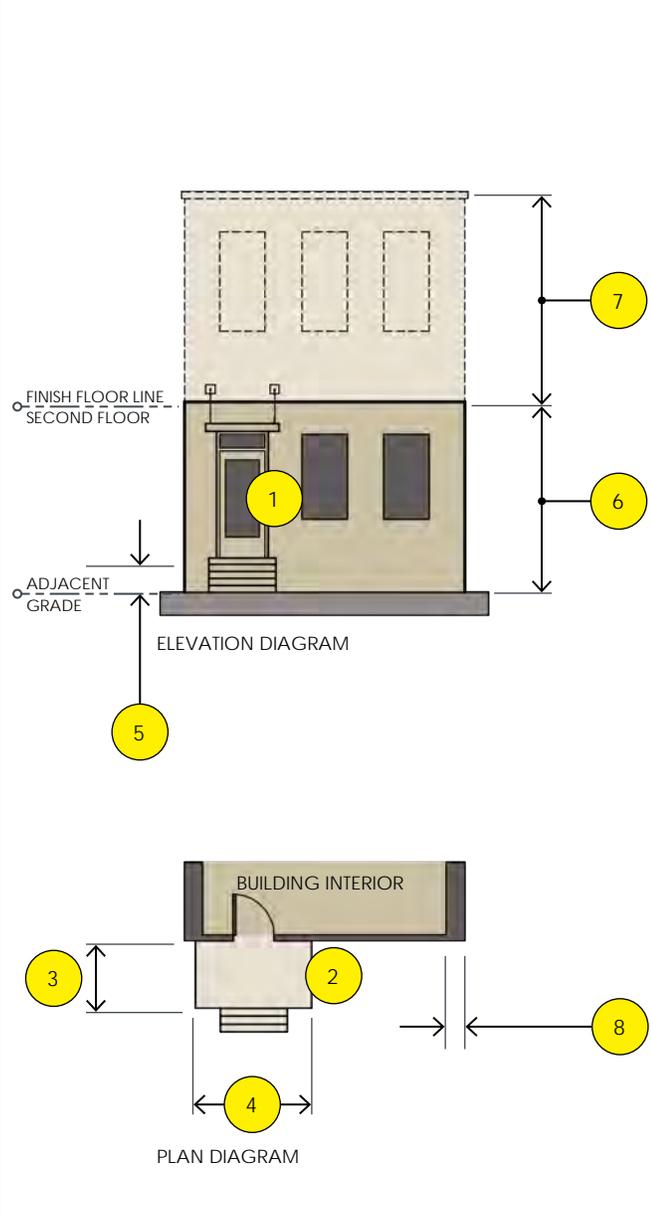
DIAGRAM 6.83 FRONTAGE LOCATION REQUIREMENTS



2006.16 ROWHOUSE BUILDING TYPE FRONTAGE OPTIONS

K. BUILDING TYPE FRONTAGE OPTION 2: STOOP (continued)

DIAGRAM 6.84 FRONTAGE COMPOSITION REQUIREMENTS

**STOOP COMPOSITION REQUIREMENTS**

Dooryard frontage composition shall meet the following requirements and Diagram 6.84.

1. Entry door(s) shall have 25% minimum transparency.
2. Entry door(s) are required to be elevated above adjacent grade. Elevated entry doors shall have one of the following treatments:
 - a. Covered with a supported roof. Roof shall be supported with columns.
 - b. Covered with a canopy (as depicted in the graphic). Canopy shall be cantilevered or supported by brackets or cables.
3. Depth of stoop landing shall be 4 feet minimum.
4. Width of stoop landing shall be 5 feet minimum.
5. Stoop shall be 12" minimum above adjacent grade.
6. Transparency Ground Floor: Stoop frontage shall have minimum 12% of the façade be glass between the adjacent grade and the finish floor line of the second story. Entry door transparency shall not be included as part of the required transparency calculation.
7. Transparency Upper Floors: Refer to Building Type for transparency requirements of upper floors.
8. Required 16" to 24" wide pilaster or wall surface spaced as indicated by Building Type.

2006.16 ROWHOUSE BUILDING TYPE FRONTAGE OPTIONS

L. BUILDING TYPE FRONTAGE OPTION 3: PROJECTING PORCH

DESCRIPTION

In a Projecting Porch Frontage Type, the facade of the building that faces the front and / or side streets is setback a medium distance from the front and side streets, typically within a build-to-zone. The resulting yard is typically small and can be defined by a fence or hedge to spatially maintain the street edge. The projecting porch is open on three sides and all habitable space of the building is located behind the rear edge of the porch. The porch is elevated above the sidewalk. Steps from the porch may be on the front or side of the porch and shall lead directly to the sidewalk.



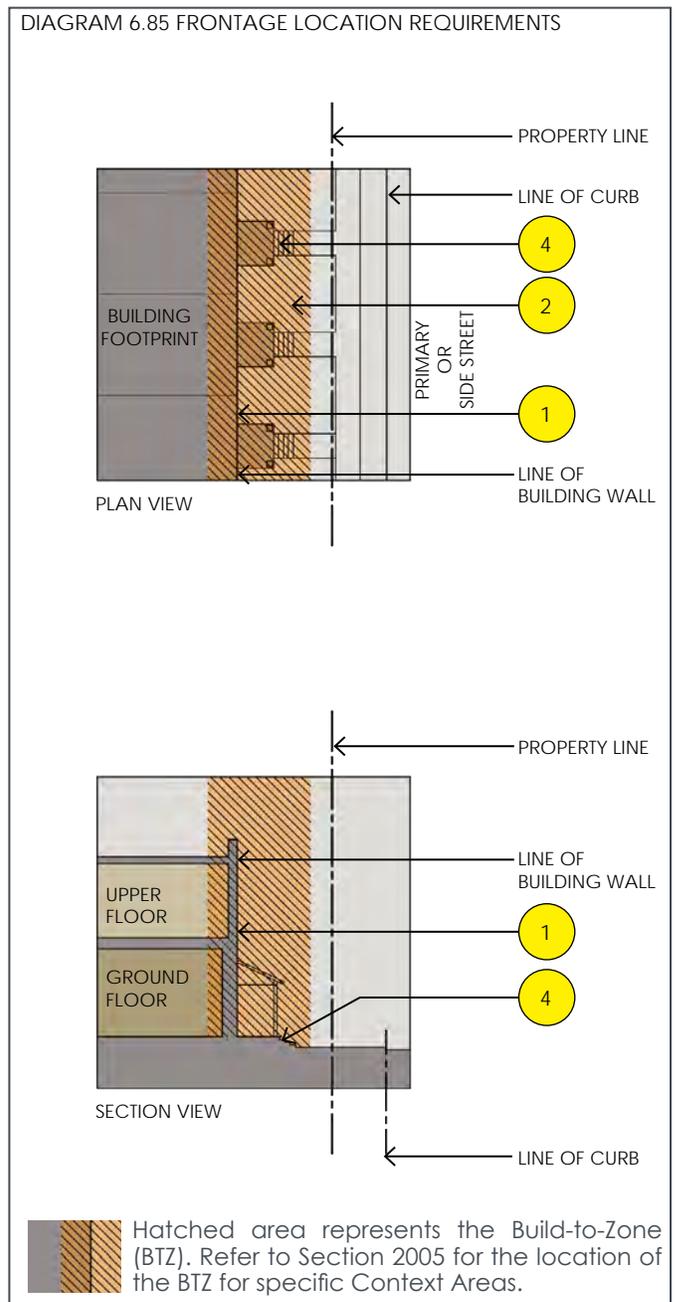
IMAGE 6.64 ROWHOUSE WITH PROJECTING PORCH FRONTAGE

PROJECTING PORCH LOCATION REQUIREMENTS

Projecting porch frontage shall be located per the following requirements and Diagram 6.85.

1. The building wall(s) are required to be placed within a Build-to-Zone as required by the building site placement requirements in the Context Area section. Refer to Section 2005.
2. The ground area between the primary and side street property lines and the building walls shall be landscaped. A sidewalk connecting the entry door to the public sidewalk is required. Sidewalk connecting entry door and public sidewalk shall have a minimum width of five (5) feet.
3. Balconies, awnings, canopies, cornices, upper bays, and projecting signs may extend into the public right-of-way per the encroachment requirements in the Context Area section. Refer to Section 2005.
4. Stoops, wells, and / or steps may extend into required setbacks per the requirements of the encroachment section in Section 2005.

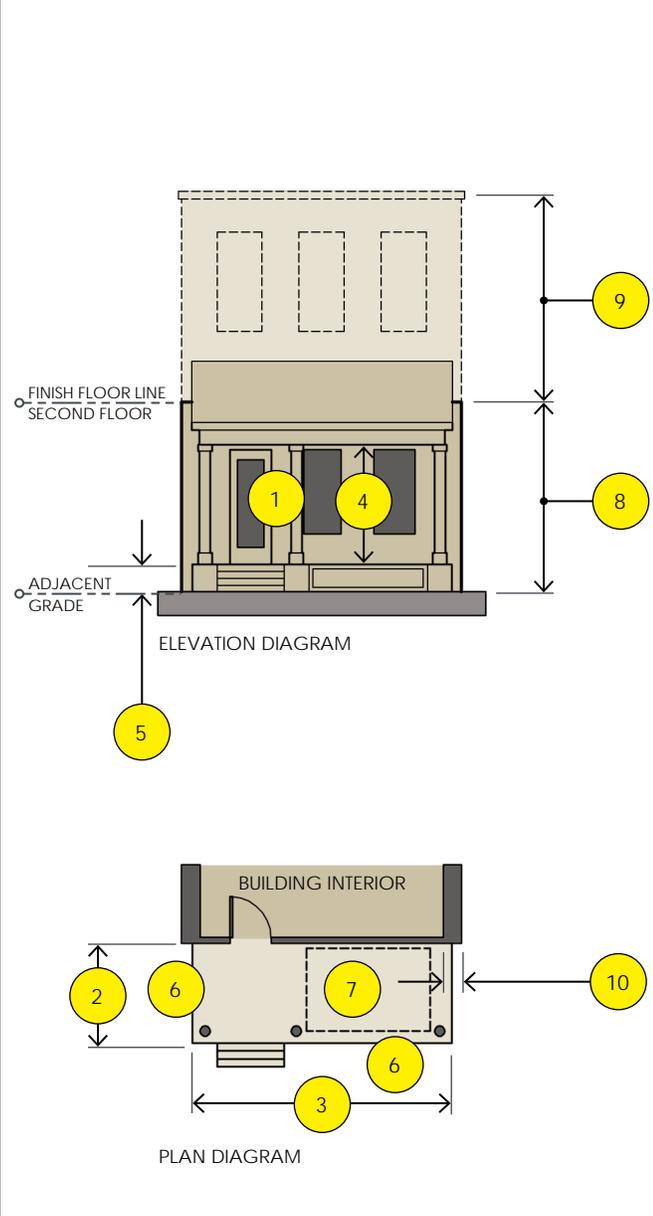
DIAGRAM 6.85 FRONTAGE LOCATION REQUIREMENTS



2006.16 ROWHOUSE BUILDING TYPE FRONTAGE OPTIONS

L. BUILDING TYPE FRONTAGE OPTION 3: PROJECTING PORCH (continued)

DIAGRAM 6.86 FRONTAGE COMPOSITION REQUIREMENTS

**PROJECTING PORCH COMPOSITION REQUIREMENTS**

Projecting porch frontage composition shall meet the following requirements and Diagram 6.86.

1. Entry door(s) shall have 25% minimum transparency.
2. Depth of porch shall be 6 feet minimum.
3. Width of porch shall be 8 feet minimum.
4. Height of porch ceiling, measured from porch floor shall be 8 feet minimum.
5. Porch shall be 18" minimum above adjacent grade.
6. Projecting porches shall be open on three sides (no walls on three sides).
7. Furniture area shall be 4 feet x 6 feet minimum clear area.
8. Transparency Ground Floor: Projecting Porch frontage shall have minimum 12% of the façade be glass between the adjacent grade and the finish floor line of the second story. Entry door transparency shall not be included as part of the required transparency calculation.
9. Transparency Upper Floors: Refer to Building Type for transparency requirements of upper floors.
10. Required 16" to 24" wide pilaster or wall surface spaced as indicated by Building Type.

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2006.17 DUPLEX BUILDING TYPE

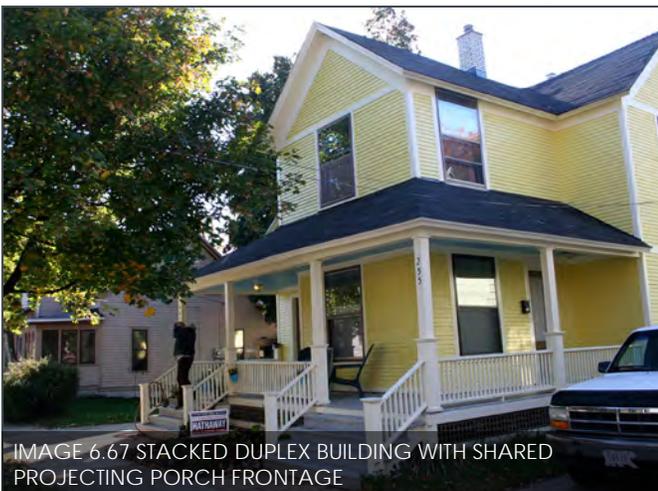
A. BUILDING TYPE DESCRIPTION

The DUPLEX BUILDING TYPE is a small- to medium-sized detached structure that consists of two side-by-side or stacked dwelling units, both facing the street and within a single building massing. This Type has the appearance of a medium-sized single-family house and is appropriately scaled to fit in single family neighborhoods. This Type enables well-designed higher densities. It is an essential Building Type for providing a broad choice of housing types.



B. PRECEDENT OF DUPLEX BUILDING TYPE

The following images represent precedent examples of the Duplex Building Type. They are intended as examples only and should be used for inspiration in the creation of this Building Type for projects within the Traverse City Form-Based Code area.

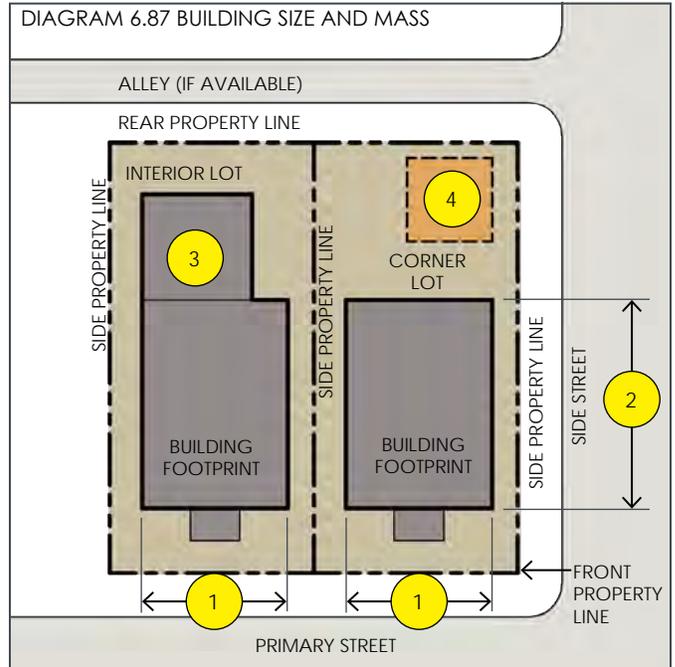


2006.17 DUPLEX BUILDING TYPE

C. BUILDING SIZE AND MASSING

Building Type size and massing shall meet the following requirements and Diagram 6.87.

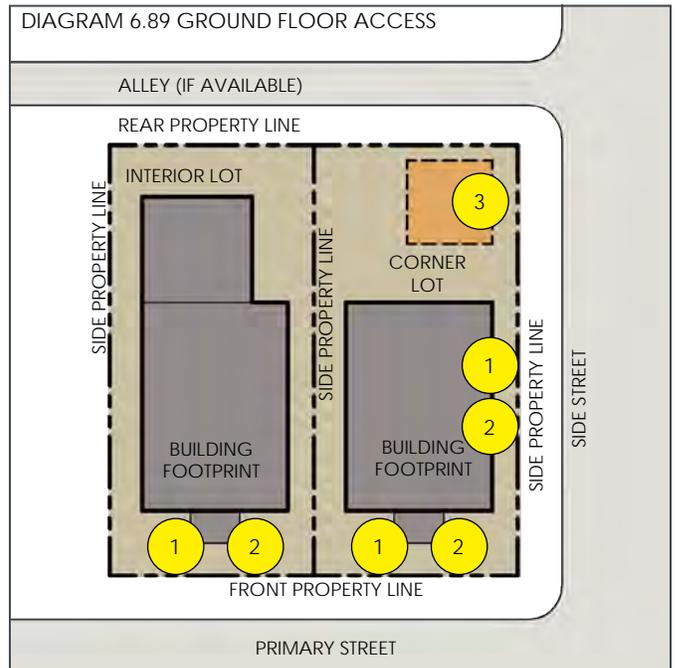
1. Building width at primary street: 48 feet maximum.
2. Building depth: 20 feet minimum.
3. Building may have an attached garage located in the rear of the building and accessed from an alley or side street. Attached garage is not permitted if a Carriage House is included on the parcel.
4. Building may have a Carriage House in lieu of an attached garage. Refer to Carriage House Building Type in Section 2006.19 for requirements.
5. Maximum site coverage: 50% including garage or Carriage House.



D. GROUND FLOOR PEDESTRIAN ACCESS AND ACTIVATION

Building Type ground floor entrances shall meet the following requirements and Diagram 6.88.

1. Entrances to ground floor unit(s) are required to be located at the primary and / or side street and shall be directly accessed from and face the primary and / or side street.
2. Entrances to upper floor unit(s) are required to be located at the primary and / or side street and shall be directly accessed from and face the primary and / or side street.
3. Carriage House entrances shall be as required by the Carriage House Building Type in Section 2006.19.



E. NUMBER OF UNITS

Number of units per Building Type:

1. Total of 2 units per building.
2. An additional unit is permitted if Carriage House Building Type is used in conjunction with the Duplex Building.

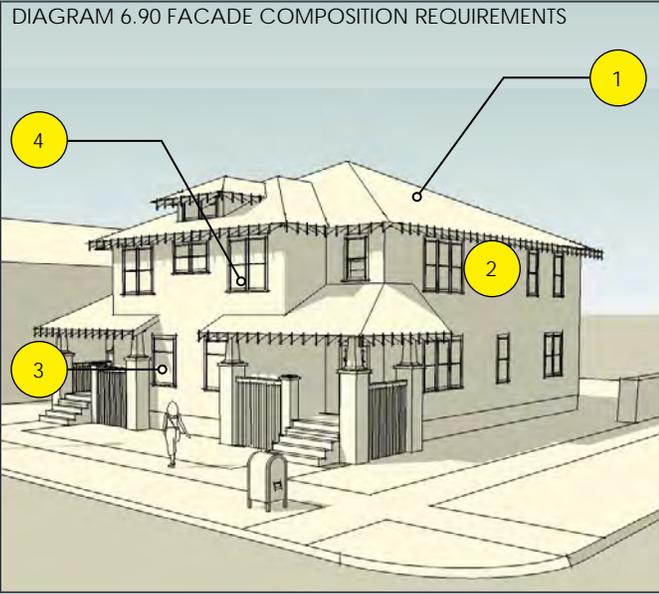
F. USE

Building Type use:

1. Uses are regulated by Context Area. Refer to Section 2005 for permitted uses in each Context Area.

2006.17 DUPLEX BUILDING TYPE

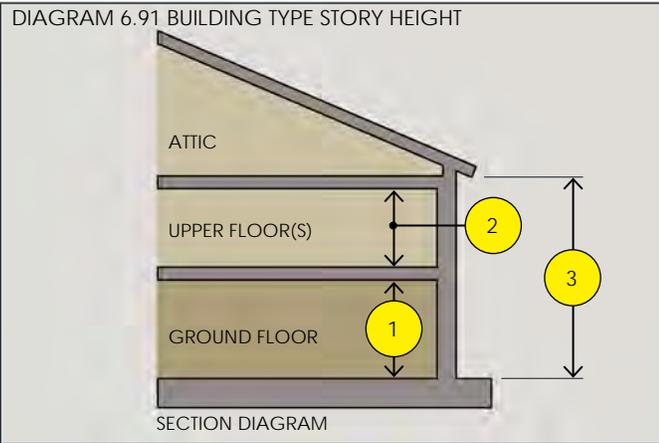
G. FACADE COMPOSITION REQUIREMENTS



Building Type facade composition shall meet the following requirements and Diagram 6.90.

1. Building shall have a pitched (sloped) roof that is compatible to the surrounding residential architecture.
2. Transparency Upper Floor: Building facades facing streets shall have minimum 10% of the façade be glass between the finish floor line of the second story and bottom of eave.
3. Transparency Ground Floor: Refer to Building Frontage options for transparency requirements at the ground floor.
4. Upper windows shall be square or vertically proportioned with clear glass. Refer to definitions in Section 2009 for clear glass requirements.

H. BUILDING TYPE FLOOR HEIGHT REQUIREMENTS



Building Type floor heights shall meet the following requirements and Diagram 6.91.

1. Ground floor: Floor to ceiling height shall be 9 feet minimum.
2. Upper floors: Floor to ceiling height shall as required by Context Area.
3. Overall height of Building Type is regulated by Context Area, refer to Section 2005.

I. BUILDING TYPE FRONTAGE OPTIONS

Each Duplex Building Type is required to have only 1 of the following frontage configurations applied to the ground level floor where it abuts front and side streets, civic space, and / or public rights-of-way.

Frontage options for the Duplex Building Type are provided in the table below and described on the following pages of this sub-section.

DUPLEX BUILDING TYPE	BUILDING TYPE FRONTAGE OPTION	CONTEXT AREAS			
		DE DOWNTOWN EDGE	MS MAINSTREET	GW GATEWAY	NE NEIGHBORHOOD EDGE
	with STOOP (2006.17.J)				By Right
	with PROJECTING PORCH (2006.17.K)				By Right
	with ENGAGED PORCH (2006.17.L)				By Right

Shaded areas represent Context Areas where Building Type with frontage option is not permitted.

2006.17 DUPLEX BUILDING TYPE FRONTAGE OPTIONS

J. BUILDING TYPE FRONTAGE OPTION 1: STOOP

DESCRIPTION

In a Stoop Frontage Type, the facade of the building that faces the front and / or side streets is setback a small distance from the front and side streets, typically within a build-to-zone. The stoop is elevated above the sidewalk. Steps or a ramp from the stoop may lead directly to the sidewalk or may be side-loaded.



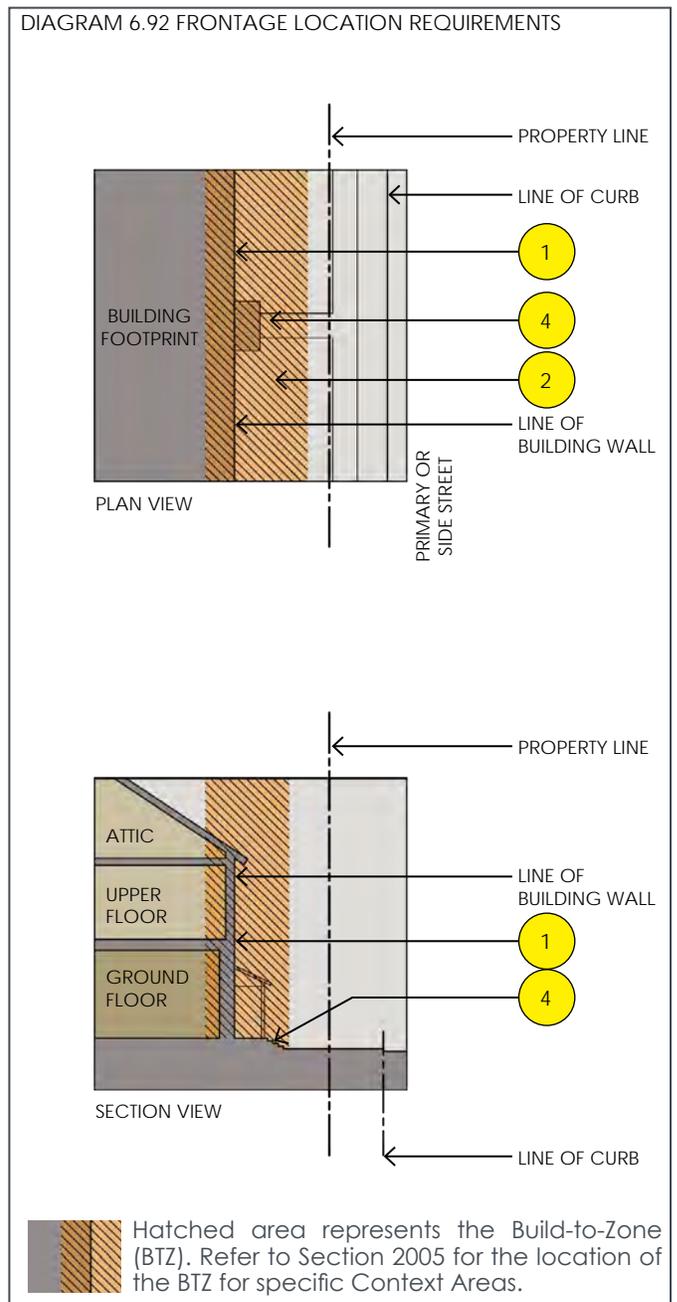
IMAGE 6.69 DUPLEX BUILDING WITH STOOP FRONTAGE

STOOP LOCATION REQUIREMENTS

Stoop frontage shall be located per the following requirements and Diagram 6.92.

1. The building wall(s) are required to be placed within a Build-to-Zone as required by the building site placement requirements in the Context Area section. Refer to Section 2005.
2. The ground area between the primary and side street property lines and the building walls shall be landscaped. A sidewalk connecting the entry door to the public sidewalk is required. Sidewalk connecting entry door and public sidewalk shall have a minimum width of five (5) feet.
3. Balconies, awnings, canopies, cornices, upper bays, and projecting signs may extend into the public right-of-way per the encroachment requirements in the Context Area section. Refer to Section 2005.
4. Stoops, wells, and / or steps may extend into required setbacks per the requirements of the encroachment section in Section 2005.

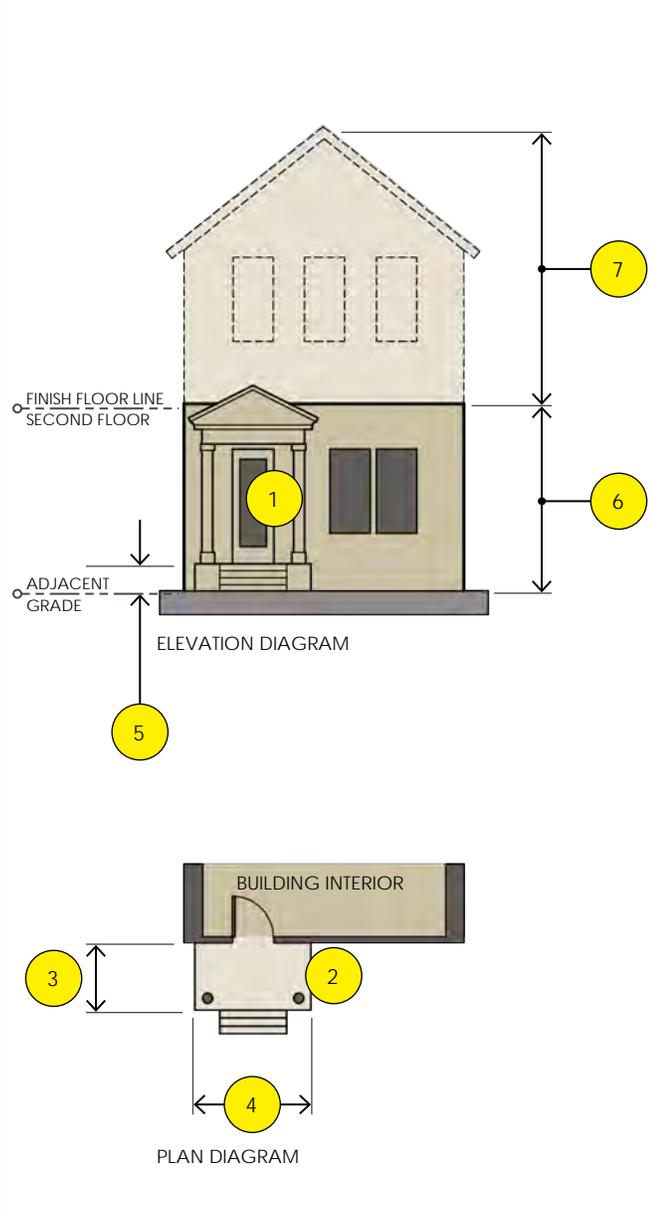
DIAGRAM 6.92 FRONTAGE LOCATION REQUIREMENTS



2006.17 DUPLEX BUILDING TYPE FRONTAGE OPTIONS

J. BUILDING TYPE FRONTAGE OPTION 1: STOOP (continued)

DIAGRAM 6.93 FRONTAGE COMPOSITION REQUIREMENTS

**STOOP COMPOSITION REQUIREMENTS**

Dooryard frontage composition shall meet the following requirements and Diagram 6.93.

1. Entry door(s) shall have 25% minimum transparency.
2. Entry door(s) are required to be elevated above adjacent grade. Elevated entry doors shall have one of the following treatments:
 - a. Covered with a supported roof (as depicted in the graphic). Roof shall be supported with columns.
 - b. Covered with a canopy. Canopy shall be cantilevered or supported by brackets or cables.
3. Depth of stoop landing shall be 4 feet minimum.
4. Width of stoop landing shall be 5 feet minimum.
5. Stoop shall be 12" minimum above adjacent grade.
6. Transparency: Stoop frontage shall have minimum 10% of the façade be glass between the adjacent grade and the finish floor line of the second story. Entry door transparency shall be included as part of the required transparency calculation.
7. Transparency Upper Floors: Refer to Building Type for transparency requirements of upper floors.

2006.17 DUPLEX BUILDING TYPE FRONTAGE OPTIONS

K. BUILDING TYPE FRONTAGE OPTION 2: PROJECTING PORCH

DESCRIPTION

In a Projecting Porch Frontage Type, the facade of the building that faces the front and / or side streets is setback a medium distance from the front and side streets, typically within a build-to-zone. The resulting yard is typically small and can be defined by a fence or hedge to spatially maintain the street edge. The projecting porch is open on three sides and all habitable space of the building is located behind the rear edge of the porch. The porch is elevated above the sidewalk. Steps from the porch may be on the front or side of the porch and shall lead directly to the sidewalk.



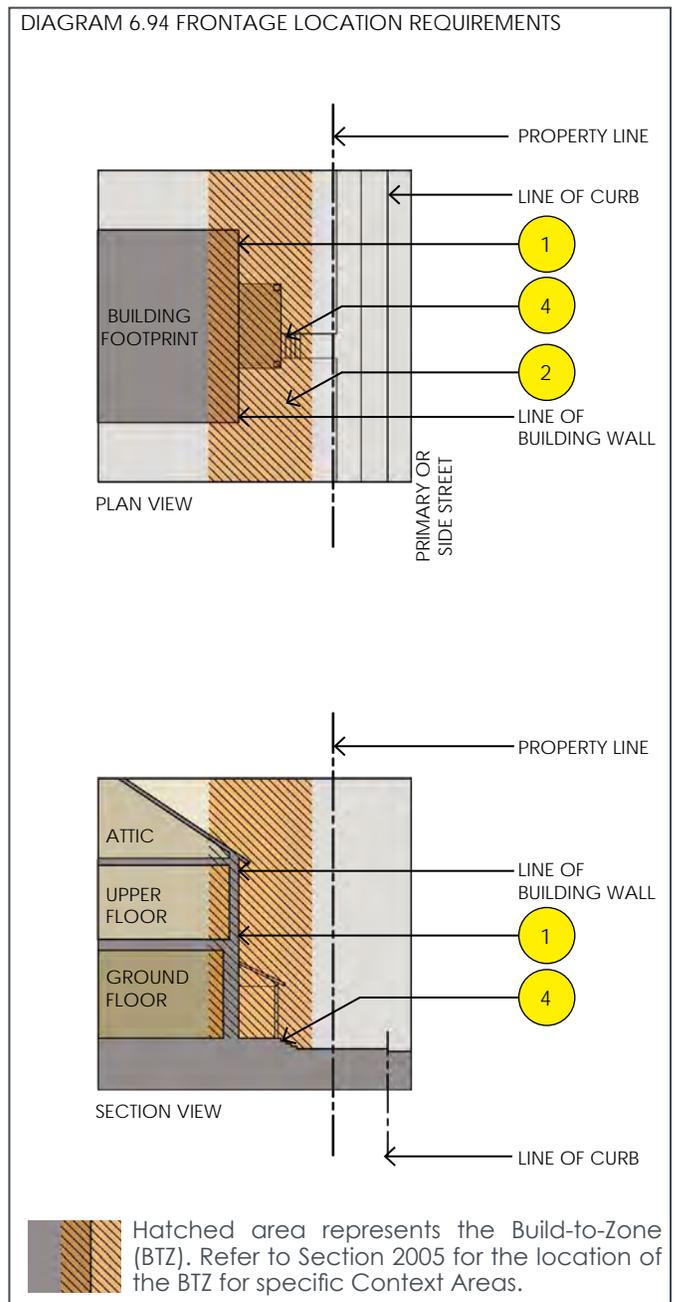
IMAGE 6.70 DUPLEX WITH PROJECTING PORCH FRONTAGE

PROJECTING PORCH LOCATION REQUIREMENTS

Projecting porch frontage shall be located per the following requirements and Diagram 6.94.

1. The building wall(s) are required to be placed within a Build-to-Zone as required by the building site placement requirements in the Context Area section. Refer to Section 2005.
2. The ground area between the primary and side street property lines and the building walls shall be landscaped. A sidewalk connecting the entry door to the public sidewalk is required. Sidewalk connecting entry door and public sidewalk shall have a minimum width of five (5) feet.
3. Balconies, awnings, canopies, cornices, upper bays, and projecting signs may extend into the public right-of-way per the encroachment requirements in the Context Area section. Refer to Section 2005.
4. Stoops, wells, and / or steps may extend into required setbacks per the requirements of the encroachment section in Section 2005.

DIAGRAM 6.94 FRONTAGE LOCATION REQUIREMENTS



2006.17 DUPLEX BUILDING TYPE FRONTAGE OPTIONS

L. BUILDING TYPE FRONTAGE OPTION 3: ENGAGED PORCH

DESCRIPTION

In an Engaged Porch Frontage Type, the facade of the building that faces the front and / or side streets is setback a medium distance from the front and side streets, typically within a build-to-zone. The resulting yard is typically small and can be defined by a fence or hedge to spatially maintain the street edge. The engaged porch has two adjacent sides of the porch that are engaged to the building (connected to and enclosed by building walls) while the other two sides are open. Steps from the porch may be on the front or side of the porch and shall lead directly to the sidewalk.



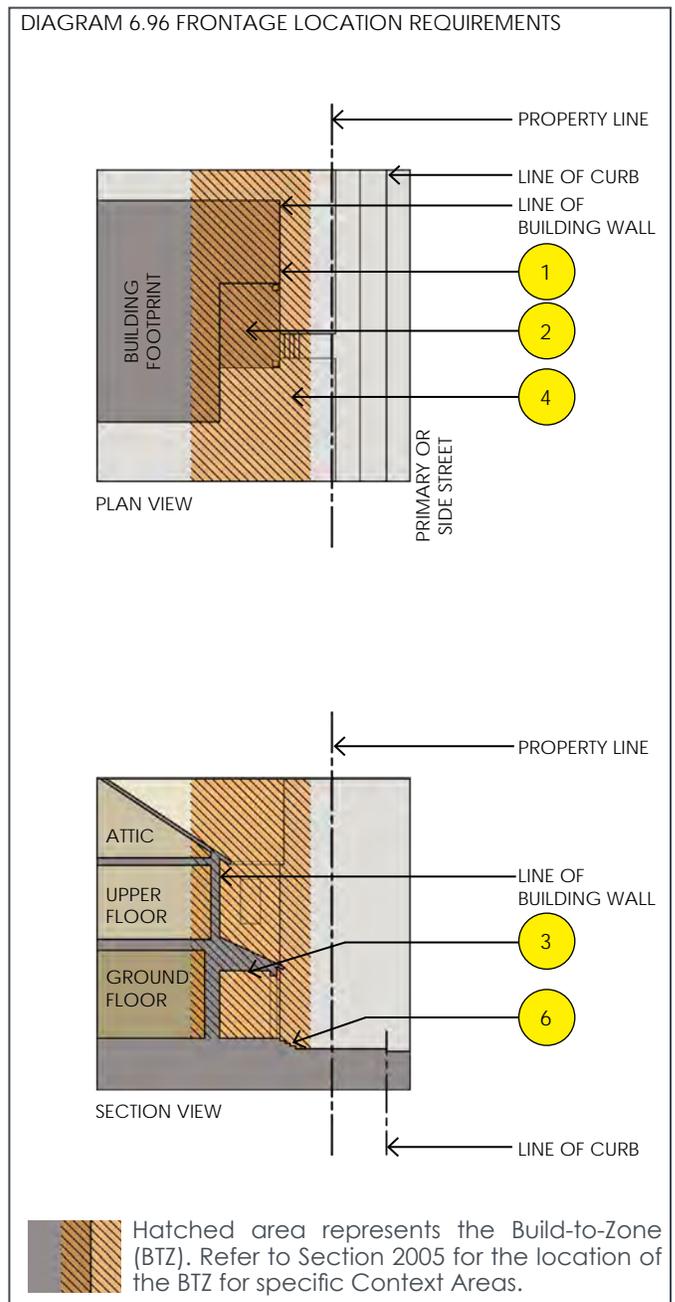
IMAGE 6.71 DUPLEX WITH ENGAGED PORCH FRONTAGE

ENGAGED PORCH LOCATION REQUIREMENTS

Projecting porch frontage shall be located per the following requirements and Diagram 6.96.

1. The building wall(s) are required to be placed within a Build-to-Zone as required by the building site placement requirements in the Context Area section. Refer to Section 2005.
2. Engaged porch shall be located within the Build-to-Zone as required by the building site placement requirements in the Context Area section. Refer to Section 2005.
3. Engaged porch is required to be placed within the building mass with two sides connected and enclosed by the building walls.
4. The ground area between the primary and side street property lines and the building walls shall be landscaped. A sidewalk connecting the entry door to the public sidewalk is required. Sidewalk connecting entry door and public sidewalk shall have a minimum width of five (5) feet.
5. Balconies, awnings, canopies, cornices, upper bays, and projecting signs may extend into the public right-of-way per the encroachment requirements in the Context Area section. Refer to Section 2005.
6. Stoops, wells, and / or steps may extend into required setbacks per the requirements of the encroachment section in Section 2005.

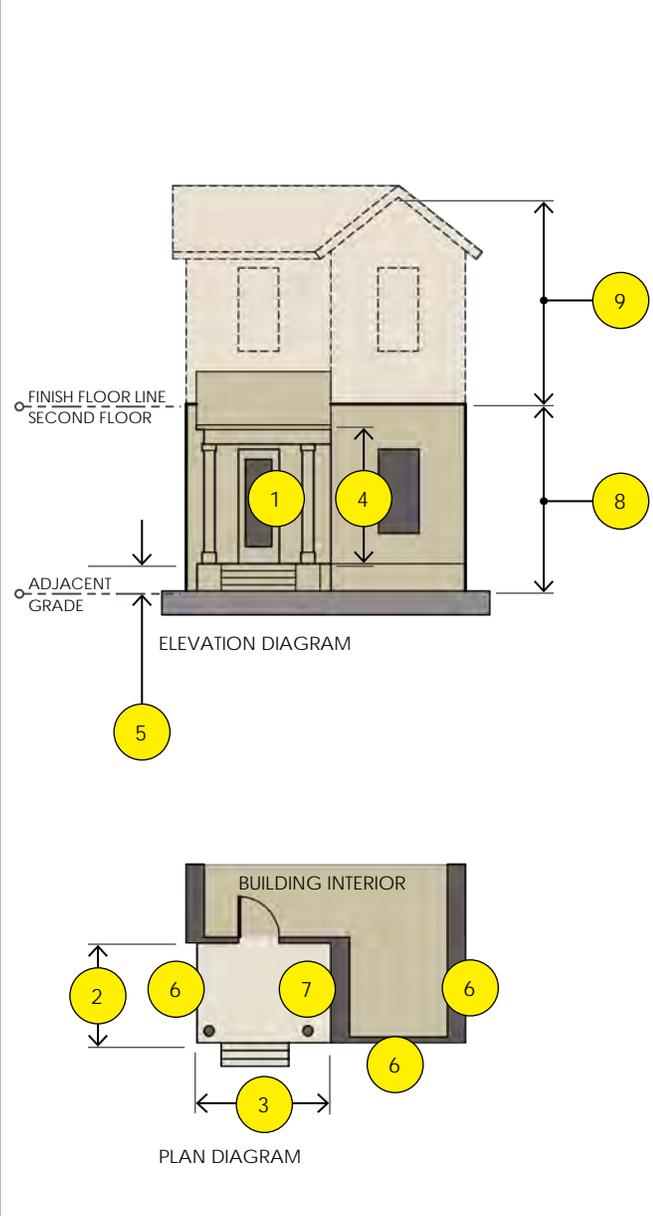
DIAGRAM 6.96 FRONTAGE LOCATION REQUIREMENTS



2006.17 DUPLEX BUILDING TYPE FRONTAGE OPTIONS

L. BUILDING TYPE FRONTAGE OPTION 2: ENGAGED PORCH (continued)

DIAGRAM 6.97 FRONTAGE COMPOSITION REQUIREMENTS

**ENGAGED PORCH COMPOSITION REQUIREMENTS**

Projecting porch frontage composition shall meet the following requirements and Diagram 6.97.

1. Entry door(s) shall have 25% minimum transparency.
2. Depth of porch shall be 6 feet minimum.
3. Width of porch shall be 8 feet minimum.
4. Height of porch ceiling, measured from porch floor shall be 8 feet minimum.
5. Porch shall be 18" minimum above adjacent grade.
6. Engaged porches shall be open on two sides (no walls on two sides).
7. Engaged porches shall be located within the building mass with two sides attached and enclosed by the building.
8. Transparency Ground Floor: Engaged porch frontage shall have minimum 10% of the façade be glass between the adjacent grade and the finish floor line of the second story. Entry door transparency shall not be included as part of the required transparency calculation.
9. Transparency Upper Floors: Refer to Building Type for transparency requirements of upper floors.

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2006.18 DETACHED HOUSE BUILDING TYPE

A. BUILDING TYPE DESCRIPTION

The DETACHED HOUSE BUILDING TYPE is a small- to medium-sized detached structure that incorporates one dwelling unit. It is typically located within a primarily single-family neighborhood in a walkable urban setting. This Type enables well-designed higher densities. It is an essential Building Type for providing a broad choice of housing types.



B. PRECEDENT OF DETACHED HOUSE BUILDING TYPE

The following images represent precedent examples of the Detached House Building Type. They are intended as examples only and should be used for inspiration in the creation of this Building Type for projects within the Traverse City Form-Based Code area.

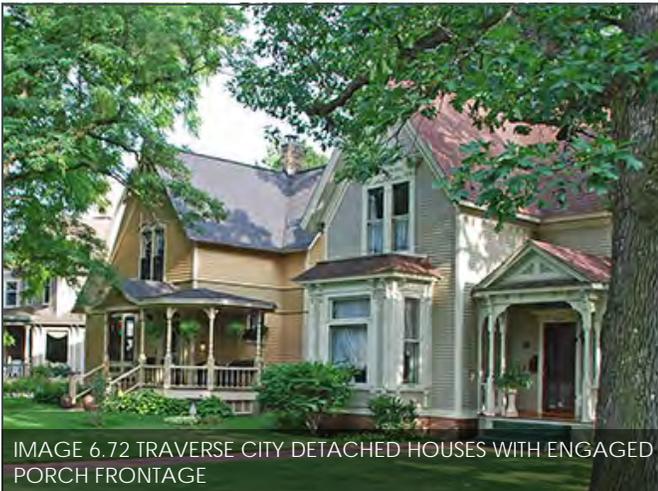


IMAGE 6.72 TRAVERSE CITY DETACHED HOUSES WITH ENGAGED PORCH FRONTAGE

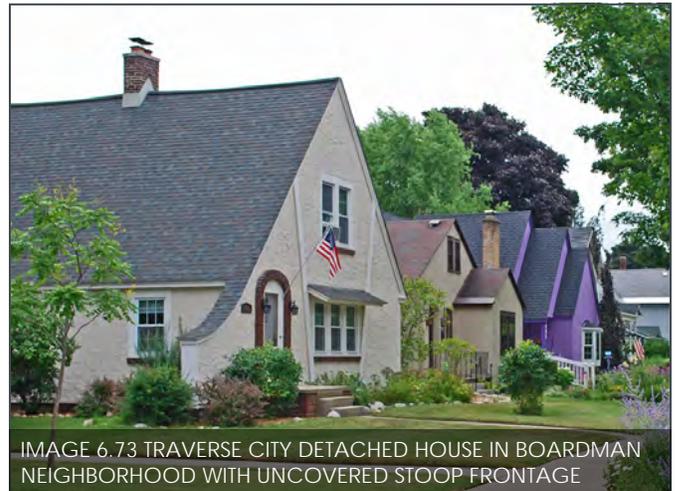


IMAGE 6.73 TRAVERSE CITY DETACHED HOUSE IN BOARDMAN NEIGHBORHOOD WITH UNCOVERED STOOP FRONTAGE



IMAGE 6.74 DETACHED HOUSE WITH COVERED STOOP FRONTAGE

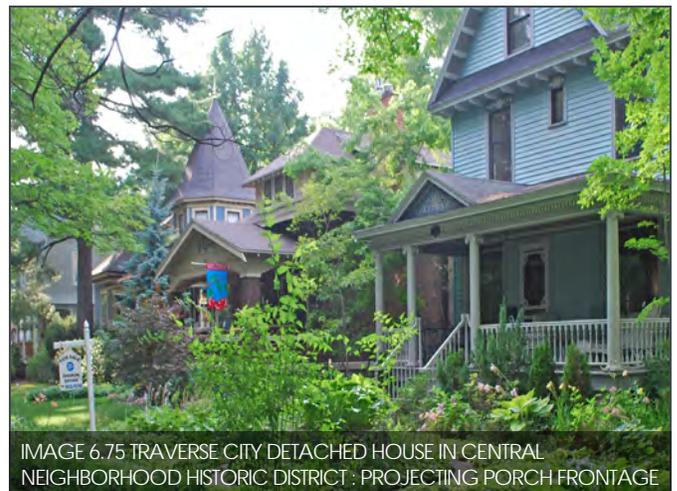


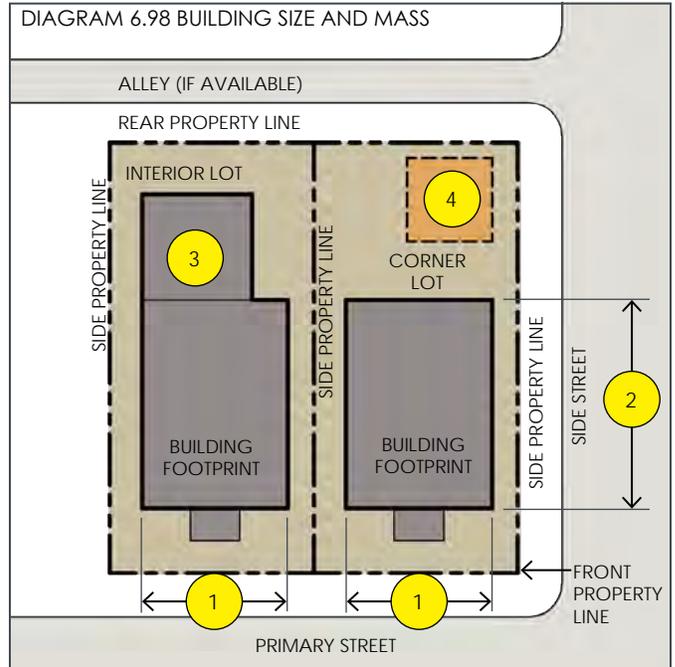
IMAGE 6.75 TRAVERSE CITY DETACHED HOUSE IN CENTRAL NEIGHBORHOOD HISTORIC DISTRICT: PROJECTING PORCH FRONTAGE

2006.18 DETACHED HOUSE BUILDING TYPE

C. BUILDING SIZE AND MASSING

Building Type size and massing shall meet the following requirements and Diagram 6.98.

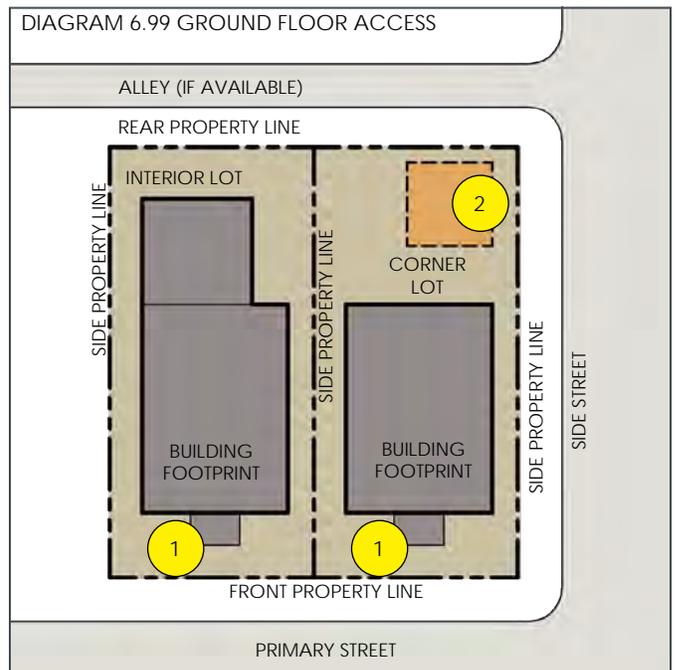
1. Building width at primary street: 36 feet maximum.
2. Building depth: 20 feet minimum.
3. Building may have an attached garage located in the rear of the building and accessed from an alley or side street. Attached garage is not permitted if a Carriage House is included on the parcel.
4. Building may have a Carriage House in lieu of an attached garage. Refer to Carriage House Building Type in Section 2006.19 for requirements.
5. Maximum site coverage: 50% including garage or Carriage House.



D. GROUND FLOOR PEDESTRIAN ACCESS AND ACTIVATION

Building Type ground floor entrances shall meet the following requirements and Diagram 6.99.

1. Entrances to each unit are required at the primary street and shall be directly accessed from and face the primary street.
2. Carriage House entrances shall be as required by the Carriage House Building Type in Section 2006.19.



E. NUMBER OF UNITS

Number of units per Building Type:

1. Total of 1 unit per building.
2. An additional unit is permitted if Carriage House Building Type is used in conjunction with the Detached House Building.

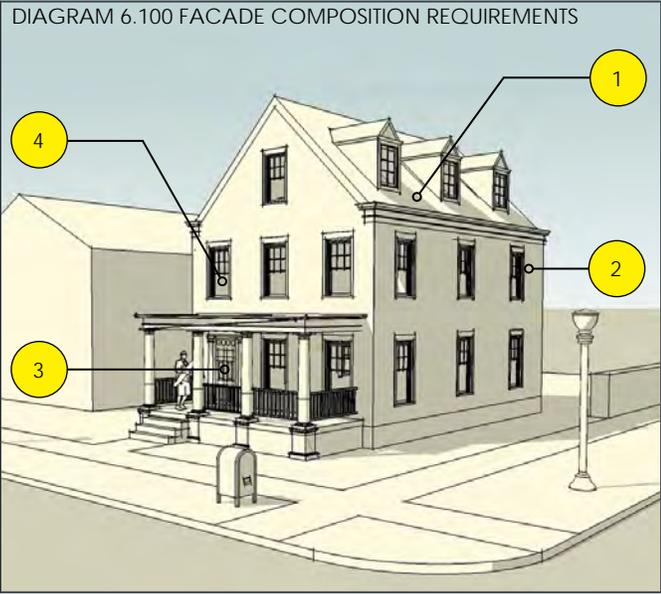
F. USE

Building Type use:

- Uses are regulated by Context Area. Refer to Section 2005 for permitted uses in each Context Area.

2006.18 DETACHED HOUSE BUILDING TYPE

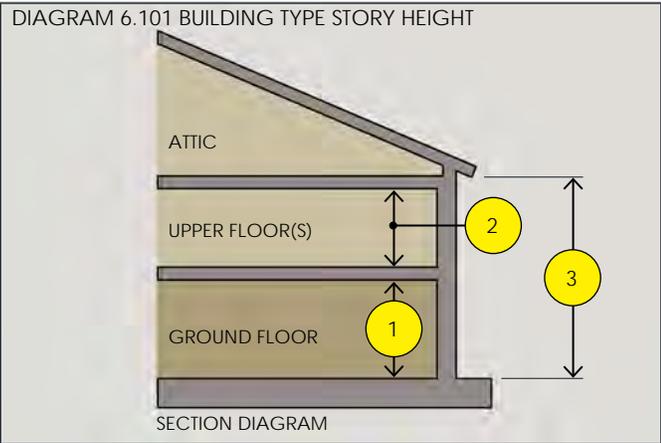
G. FACADE COMPOSITION REQUIREMENTS



Building Type facade composition shall meet the following requirements and Diagram 6.100.

1. Building shall have a pitched (sloped) roof that is compatible to the surrounding residential architecture.
2. Transparency Upper Floor: Building facades facing streets shall have minimum 10% of the façade be glass between the finish floor line of the second story and bottom of eave.
3. Transparency Ground Floor: Refer to Building Frontage options for transparency requirements at the ground floor.
4. Upper windows shall be square or vertically proportioned with clear glass. Refer to definitions in Section 2009 for clear glass requirements.

H. BUILDING TYPE FLOOR HEIGHT REQUIREMENTS



Building Type floor heights shall meet the following requirements and Diagram 6.101.

1. Ground floor: Floor to ceiling height shall be 9 feet minimum.
2. Upper floors: Floor to ceiling height shall as required by Context Area.
3. Overall height of Building Type is regulated by Context Area, refer to Section 2005.

I. BUILDING TYPE FRONTAGE OPTIONS

Each Detached House Building Type is required to have only 1 of the following frontage configurations applied to the ground level floor where it abuts front and side streets, civic space, and / or public rights-of-way.

Frontage options for the Detached House Building Type are provided in the table below and described on the following pages of this sub-section.

DETACHED HOUSE BUILDING TYPE	BUILDING TYPE FRONTAGE OPTION	CONTEXT AREAS			
		DE DOWNTOWN EDGE	MS MAINSTREET	GW GATEWAY	NE NEIGHBORHOOD EDGE
	with STOOP (2006.18.J)				By Right
	with PROJECTING PORCH (2006.18.K)				By Right
	with ENGAGED PORCH (2006.18.L)				By Right

Shaded areas represent Context Areas where Building Type with frontage option is not permitted.

2006.18 DETACHED HOUSE BUILDING TYPE FRONTAGE OPTIONS

J. BUILDING TYPE FRONTAGE OPTION 1: STOOP

DESCRIPTION

In a Stoop Frontage Type, the facade of the building that faces the front and / or side streets is setback a small distance from the front and side streets, typically within a build-to-zone. The stoop is elevated above the sidewalk. Steps or a ramp from the stoop may lead directly to the sidewalk or may be side-loaded.



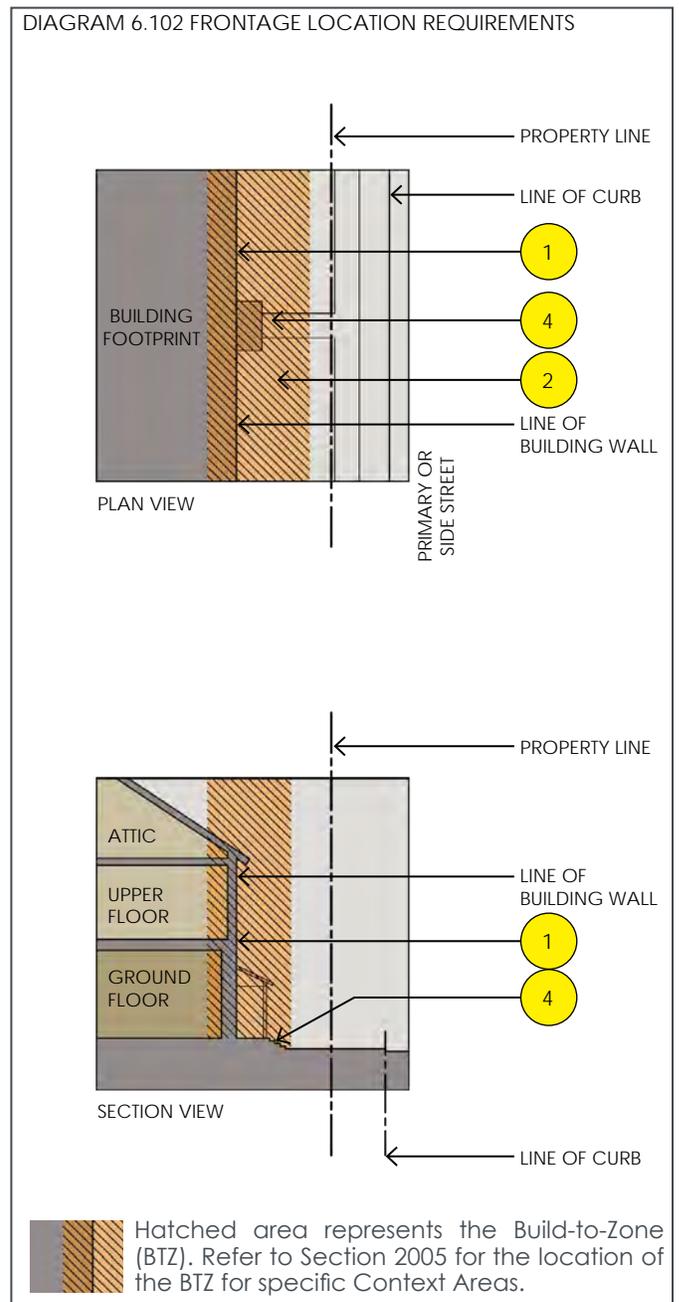
IMAGE 6.76 DETACHED HOUSE WITH STOOP FRONTAGE

STOOP LOCATION REQUIREMENTS

Stoop frontage shall be located per the following requirements and Diagram 6.102.

1. The building wall(s) are required to be placed within a Build-to-Zone as required by the building site placement requirements in the Context Area section. Refer to Section 2005.
2. The ground area between the primary and side street property lines and the building walls shall be landscaped. A sidewalk connecting the entry door to the public sidewalk is required. Sidewalk connecting entry door and public sidewalk shall have a minimum width of five (5) feet.
3. Balconies, awnings, canopies, cornices, upper bays, and projecting signs may extend into the public right-of-way per the encroachment requirements in the Context Area section. Refer to Section 2005.
4. Stoops, wells, and / or steps may extend into required setbacks per the requirements of the encroachment section in Section 2005.

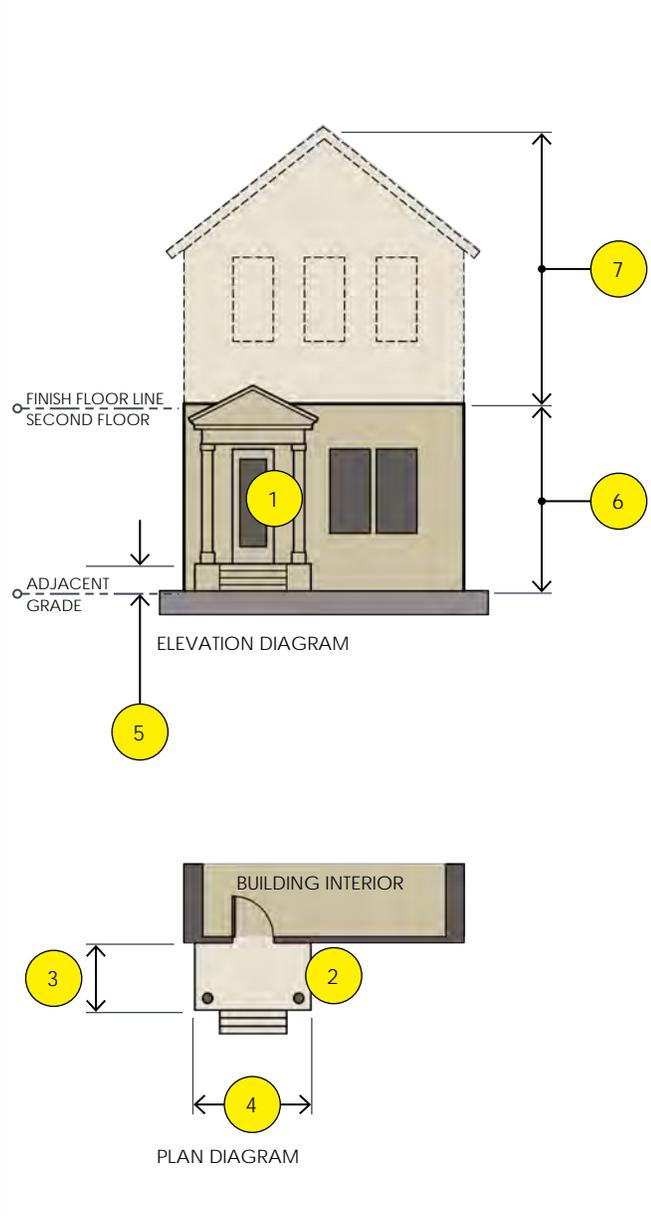
DIAGRAM 6.102 FRONTAGE LOCATION REQUIREMENTS



2006.18 DETACHED HOUSE BUILDING TYPE FRONTAGE OPTIONS

J. BUILDING TYPE FRONTAGE OPTION 1: STOOP (continued)

DIAGRAM 6.103 FRONTAGE COMPOSITION REQUIREMENTS

**STOOP COMPOSITION REQUIREMENTS**

Dooryard frontage composition shall meet the following requirements and Diagram 6.103.

1. Entry door(s) shall have 25% minimum transparency.
2. Entry door(s) are required to be elevated above adjacent grade. Elevated entry doors shall have one of the following treatments:
 - a. Covered with a supported roof. Roof shall be supported with columns.
 - b. Uncovered (no roof).
3. Depth of stoop landing shall be 4 feet minimum.
4. Width of stoop landing shall be 5 feet minimum.
5. Stoop shall be 12" minimum above adjacent grade.
6. Transparency Ground Floor: Stoop frontage shall have minimum 10% of the façade be glass between the adjacent grade and the finish floor line of the second story. Entry door transparency shall not be included as part of the required transparency calculation.
7. Transparency Upper Floors: Refer to Building Type for transparency requirements of upper floors.

2006.18 DETACHED HOUSE BUILDING TYPE FRONTAGE OPTIONS

K. BUILDING TYPE FRONTAGE OPTION 2: PROJECTING PORCH

DESCRIPTION

In a Projecting Porch Frontage Type, the facade of the building that faces the front and / or side streets is setback a medium distance from the front and side streets, typically within a build-to-zone. The resulting yard is typically small and can be defined by a fence or hedge to spatially maintain the street edge. The projecting porch is open on three sides and all habitable space of the building is located behind the rear edge of the porch. The porch is elevated above the sidewalk. Steps from the porch may be on the front or side of the porch and shall lead directly to the sidewalk.



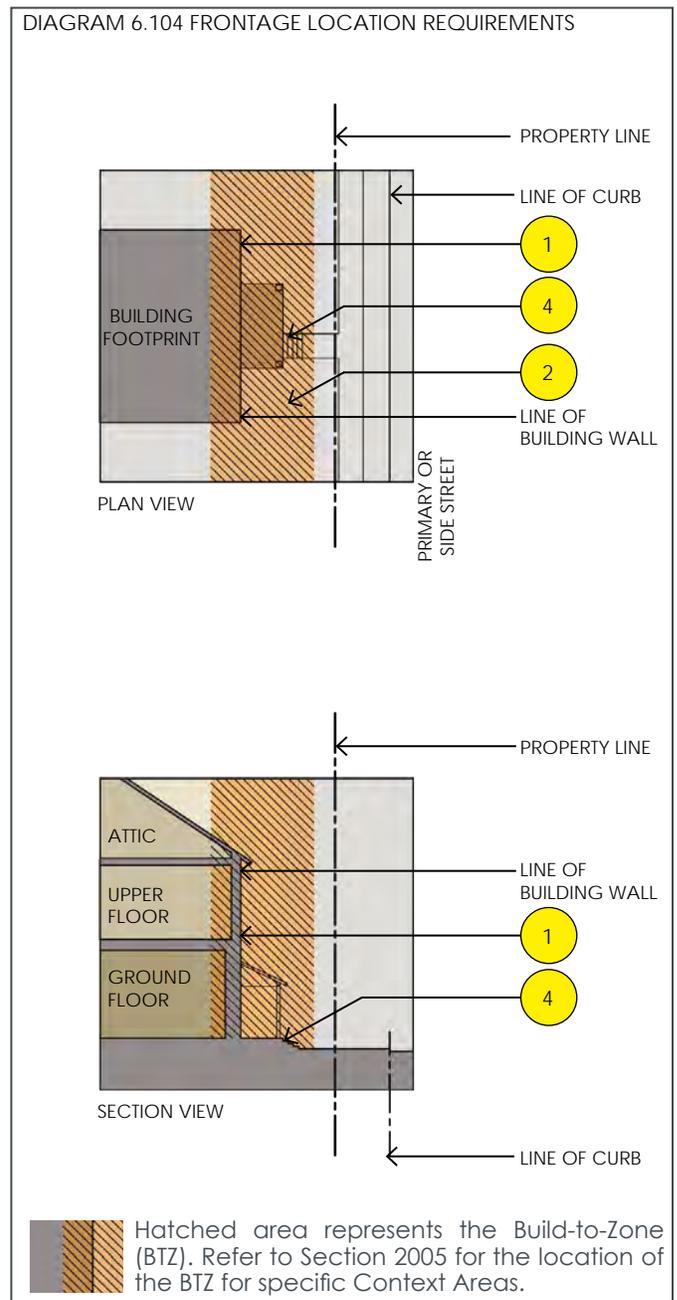
IMAGE 6.77 DETACHED HOUSE WITH PROJECTING PORCH

PROJECTING PORCH LOCATION REQUIREMENTS

Projecting porch frontage shall be located per the following requirements and Diagram 6.104.

1. The building wall(s) are required to be placed within a Build-to-Zone as required by the building site placement requirements in the Context Area section. Refer to Section 2005.
2. The ground area between the primary and side street property lines and the building walls shall be landscaped. A sidewalk connecting the entry door to the public sidewalk is required. Sidewalk connecting entry door and public sidewalk shall have a minimum width of five (5) feet.
3. Balconies, awnings, canopies, cornices, upper bays, and projecting signs may extend into the public right-of-way per the encroachment requirements in the Context Area section. Refer to Section 2005.
4. Stoops, wells, and / or steps may extend into required setbacks per the requirements of the encroachment section in Section 2005.

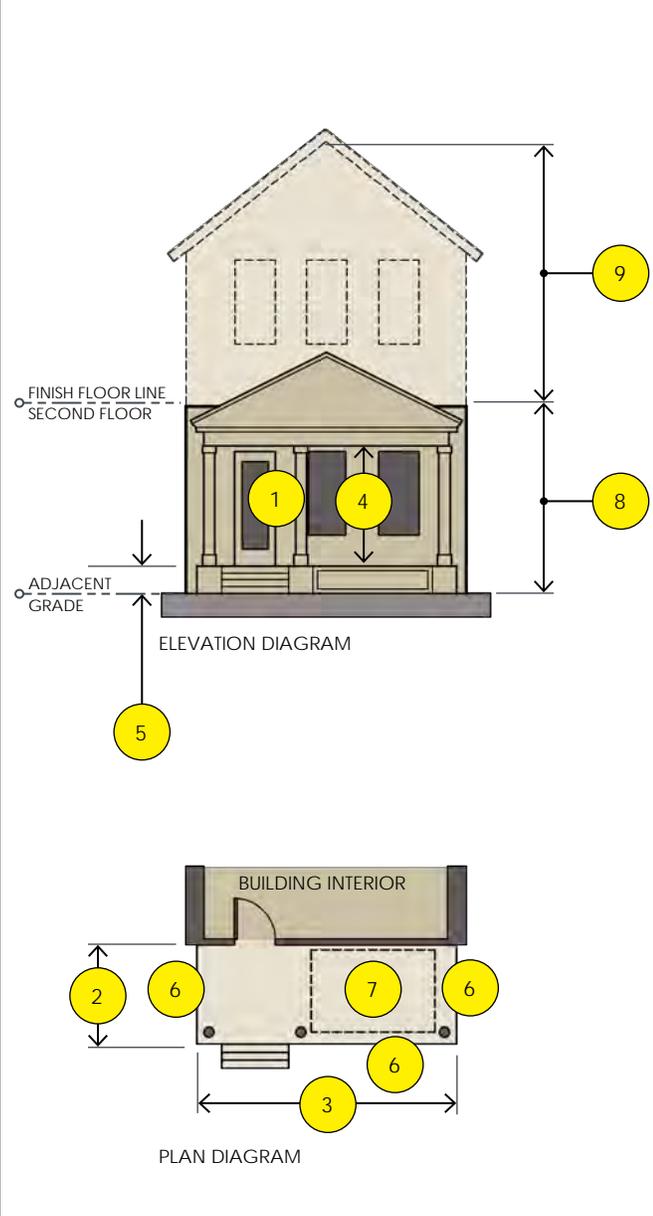
DIAGRAM 6.104 FRONTAGE LOCATION REQUIREMENTS



2006.18 DETACHED HOUSE BUILDING TYPE FRONTAGE OPTIONS

K. BUILDING TYPE FRONTAGE OPTION 2: PROJECTING PORCH (continued)

DIAGRAM 6.105 FRONTAGE COMPOSITION REQUIREMENTS

**PROJECTING PORCH COMPOSITION REQUIREMENTS**

Projecting porch frontage composition shall meet the following requirements and Diagram 6.105.

1. Entry door(s) shall have 25% minimum transparency.
2. Depth of porch shall be 6 feet minimum.
3. Width of porch shall be 8 feet minimum.
4. Height of porch ceiling, measured from porch floor shall be 8 feet minimum.
5. Porch shall be 18" minimum above adjacent grade.
6. Projecting porches shall be open on three sides (no walls on three sides).
7. Furniture area shall be 4 feet x 6 feet minimum clear area.
8. Transparency Ground Floor: Projecting porch frontage shall have minimum 10% of the façade be glass between the adjacent grade and the finish floor line of the second story. Entry door transparency shall not be included as part of the required transparency calculation.
9. Transparency Upper Floors: Refer to Building Type for transparency requirements of upper floors.

2006.18 DETACHED HOUSE BUILDING TYPE FRONTAGE OPTIONS

L. BUILDING TYPE FRONTAGE OPTION 3: ENGAGED PORCH

DESCRIPTION

In an Engaged Porch Frontage Type, the facade of the building that faces the front and / or side streets is setback a medium distance from the front and side streets, typically within a build-to-zone. The resulting yard is typically small and can be defined by a fence or hedge to spatially maintain the street edge. The engaged porch has two adjacent sides of the porch that are engaged to the building (connected to and enclosed by building walls) while the other two sides are open. Steps from the porch may be on the front or side of the porch and shall lead directly to the sidewalk.



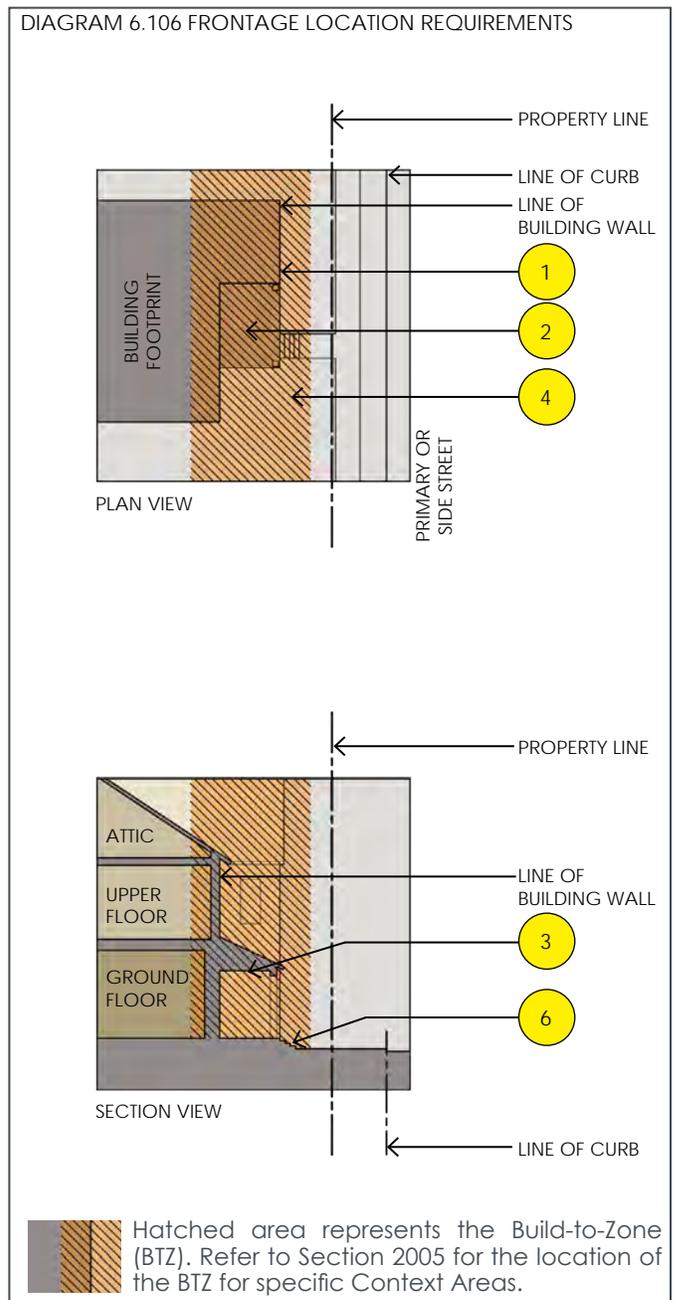
IMAGE 6.78 DETACHED HOUSE WITH ENGAGED PORCH

ENGAGED PORCH LOCATION REQUIREMENTS

Projecting porch frontage shall be located per the following requirements and Diagram 6.106.

1. The building wall(s) are required to be placed within a Build-to-Zone as required by the building site placement requirements in the Context Area section. Refer to Section 2005.
2. Engaged porch shall be located within the Build-to-Zone as required by the building site placement requirements in the Context Area section. Refer to Section 2005.
3. Engaged porch is required to be placed within the building mass with two sides connected and enclosed by the building walls.
4. The ground area between the primary and side street property lines and the building walls shall be landscaped. A sidewalk connecting the entry door to the public sidewalk is required. Sidewalk connecting entry door and public sidewalk shall have a minimum width of five (5) feet.
5. Balconies, awnings, canopies, cornices, upper bays, and projecting signs may extend into the public right-of-way per the encroachment requirements in the Context Area section. Refer to Section 2005.
6. Stoops, wells, and / or steps may extend into required setbacks per the requirements of the encroachment section in Section 2005.

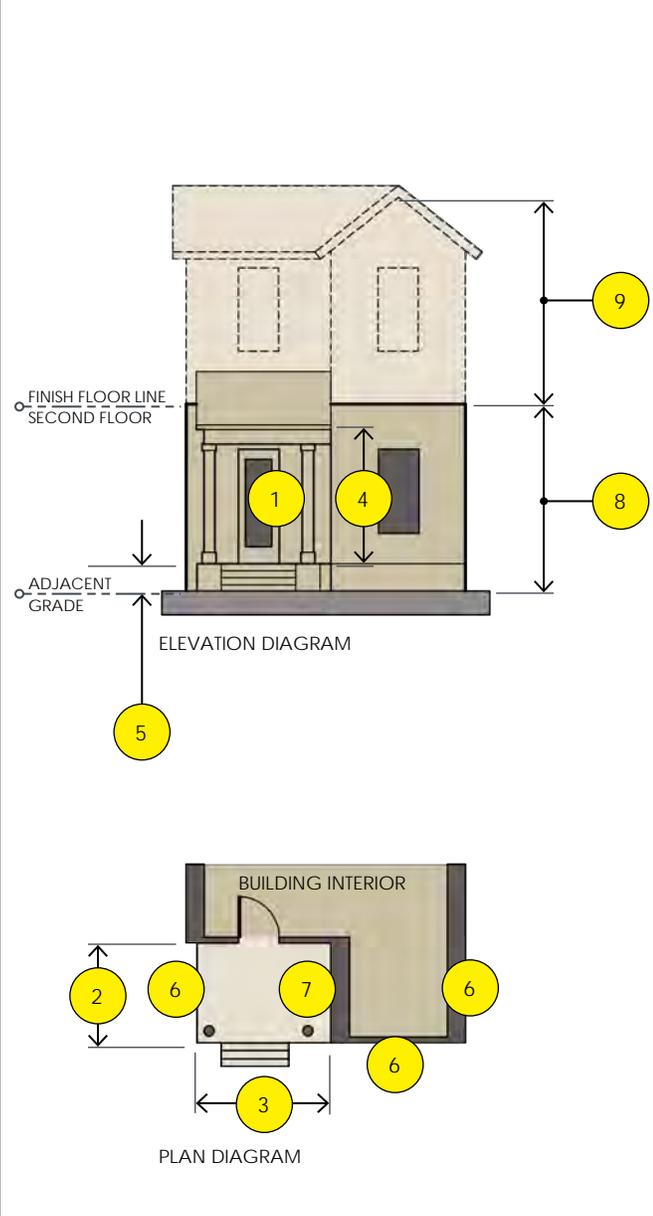
DIAGRAM 6.106 FRONTAGE LOCATION REQUIREMENTS



2006.18 DETACHED HOUSE BUILDING TYPE FRONTAGE OPTIONS

L. BUILDING TYPE FRONTAGE OPTION 2: ENGAGED PORCH (continued)

DIAGRAM 6.107 FRONTAGE COMPOSITION REQUIREMENTS

**ENGAGED PORCH COMPOSITION REQUIREMENTS**

Projecting porch frontage composition shall meet the following requirements and Diagram 6.107.

1. Entry door(s) shall have 25% minimum transparency.
2. Depth of porch shall be 6 feet minimum.
3. Width of porch shall be 8 feet minimum.
4. Height of porch ceiling, measured from porch floor shall be 8 feet minimum.
5. Porch shall be 18" minimum above adjacent grade.
6. Engaged porches shall be open on two sides (no walls on two sides).
7. Engaged porches shall be located within the building mass with two sides attached and enclosed by the building.
8. Transparency Ground Floor: Engaged porch frontage shall have minimum 10% of the façade be windows between the adjacent grade and the finish floor line of the second story. Entry door transparency shall not be included as part of the required transparency calculation.
9. Transparency Upper Floors: Refer to Building Type for transparency requirements of upper floors.

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2006.19 CARRIAGE HOUSE BUILDING TYPE

A. BUILDING TYPE DESCRIPTION

The CARRIAGE HOUSE BUILDING TYPE is an accessory structure typically located at the rear of a lot. It typically provides either a small residential unit or home office space above the first floor garage. This Type is important for providing affordable housing choices that are integrated into diverse neighborhoods. This Type shall only be used in conjunction with the Detached House, Duplex, Rowhouse, or Live/Work Building Types.



B. PRECEDENT OF CARRIAGE HOUSE BUILDING TYPE

The following images represent precedent examples of the Carriage House Building Type. They are intended as examples only and should be used for inspiration in the creation of this Building Type for projects within the Traverse City Form-Based Code area.



IMAGE 6.79 CARRIAGE HOUSE BUILDING



IMAGE 6.80 CARRIAGE HOUSE BUILDING



IMAGE 6.81 CARRIAGE HOUSE BUILDING WITH EXTERIOR STAIR



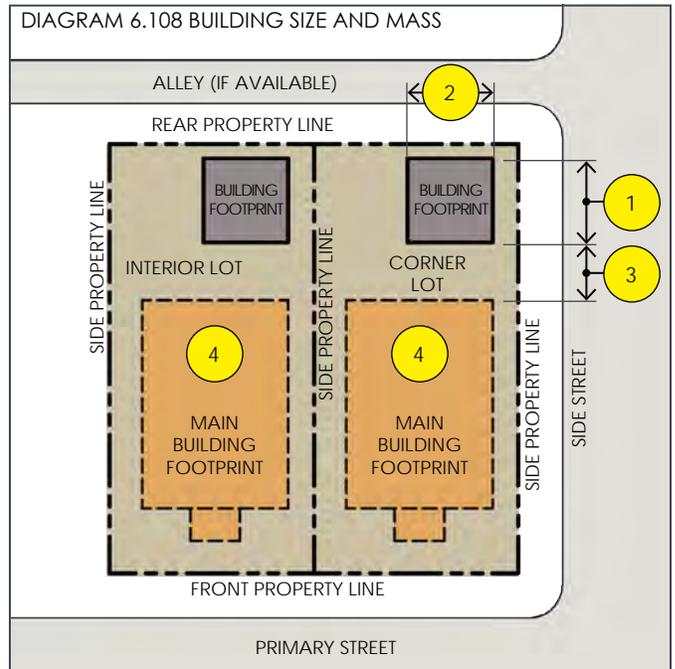
IMAGE 6.82 LARGE CARRIAGE HOUSE BUILDING SUITABLE FOR USE WITH LIVE/WORK BUILDING TYPE

2006.19 CARRIAGE HOUSE BUILDING TYPE

C. BUILDING SIZE AND MASSING

Building Type size and massing shall meet the following requirements and Diagram 6.108.

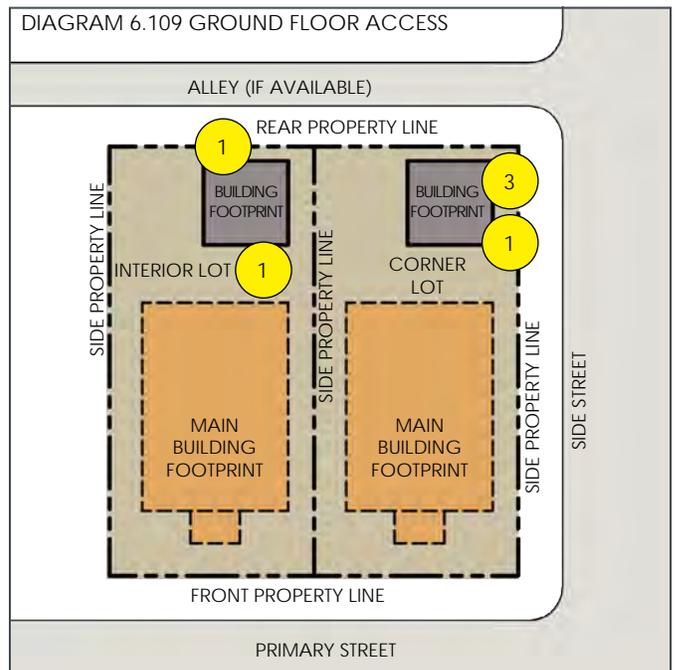
1. Building width (side facing street): 30 feet maximum.
2. Building depth: 30 feet maximum.
3. Separation from main building: 10 feet minimum. Carriage house may be connected to the main building with an uninhabitable space such as a breezeway.
4. Carriage House Building Type is only allowed on lots where the main building has a residential use and is one of the following building types:
 - a. Live / Work Building Type
 - b. Rowhouse Building Type
 - c. Duplex Building Type
 - d. Detached House Building Type
5. Maximum site coverage: Lot coverage of carriage house shall be included in the lot coverage requirements of the main building.
6. Building footprint shall not exceed the footprint of the main building on the lot.



D. GROUND FLOOR PEDESTRIAN ACCESS AND ACTIVATION

Building Type ground floor entrances shall meet the following requirements and Diagram 6.109.

1. Entrance for upper unit is required to be accessed from the alley, side street, or internal to the lot.
2. Entrance for upper unit shall not be through a garage.
3. Parking may be accessed from the alley, side street, or primary street per the requirements for off-street parking access in the Context Area. Refer to Section 2005.
4. Parking may be accessed from the front street only when there is no adjacent alley or side street.



E. NUMBER OF UNITS

Number of units per Building Type:

1. Total of 1 unit per building.

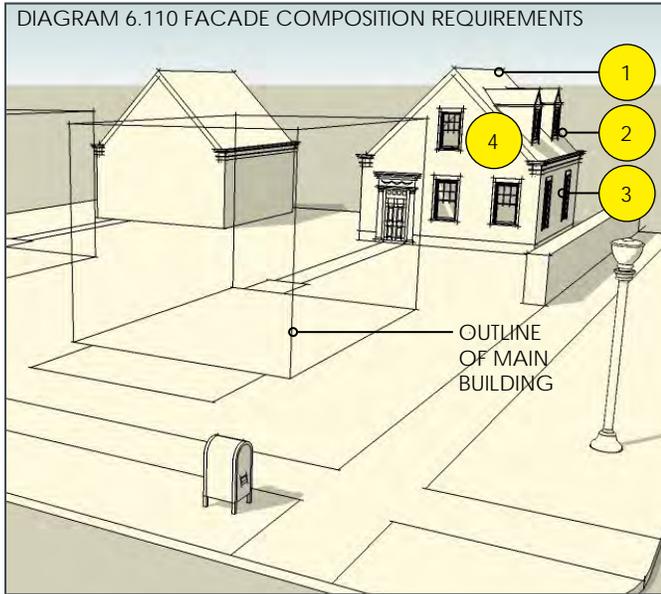
F. USE

Building Type use:

- A. Uses are regulated by Context Area. Refer to Section 2005 for permitted uses in each Context Area.

2006.19 CARRIAGE HOUSE BUILDING TYPE

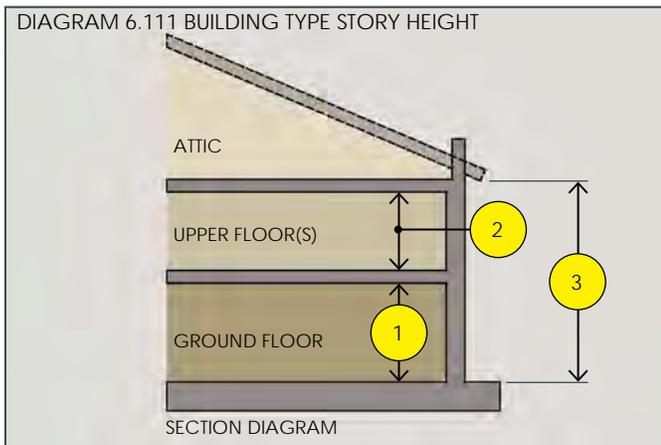
G. FACADE COMPOSITION REQUIREMENTS



Building Type facade composition shall meet the following requirements and Diagram 6.110.

1. Building shall have a flat roof with cornice expression line or pitched (sloped) roof that is compatible with the architecture of the main building.
2. Transparency Upper Floor: Building facades facing streets shall have minimum 10% of the façade be glass between the finish floor line of the second story and bottom of the cornice expression line or bottom eave.
3. Transparency Ground Floor: Building facades facing streets shall have minimum 10% of the façade be glass between the adjacent grade and the finish floor line of the second story.
4. Upper windows shall be square or vertically proportioned with clear glass. Refer to definitions in Section 2009 for clear glass requirements.

H. BUILDING TYPE FLOOR HEIGHT REQUIREMENTS



Building Type floor heights shall meet the following requirements and Diagram 6.111.

1. Ground floor: Floor to ceiling height shall be 8 feet minimum.
2. Upper floors: Floor to ceiling height shall as required by Context Area.
3. Overall height of Building Type is regulated by Context Area, refer to Section 2005.

I. BUILDING TYPE FRONTAGE OPTIONS

The Carriage House Building Type is not required to have a frontage type.

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2006.20 CIVIC BUILDING TYPE

A. BUILDING TYPE DESCRIPTION

The CIVIC BUILDING TYPE is a small-, medium- or large-sized detached structure that incorporates uses of special public importance including, but not limited to municipal buildings, churches, libraries and schools. Civic Buildings typically have less form regulations than other Building Types because their prominence within the community requires more iconic and distinctive form.



B. PRECEDENT OF CIVIC BUILDING TYPE

The following images represent precedent examples of the Civic Building Type. They are intended as examples only and should be used for inspiration in the creation of this Building Type for projects within the Traverse City Form-Based Code area.



IMAGE 6.83 TRAVERSE CITY CIVIC BUILDING: ALL SAINTS ANGLICAN TEMPLE BETH-EL CHURCH



IMAGE 6.84 TRAVERSE CITY CIVIC BUILDING: CENTRAL GRADE SCHOOL ON WEST SEVENTH STREET

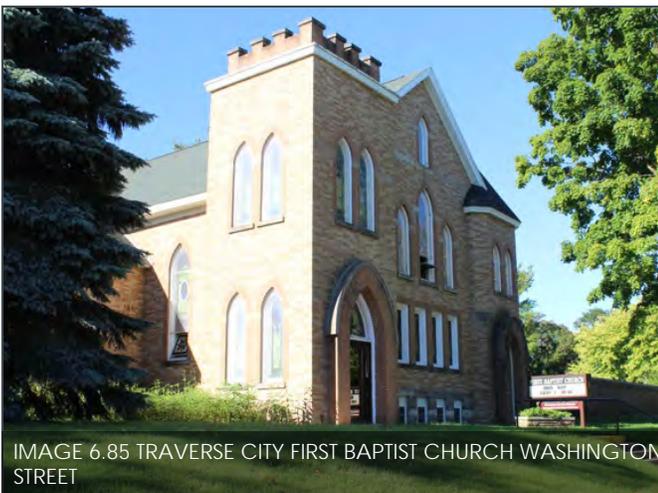


IMAGE 6.85 TRAVERSE CITY FIRST BAPTIST CHURCH WASHINGTON STREET



IMAGE 6.86 TRAVERSE CITY CIVIC BUILDING: OLD COURTHOUSE ON WASHINGTON STREET

2006.20 CIVIC BUILDING TYPE

C. BUILDING SIZE AND MASSING

Civic Building size and massing is not regulated by this Form Based Code. Generally Civic Buildings shall have a significant presence within the community.

E. NUMBER OF UNITS

Number of units is not applicable to this Building Type.

G. FACADE COMPOSITION REQUIREMENTS

Civic Building facade composition is not regulated by this Form Based Code. Generally Civic Buildings shall have a design elements and materials that represent their significant presence within the community.

Facade composition should be respectful and compatible with the surrounding context.

I. BUILDING TYPE FRONTAGE OPTIONS

Civic Building frontages are not regulated by this Form Based Code. Generally Civic Buildings shall have a frontage that allows for pedestrian access and transparency that represent their significant presence within the community.

D. GROUND FLOOR ACTIVATION

Civic Building ground floor activation is not regulated by this Form Based Code. Generally Civic Buildings shall have an activated ground floor with pedestrian entrances and windows facing street, rights-of-way, and civic space.

F. USE

Building Type Use:

- A. Uses are regulated by Context Area. Refer to Section 2005 for permitted uses in each Context Area.

H. BUILDING HEIGHT

Overall height of Building Type is regulated by Context Area, refer to Section 2005.

2007.00 APPLICABILITY

Standards within the City of Traverse City Zoning Ordinance, Chapter 1374 shall apply and govern circulation and parking except where regulated in the Form-Based Code.

2007.01 PARKING AREA LOCATION

Vehicular parking shall be located per the standards of Section 2005, Context Areas.

2007.02 PARKING MAXIMUM

Vehicular parking requirements in the Form-Based Code district shall not exceed the maximum permitted per Table 2007.02, based on parking use class established in Section 2007.03.

2007.03 PARKING USE CLASS

Vehicular parking maximums are based on use class. Use class categories shall be as indicated below. Specific uses are indicated for each use class. Similar uses, not listed as specific use shall be at the discretion of the Zoning Administrator.

PARKING USE CLASS	
RESIDENTIAL	<ul style="list-style-type: none"> Accessory dwelling (parking not required) Adult foster care family home and small group home Dwelling Home occupation
RETAIL	<ul style="list-style-type: none"> Art gallery Convenience store Grocery store Store, retail, miscellaneous
LODGING	<ul style="list-style-type: none"> Lodging

PARKING USE CLASS (continued)

OFFICE	<ul style="list-style-type: none"> Day care facility Essential service Funeral service, excepting crematory Health service, except hospital sales and rentals Kennel Laundromat Membership organization Office Personal service Pet grooming service without runs or kennels Preschool Private club, lodges fraternity or sorority Repair service Service station and repair shop
FOOD/BEVERAGE	<ul style="list-style-type: none"> Banquet hall and conference room Brewpub Coffee shop Drinking places without entertainment Drinking places with entertainment Microbrewery/Distillery Restaurant, family Restaurant, fine
CIVIC	<ul style="list-style-type: none"> Place of worship Public administration

Table 2007.02 PARKING MAXIMUM

PARKING MAXIMUM	PARKING USE CLASS	CONTEXT AREAS			
		DE DOWNTOWN EDGE	MS MAINSTREET	GW GATEWAY	NE NEIGHBORHOOD EDGE
	RESIDENTIAL	1.25 per DU	1.25 per DU	1.5 per DU	1.5 per DU
	RETAIL	1 per 500 SF of floor area	1 per 500 SF of floor area	1 per 350 SF of floor area	1 per 350 SF of floor area
	LODGING	1 per guest room	1 per guest room	1 per guest room	
	OFFICE	1 per 500 SF of floor area	1 per 500 SF of floor area	1 per 350 SF of floor area	1 per 350 SF of floor area
	FOOD/BEVERAGE	1 per 500 SF of usable floor area	1 per 500 SF of usable floor area	1 per 350 SF of usable floor area	1 per 350 SF of usable floor area
	CIVIC	1 per 6 people by fire code	1 per 6 people by fire code	1 per 4 people by fire code	1 per 4 people by fire code

SECTION 2007 OFF-STREET PARKING STANDARDS

2007.04 PARKING AREA LANDSCAPE BUFFER

Parking screening is required at side and rear setbacks per Section 2005, Context Areas.

1. Wall (with or without landscape):
 - Height: 24" to 36"
 - Material: Stone or brick masonry
 - Optional Landscaping: Shrubs, trees or grasses shall be at least 24" tall at time of planting. Landscaping shall be planted on street or public side of wall.
2. Fence and Landscaping:
 - Height: 36" to 42"
 - Material: Wood or metal
 - Required Landscaping: Perennial and/or evergreen plant materials shall be at least 24" tall at time of planting. Landscaping shall be planted on street or public side of fence.
3. Hedge:
 - Height: maintained at 36"
 - Landscaping: Perennial, evergreen plant materials shall be at least 24" tall at time of planting, and shall form and be maintained as an opaque manicured edge.

2007.05 PEDESTRIAN TRAVEL WAYS

Properties within the FBC district shall comply with the requirements of Section 1374.01.

2007.06 BICYCLE PARKING

The requirements of Section 1374.02 do not apply for residential building types in the MS, GW and NE context areas. All other standards of Section 1374.02 apply to properties within the FBC district.

2007.07 MOTOR VEHICLE PARKING

Properties within the FBC district shall comply with the requirements of Section 1374.03, except parking setbacks shall be as provided in Section 2005 (Context Areas) and parking calculation shall be as per 2007.02. Screening shall be as provided in Sections 2007.04 and 1372.

2007.08 DRIVEWAYS AND ACCESS REQUIREMENTS

Driveways and access requirements shall be as per Section 2005, Context Areas and Section 1374.04. Wherever there is a conflict between Section 1374.04 and this Form-Based Code, the requirements specifically set forth in the Form-Based Code shall prevail.

2007.09 DELIVERY TRUCK LOADING REQUIREMENTS

Properties within the FBC district shall comply with the requirements of Section 1374.05, except when within the DE or MS Context Areas, or where provisions of this section would be impractical due to lot area, building placement or access limitations.

2007.10 DRIVE-THROUGH STANDARDS

Drive-throughs within the FBC district are regulated as an accessory use per Section 2003 and as frontage types per Section 2006.

2008.00 PURPOSE

Section 2008 identifies sign standards that are intended to appropriately limit the placement, type, size, construction, illumination, and number of signs allowed within a specific Context Area and to require the proper maintenance of signs. The regulations and standards of this Section are intended to be content neutral and are considered the minimum necessary to achieve a substantial government interest for public safety, aesthetics, and protection of property values. The purpose of these limitations and requirements are to:

- A. Protect the public right to receive messages and information protected by the First Amendment of the U.S. Constitution;
- B. Safeguard and protect the public health, safety, and general welfare;
- C. Promote aesthetic and environmental values of the community by providing for signs that do not impair the attractiveness of the City as a place to live, work and shop;
- D. Avoid traffic safety hazards to motorists, bicyclists, and pedestrians, caused by visual distractions and obstructions;
- E. Enable the public to locate goods, services and facilities without excessive difficulty and confusion by restricting the number and placement of signs;
- F. Provide for signs as an effective channel of communication, while ensuring that signs are aesthetically designed and proportioned in relation to adjacent structures and the structures to which they are attached;
- G. Recognize that the principal intent of commercial signs is for identification of an establishment on the premises, and not for advertising off-premises activities; and
- H. Regulate portable commercial signs in recognition of their significant negative impact on traffic safety and aesthetics.

2008.01 APPLICABILITY

- A. Chapter 1476 of the Traverse City Code of Ordinances regulates signs as well as this Section 2008 for signs within the FBC district.
- B. Temporary signs shall be regulated per Section 1476.06 of the Traverse City Code of Ordinances.
- C. No person, firm, or corporation shall erect, repair, alter, relocate, display or maintain any sign which

does not comply with the standards set forth in this Section or Chapter 1476 of the Traverse City Code, and no permit shall be issued for any such sign.

2008.02 SIGNS AUTHORIZED WITH A PERMIT

- A. Sign types, quantities, and sizes shall be as provided herein for the FBC district. Signs listed as prohibited in Section 1476.05 shall also be prohibited in the FBC district.
- B. Within the FBC district, the following Sign Types established and are limited to the following:
 1. Sign Band Signs.
 2. Wall Signs.
 3. Projecting and Suspended Signs.
 4. Awning and Canopy Signs.
 5. Window Signs.
 6. Ground Signs.
- C. Section 1476.07 a-f shall apply to signs within the FBC district. Permitting shall be required except for those signs included in Section 1476.06.

2008.03 PORTABLE SIGNS

Portable signs shall be regulated per Section 1476.08 of the Traverse City Sign Ordinance.

2008.04 MASTER SIGN PLAN

A master sign plan shall be required per Chapter 1476, Section 10, a-d of the Traverse City Code.

2008.05 SIGN ILLUMINATION REGULATIONS

Sign illumination shall comply with Chapter 1476, Section 11, a-f of the Traverse City Code.

2008.06 SIGN STRUCTURES

Sign structures shall comply with Chapter 1476, Section 12, a-c of the Traverse City Code.

2008.07 NONCONFORMING SIGNS

Nonconforming sign provisions shall be as prescribed in Chapter 1476, Section 13, a-c of the Traverse City Code.

2008.08 VIOLATIONS

Sign violation provisions shall be as prescribed in Chapter 1476, Section 14, a-e of the Traverse City Code.

2008.09 APPEALS

Appeals to the sign provisions shall be as prescribed in Chapter 1476, Section 15, a-h of the Traverse City Code.

2008.10 ENFORCEMENT

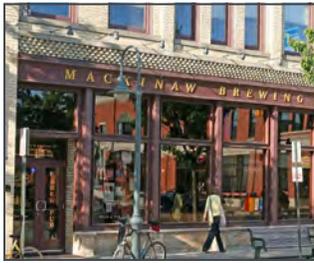
Enforcement of the sign provisions shall be as prescribed in Chapter 1476, Section 16 of the Traverse City Code.

2008.11 PENALTY

Penalties shall be as prescribed in Section 202.99 of the Traverse City Code.

2008.12 SIGN TYPE OVERVIEW

Sign types for the Traverse City Form-Based Code are as follows:



SIGN BAND (refer to 2008.13)
A sign that is painted on, incorporated in, or attached directly to the sign band or horizontal expression band above a storefront window or transom on Building Types with the following frontages: Storefront, Balcony, Drive-through, Lightwell, or Terrace.

BUILDING TYPES (refer to Section 2006)
MIXED-USE RETAIL FLEX COTTAGE RETAIL LIVE / WORK

CONTEXT AREAS (refer to Section 2005)	
DE DOWNTOWN EDGE	MS MAIN STREET
GW GATEWAY	NE NEIGHBORHOOD EDGE



WALL SIGN (refer to 2008.14)
A sign that is painted on, incorporated in, or attached directly to a building wall, with the exposed face of the sign in place parallel to the building wall.

BUILDING TYPES (refer to Section 2006)
MIXED-USE RETAIL FLEX COTTAGE RETAIL LIVE / WORK LARGE MULTI-PLEX CIVIC

CONTEXT AREAS (refer to Section 2005)	
DE DOWNTOWN EDGE	MS MAIN STREET
GW GATEWAY	NE NEIGHBORHOOD EDGE



PROJECTING & SUSPENDED SIGN (refer to 2008.15)
Projecting Signs are double faced signs that project from the building wall at a 90 degree angle. Suspended Signs are double or single faced signs that hang from brackets attached to the building at a 90 degree angle or hang parallel to the building wall above openings (similar to right side image).

BUILDING TYPES (refer to Section 2006)
MIXED-USE RETAIL FLEX COTTAGE RETAIL LIVE / WORK LARGE MULTI-PLEX

CONTEXT AREAS (refer to Section 2005)	
DE DOWNTOWN EDGE	MS MAIN STREET
GW GATEWAY	NE NEIGHBORHOOD EDGE



AWNING & CANOPY SIGN (refer to 2008.16)
Awning Signs may be painted, screen printed or applied to the awning. Canopy Signs shall be attached upon the face or above the face of metal canopies. Awning and Canopy Signs shall be placed on canopies or awnings that are above doors and/or windows.

BUILDING TYPES (refer to Section 2006)
MIXED-USE RETAIL FLEX COTTAGE RETAIL LIVE / WORK LARGE MULTI-PLEX

CONTEXT AREAS (refer to Section 2005)	
DE DOWNTOWN EDGE	MS MAIN STREET
GW GATEWAY	NE NEIGHBORHOOD EDGE



WINDOW SIGN (refer to 2008.17)
Window Signs are any sign, picture, symbol or combination thereof that is designed to communicate information about activity, business, commodity, event, sale, or service that is placed on the interior of the window and which is intended to be seen by the public from the outside. Window signs include neon tube signs that indicate "open" for business and other neon tube signs as indicated in this subsection.

BUILDING TYPES (refer to Section 2006)
MIXED-USE RETAIL FLEX COTTAGE RETAIL LIVE / WORK LARGE MULTI-PLEX

CONTEXT AREAS (refer to Section 2005)	
DE DOWNTOWN EDGE	MS MAIN STREET
GW GATEWAY	NE NEIGHBORHOOD EDGE



GROUND SIGN (refer to 2008.18)
A free-standing permanent sign that is mounted directly on the ground or ground level foundation and is often used to mark a place of significance or the entrance to a location.

BUILDING TYPES (refer to Section 2006)
FLEX COTTAGE RETAIL LARGE MULTI-PLEX CIVIC

CONTEXT AREAS (refer to Section 2005)	
DE DOWNTOWN EDGE	MS MAIN STREET
GW GATEWAY	NE NEIGHBORHOOD EDGE

2008.13 SIGN BAND

**SIGN BAND**

A sign that is painted on, incorporated in, or attached directly to the sign band or horizontal expression band above a storefront window or transom on Building Types with the following frontages: Storefront, Balcony, Drive-through, Lightwell, or Terrace.

BUILDING TYPES
(refer to Section 2006)

MIXED-USE
RETAIL
FLEX
COTTAGE RETAIL
LIVE / WORK

CONTEXT AREAS
(refer to Section 2005)

DE
DOWNTOWN
EDGE

MS
MAIN STREET

GW
GATEWAY

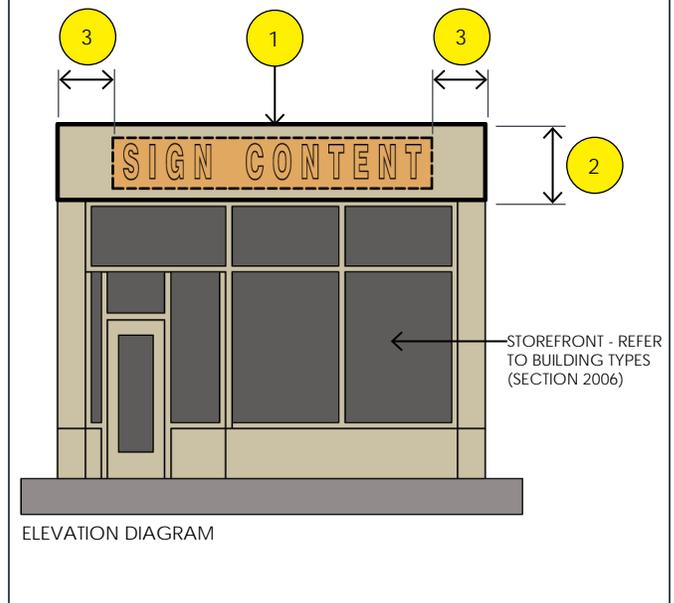
NE
NEIGHBORHOOD
EDGE

A. SIGN BAND SIZE AND PROPORTION

Refer to Diagram 8.01 for graphic representation of the dimensional requirements regarding Sign Band Signs.

1. Sign Band Sign sizes and proportions are relative to the size of the building's sign band or horizontal expression band.
2. Vertical Placement: Sign content height shall not exceed 80% of the overall height of the sign band or horizontal expression band.
3. Horizontal Placement: Sign content within the sign band or horizontal expression band shall not come closer than two (2) feet to the side edges of the sign band.
4. Sign content shall not extend more than three (3) inches from the face of the sign band or horizontal expression line.

DIAGRAM 8.01 SIGN BAND SIZE

**B. SIGN BAND STANDARDS**

1. Sign content (letters, corporate logos, symbols or designs) may be engraved, painted, or surface mounted on the building's sign band or horizontal expression band. Sign content shall be made of materials visually compatible with the display surface.
2. Dimensional requirements of sign band Section 2008.19.
3. Sign content is not required to be placed in sign band or horizontal expression line.

C. SIGN BAND QUANTITY

1. The number of Sign Band Signs allowed per building shall not exceed the quantities indicated in Section 2008.20.
2. Sign Bands may be used in conjunction with other Sign Types.

D. SIGN BAND LOCATION

1. Sign Band Signs are permitted to be installed at the sign band or horizontal expression band above a storefront window or transom on buildings that have Storefront, Balcony, or Drive-through Frontage.
2. At corner lot buildings, Sign Band Signs are also permitted to be installed at the sign band or horizontal expression line above storefronts or transoms along side streets.

E. SIGN BAND ILLUMINATION

1. Sign Band Signs may be externally illuminated per the requirements of Section 2008.05.
2. Sign Band Signs are not permitted to be internally illuminated. Sign Band is not permitted to be illuminated with neon illumination.

2008.14 WALL SIGN



WALL SIGN

A sign that is painted on, incorporated in, or attached directly to a building wall, with the exposed face of the sign in place parallel to the building wall.

BUILDING TYPES (refer to Section 2006)
MIXED-USE RETAIL FLEX COTTAGE RETAIL LIVE / WORK LARGE MULTI-PLEX CIVIC

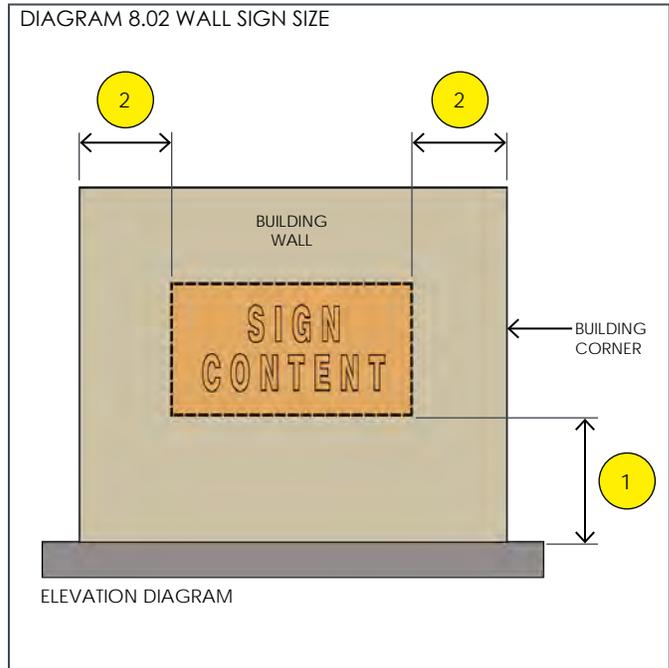
CONTEXT AREAS (refer to Section 2005)	
DE DOWNTOWN EDGE	MS MAIN STREET
GW GATEWAY	NE NEIGHBORHOOD EDGE

A. WALL SIGN SIZE AND PROPORTION

Refer to Diagram 8.02 for graphic representation of the dimensional requirements regarding Wall Signs.

Refer to Section 2008.19 for dimensional requirements.

1. Wall Signs shall be a minimum of three (3) feet above the adjacent grade.
2. Wall Signs shall not come closer than two (2) feet to the corner of the building.



B. WALL SIGN STANDARDS

1. Wall Signs shall be designed to be compatible with the character of the building and building materials in order to promote a unified design which complements the building's massing, scale and character.
2. Wall Sign content may include letters, corporate logos, symbols or designs that are painted or applied to the building wall.

C. WALL SIGN QUANTITY

1. The number of Wall Signs allowed per building shall not exceed the quantities indicated in Section 2008.20.
2. Wall Signs may be used in conjunction with other Sign Types.

D. WALL SIGN LOCATION

1. Wall Signs are permitted on the fronts of the following Building Types:
 - a. Live / Work
 - b. Flex
 - c. Large Multi-plex
 - d. Civic
2. Wall Signs are permitted on the sides (along side street) of the following buildings:
 - a. Mixed Use
 - b. Retail
 - c. Cottage Retail
 - d. Live / Work
 - e. Large Multi-plex
 - f. Civic

E. WALL SIGN ILLUMINATION

1. Wall Signs may be externally illuminated per the requirements of Section 2008.05.

2008.15 PROJECTING AND SUSPENDED SIGN

**PROJECTING & SUSPENDED SIGN**

Projecting Signs are double faced signs that project from the building wall at a 90 degree angle. Suspended Signs are double or single faced signs that hang from brackets attached to the building at a 90 degree angle or hang parallel to the building wall above openings.

BUILDING TYPES
(refer to Section 2006)

MIXED-USE
RETAIL
FLEX
COTTAGE RETAIL
LIVE / WORK
LARGE MULTI-PLEX

CONTEXT AREAS
(refer to Section 2005)

DE
DOWNTOWN
EDGE

MS
MAIN STREET

GW
GATEWAY

NE
NEIGHBORHOOD
EDGE

A. PROJECTING AND SUSPENDED SIGN LOCATION AND SIZE

Refer to Diagram 8.03 for graphic representation of the dimensional requirements regarding Projecting Signs.

Refer to Section 2008.19 for dimensional requirements.

1. Maximum height of Projecting Signs shall be four (4) feet.
2. Maximum height of Suspended Signs shall be two (2) feet if in opening, three (3) feet if hung from perpendicular (90 degrees) from building wall.
3. Maximum width of Projecting or Suspended Signs shall be three (3) feet.
4. Projecting and Suspended Signs shall not extend more than four (4) feet from the face of building.
5. Projecting and Suspended Signs shall be a minimum of eight (8) feet above the adjacent grade.
6. Projecting Signs shall be perpendicular to the building face. Suspended Signs may be parallel or perpendicular to the building face.
7. Suspended Signs shall not be located beyond the outside limits of the arcade, marquee or eve to which they are attached.

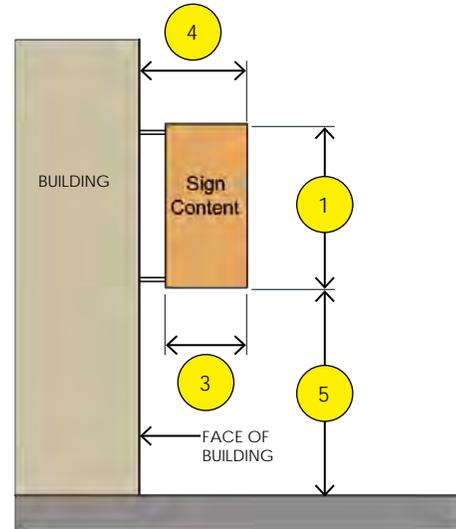
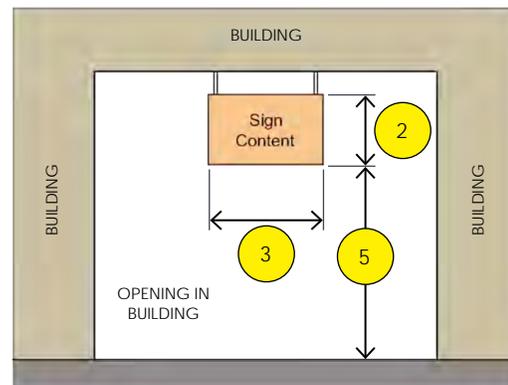
B. PROJECTING & SUSPENDED SIGN STANDARDS

1. Projecting and Suspended Signs shall be designed to be compatible with the character of the building and building materials in order to promote a unified design which compliments the building's massing, scale and character.
2. Projecting and Suspended Sign content may include letters, corporate logos, symbols or designs and shall have content on both sides of the sign.
3. Projecting and Suspended Signs placed on fabric, cloth or canvas shall be securely anchored to a sign frame.

C. PROJECTING AND SUSPENDED SIGN QUANTITY

1. The number of Projecting Signs allowed per building shall not exceed the quantities indicated in Section 2008.20.
2. Projecting Signs may be used in conjunction with other Sign Types.

Diagram 8.03 PROJECTING AND SUSPENDED SIGN SIZE

ELEVATION DIAGRAM
PROJECTING SIGNELEVATION DIAGRAM
SUSPENDED SIGN**D. PROJECTING AND SUSPENDED SIGN ILLUMINATION**

1. Projecting and Suspended Signs may be externally or internally illuminated per the requirements of Section 2008.05

Exception: Suspended Signs that hang in openings shall not be internally illuminated.

2008.16 AWNING AND CANOPY SIGN



AWNING AND CANOPY SIGN
 Awning Signs may be painted, screen printed or applied to the awning. Canopy Signs shall be attached upon the face or above the face of metal canopies. Awning and Canopy Signs shall be placed on canopies or awnings that are above doors and/or windows.

BUILDING TYPES (refer to Section 2006)
MIXED-USE RETAIL FLEX COTTAGE RETAIL LIVE / WORK LARGE MULTI-PLEX

CONTEXT AREAS (refer to Section 2005)	
DE DOWNTOWN EDGE	MS MAIN STREET
GW GATEWAY	NE NEIGHBORHOOD EDGE

A. AWNING AND CANOPY SIGN LOCATION AND SIZE

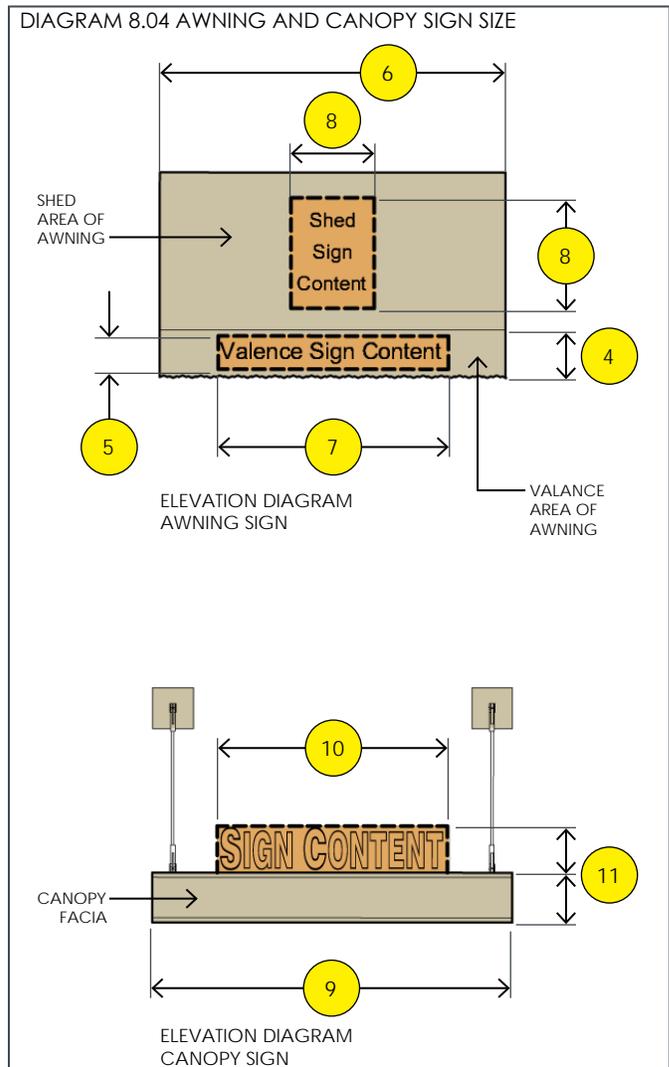
Refer to Diagram 8.04 for graphic representation of the dimensional requirements regarding Awning and Canopy Signs.

Refer to Section 2008.19 for dimensional requirements.

1. Awning Signs are permitted on the fronts and sides of buildings above any windows and/or doors where awnings are placed.
2. Canopy Signs are permitted on the fronts and sides of buildings above doors where canopies are placed.
3. Awning and Canopies shall be a minimum of eight (8) feet above the adjacent grade.
4. Height of awning valance shall be between eight (8) and fourteen (14) inches.
5. Height of sign content on awning valance shall not exceed 80% of the valence height.
6. Width of awning shall not exceed the width of the door or window that it is above.
7. Width of sign content on awning valance shall not exceed 90% of the valence width.
8. Area of sign content located on the shed (sloped) area of the awning shall not exceed 30% of the overall shed area.
9. Width of canopy shall not exceed the width of the door that it is above.
10. Sign content may be placed on or above the canopy fascia and shall not exceed 90% of the width of the canopy.
11. Height of canopy sign content shall not exceed 90% of the height of the canopy.

B. AWNING AND CANOPY SIGN STANDARDS

1. Awning and Canopy Sign content may include letters, corporate logos, symbols, or designs that are painted, applied or surface mounted on the awning or canopy surface. Sign content on canopy signs may also be located above the canopy sign.



C. AWNING AND CANOPY SIGN QUANTITY

1. The number of Awning and Canopy Signs allowed per building shall not exceed the quantities indicated in Section 2008.20.
2. Awning and Canopy Signs may be used in conjunction with other Sign Types.

D. AWNING AND CANOPY SIGN ILLUMINATION

1. Awning and Canopy Signs shall not be illuminated.

2008.17 WINDOW SIGN

**WINDOW SIGN**

Window Signs are any sign, picture, symbol or combination thereof that is designed to communicate information about activity, business, commodity, event, sale, or service that is placed on the interior of the window and which is intended to be seen by the public from the outside. Window signs include neon tube signs that indicate "open" for business and other neon tube signs as indicated in this subsection.

BUILDING TYPES
(refer to Section 2006)

MIXED-USE
RETAIL
FLEX
COTTAGE RETAIL
LIVE / WORK
LARGE MULTI-PLEX

CONTEXT AREAS
(refer to Section 2005)

DE
DOWNTOWN
EDGE

MS
MAIN STREET

GW
GATEWAY

NE
NEIGHBORHOOD
EDGE

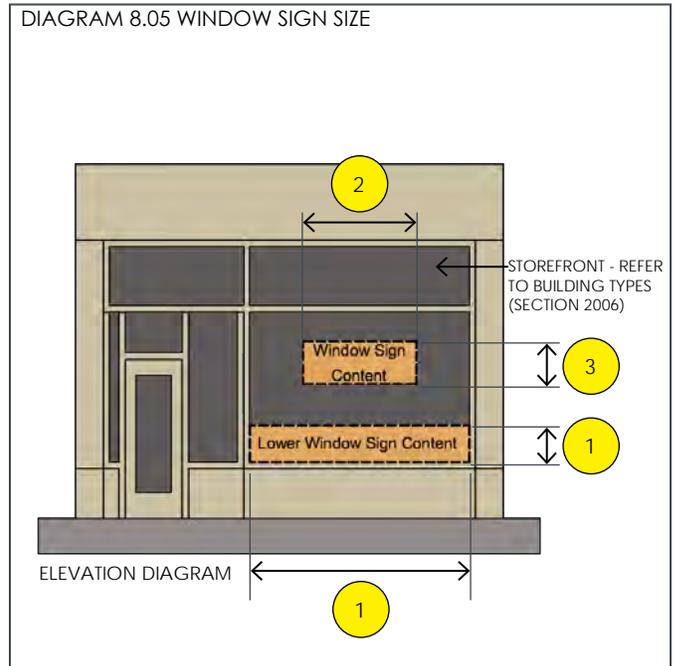
A. WINDOW SIGN SIZE AND PROPORTION

Refer to Diagram 8.05 for graphic representation of the dimensional requirements regarding Window Signs.

Refer to Section 2008.19 for dimensional requirements.

1. Lower Surface Applied Window Signs shall be within 12" of the sill and may span the entire width of the storefront.
2. Width of Surface Applied Window Signs above twelve (12) inches from the sill shall not exceed four (4) feet in width.
3. Height of Surface Applied Window Signs above twelve (12) inches from the bottom of the sill shall not exceed three (3) feet.

DIAGRAM 8.05 WINDOW SIGN SIZE

**B. WINDOW SIGN STANDARDS**

1. Surface Applied Window Signs shall be professionally painted or applied letters, corporate logos, symbols or designs.

C. WINDOW SIGN QUANTITY

1. The number of Window Signs allowed per building shall not exceed the quantities indicated in Section 2008.20.
2. Window Signs may be used in conjunction with other Sign Types.

D. WINDOW SIGN LOCATION

1. Surface Applied Window Signs are permitted on the ground and upper floor front and street side windows of the following Building Types:
 - a. Mixed-Use
 - b. Retail
 - c. Cottage Retail
 - d. Flex
 - e. Live / Work
 - f. Large Multi-plex
2. Window Signs shall be installed on the inside face of the window.

E. WINDOW SIGN ILLUMINATION

1. Window Signs shall not be illuminated.

2008.18 GROUND SIGN



GROUND SIGN
 A free-standing permanent sign that is mounted directly on the ground or ground level foundation and is often used to mark a place of significance or the entrance to a location.

BUILDING TYPES (refer to Section 2006)	CONTEXT AREAS (refer to Section 2005)	
FLEX COTTAGE RETAIL LARGE MULTI-PLEX CIVIC	DE DOWNTOWN EDGE	MS MAIN STREET
	GW GATEWAY	NE NEIGHBORHOOD EDGE

A. GROUND SIGN SIZE AND PROPORTION

Refer to Illustration 8.06 for graphic representation of the dimensional requirements regarding Ground Signs.

Refer to Section 2008.19 for dimensional requirements.

1. Maximum height of Ground Signs shall be four (4) feet except multi-tenant Ground Signs may increase to five (5) feet.
2. Maximum width of Ground Signs shall be three (3) feet except multi-tenant Ground Signs may increase to five (5) feet.

B. GROUND SIGN STANDARDS

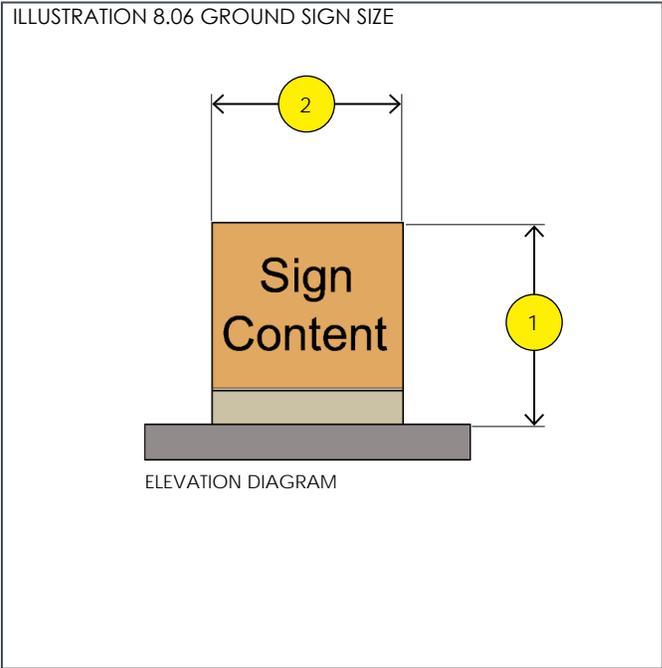
1. Ground Signs shall be designed to be compatible with the character of the surrounding buildings and building materials in order to promote a unified design which compliments the buildings' massing, scale and character.
2. Ground Sign content may include letters and corporate logos that are permanently affixed to the sign.
3. Ground Sign content is not permitted to be changeable copy, except for gasoline price signs, directory signs listing more than one tenant, and signs advertising restaurant food specials, films, and live entertainment, which change on a regular basis.
4. Ground Signs shall have content on both sides of the sign with building address clearly depicted.

C. GROUND SIGN QUANTITY

1. The number of Ground Signs allowed per building shall not exceed the quantities indicated in Section 2008.20.
2. Ground Signs may be used in conjunction with other Sign Types.

D. GROUND SIGN ILLUMINATION

1. Ground Signs may be externally or internally illuminated per the requirements of Section 2008.05.



E. GROUND SIGN LOCATION

1. Ground Signs are permitted in the front yard setback of the following buildings:
 - a. Cottage Retail
 - b. Large Multi-Plex
 - c. Civic
2. Ground Signs shall be setback a minimum 5' from front property line.

2008.19 DIMENSIONAL REQUIREMENTS

2008.19 SUMMARY DIMENSIONAL REQUIREMENTS FOR SIGNS

SIGN TYPE WITH BUILDING TYPE		CONTEXT AREAS			
		DT DOWNTOWN	MS MAINSTREET	GW GATEWAY	NE NEIGHBORHOOD EDGE
SIGN BAND	MIXED-USE	Shall fit within sign band or expression line per 2008.13, A			
	RETAIL		Shall fit within sign band or expression line per 2008.13, A		
	FLEX		Shall fit within sign band or expression line per 2008.13, A		
	COTTAGE RETAIL				Shall fit within sign band or expression line per 2008.13, A
	LIVE / WORK		Shall fit within sign band or expression line per 2008.13, A		
WALL	MIXED-USE	15 % of building wall, NTE 32 SF		15 % of building wall, NTE 24 SF	
	RETAIL		15 % of building wall, NTE 32 SF	15 % of building wall, NTE 24 SF	
	FLEX		15 % of building wall, NTE 32 SF	15 % of building wall, NTE 24 SF	
	COTTAGE RETAIL				15 % of building wall, NTE 24 SF
	LIVE / WORK		15 % of building wall, NTE 24 SF		
	LARGE MULTI-PLEX		15 % of building wall, NTE 24 SF		15 % of building wall, NTE 24 SF
	CIVIC	15 % of building wall, NTE 36 SF	15 % of building wall, NTE 24 SF		
PROJECTING AND SUSPENDED	MIXED-USE	12 SF	8 SF	8 SF	
	RETAIL		8 SF	8 SF	
	FLEX		8 SF	8 SF	
	COTTAGE RETAIL				8 SF
	LIVE / WORK		8 SF	8 SF	8 SF
	LARGE MULTI-PLEX		8 SF		8 SF
AWNING AND CANOPY	MIXED-USE	Shall fit within awning or canopy per 2008.16, A			
	RETAIL		Shall fit within awning or canopy per 2008.16, A		
	FLEX		Shall fit within awning or canopy per 2008.16, A		
	COTTAGE RETAIL				Shall fit within awning or canopy per 2008.16, A
	LIVE / WORK		Shall fit within awning or canopy per 2008.16, A		
	LARGE MULTI-PLEX		Shall fit within awning or canopy per 2008.16, A		Shall fit within awning or canopy per 2008.16, A
WINDOW	MIXED-USE	Above 12" from bottom of window: NTE 25% of total glass area			
	RETAIL		Above 12" from bottom of window: NTE 25% of total glass area		
	FLEX		Above 12" from bottom of window: NTE 25% of total glass area		
	COTTAGE RETAIL				Above 12" from bottom of window: NTE 25% of total glass area
	LIVE / WORK		Above 12" from bottom of window: NTE 25% of total glass area		
	LARGE MULTI-PLEX		Above 12" from bottom of window: NTE 25% of total glass area		Above 12" from bottom of window: NTE 25% of total glass area
GROUND	COTTAGE RETAIL				24 SF
	LARGE MULTI-PLEX		24 SF		24 SF
	CIVIC		24 SF		

Shaded cell indicates signs that are not permitted in Context Area.

2008.20 SIGN QUANTITIES

2008.20 SUMMARY SIGN QUANTITIES

SIGN TYPE WITH BUILDING TYPE		CONTEXT AREAS				
		DT DOWNTOWN	MS MAINSTREET	GW GATEWAY	NE NEIGHBORHOOD EDGE	
SIGN BAND	MIXED-USE	1 per sign band or expression line on primary or side street				
	RETAIL		1 per sign band or expression line on primary or side street			
	FLEX		1 per sign band or expression line on primary or side street			
	COTTAGE RETAIL				1 per sign band or expression line on primary or side street	
	LIVE / WORK		1 per sign band or expression line on primary or side street			
WALL	MIXED-USE	1 per side along primary or side street; 1 per alley front				
	RETAIL		1 per side along primary or side street; 1 per alley front			
	FLEX		1 per side along primary or side street; 1 per alley front			
	COTTAGE RETAIL				1 per side along primary or side street; 1 per alley front	
	LIVE / WORK		1 per side along primary or side street; 1 per alley front			
	LARGE MULTI-PLEX		1 per side along primary or side street; 1 per alley front		1 per side along primary or side street; 1 per alley front	
	CIVIC	1 per side along primary or side street; 1 per alley front				
PROJECTING AND SUSPENDED	MIXED-USE	1 per entry				
	RETAIL		1 per entry			
	FLEX		1 per entry			
	COTTAGE RETAIL				1 per entry	
	LIVE / WORK		1 per entry			
	LARGE MULTI-PLEX		1 per entry; (ground floor only; for commercial use)		1 per entry; (ground floor only; for commercial use)	
AWNING AND CANOPY	MIXED-USE	1 per awning or canopy				
	RETAIL		1 per awning or canopy			
	FLEX		1 per awning or canopy			
	COTTAGE RETAIL				1 per awning or canopy	
	LIVE / WORK		1 per awning or canopy			
	LARGE MULTI-PLEX		1 / awning or canopy; (ground floor only; for commercial use)		1 / awning or canopy; (ground floor only; for commercial use)	
WINDOW	MIXED-USE	1 per window				
	RETAIL		1 per window			
	FLEX		1 per window			
	COTTAGE RETAIL				1 per window	
	LIVE / WORK		1 per window			
	LARGE MULTI-PLEX		1 per window; (ground floor only; for commercial use)		1 per window; (ground floor only; for commercial use)	
GROUND	COTTAGE RETAIL				1 per building	
	LARGE MULTI-PLEX		1 per building		1 per building	
	CIVIC	1 per building				

Shaded cell indicates signs that are not permitted in Context Area.

2009.00 APPLICABILITY

The following terms are defined for the purpose of the Traverse City Form-Based Code.

In instances where terms are not defined here, they may be defined elsewhere in the existing municipal zoning ordinance. In such cases, the definitions contained within the existing zoning ordinance shall be used for the administration of the Traverse City Form-Based Code.

In instances where terms are defined in both the existing ordinances and here, the definitions here shall prevail for the administration of the Traverse City Form-Based Code.

A**DEFINITIONS “A”**

Adjacent Grade: The exterior grade immediately adjacent to the building or structure from which measurements shall be taken.

Alley: Refer to Rear Alley.

Architectural Elements: Elements of a building that may project from the façade beyond required build-to-line, into required setbacks, beyond build-to-zones or into the public right-of-way as indicated in Context Areas (Section 2005). These include balconies, awnings, canopies, eaves, cornices, bays, and projecting signs.

At-Grade Entry: An entry door that has a zero-step entrance, typically associated with the Dooryard Frontage.

Attic: An interior space of a building that has only a single floor of habitable space and that occurs within the pitched roof structure, whether conditioned or not. Attic space is typically not among the number of stories regulated by Context Area or Building Type, unless otherwise noted.

Awning: A retractable or fixed shelter projecting from and supported by the exterior wall of a building and constructed of non-rigid materials on a supporting framework.

Awning Sign: A sign that typically includes letters, logos, symbols and/or designs that may be painted, screen printed, or appliquéd to the awning.

B**DEFINITIONS “B”**

Balcony: An open outdoor portion of an upper floor.

Balcony Frontage: A frontage type that contains a recessed balcony that is applied to the upper level floor of a Building Type along the primary street and a storefront that is applied to the ground level floor of a Building Type along the primary and side streets. It is always associated with mixed use buildings. The balcony-storefront frontage shall be designed to include an open-air space that is recessed into the building mass on the upper level(s) and a storefront that is designed to promote an attractive, convenient shopping experience and transparent wall along the sidewalk.

Basement: An interior space of a building that has more than one half (1/2) of its height below grade.

Bay or Bay Window: An interior portion of an upper floor extending beyond the building’s exterior wall plane that is not supported from below by vertical columns or piers.

Building Composition: The essential architectural characteristics that define a specific Building Type.

Building Façade: The exterior walls of a building that face either a primary or side street, public right-of-way, or easement. A building can have more than one facade, if it is on a corner lot, on a riparian way, or adjacent to a public right-of-way or civic space. Synonymous with Building Wall.

Building Footprint: The shape and placement of the ground floor of a structure on the lot or parcel.

Building Footprint, Condominium Site: The area of the condominium site within which the main building or structure may be constructed as described in the master deed for the site condominium project.

Building Height: Refer to Height, Building.

Building Wall: In reference to the walls that face the right-of-way lines along primary and side streets, public paths, or civic spaces. Specifically related to the requirements of building site placement. Synonymous with Building Façade.

Build-To-Line: A measurement that defines the edge in which the building walls that face primary and side streets are required to be built to. When a build-to-line is indicated in the requirements for a Building Type frontage and / or Context Area, it is a requirement and not a permissive minimum as is a set back line.

Build-To-Zone: A measurement that defines the range (or zone) in which the building walls that face primary and side streets are required to be located within. When a build-to-zone is indicated on a Building Type frontage and / or Context Area, it is a requirement that the building walls are constructed within this range.

Building Type: Building Types describe the various forms of buildings that are permitted in the Traverse City Form-Based Code. Each Building Type has its own specific massing, composition, vertical dimension, and frontage options that create its unique attributes. Building Types are regulated in Section 2006 and are allowable within various Context Areas.

C

DEFINITIONS "C"

Canopy: A fixed shelter projecting from and supported by the exterior wall of a building and constructed of metal or other rigid materials.

Canopy Sign: A sign that typically includes letters, logos, symbols and/or designs that is integrated into a canopy.

Carriage House Building Type: A Building Type that is an accessory structure typically located at the rear of a lot. It typically provides either a small residential unit or home office space above the first floor garage. This Type is important for providing affordable housing choices that are integrated into diverse neighborhoods. This Type shall only be used in conjunction with the Detached House, Duplex, Rowhouse, or Live/Work Building Types.

Civic Building Type: A Building Type that is a small-, medium- or large-sized detached structure that incorporates uses of special public importance including, but not limited to municipal buildings, churches, and libraries. Civic Buildings typically have less form regulations than other Building Types because their prominence within the community requires more iconic and distinctive form. Civic buildings are typically sited in locations of prominence, such as corners of major intersections, terminating a street vista or overlooking or within a civic space. The design of these Building Types is encouraged to have greater flexibility and distinctive architectural expression so that they can become landmarks.

Civic Space: An outdoor area dedicated to public use that is strategically placed to facilitate use by the surrounding community.

Clear Glass: Refer to Glass, Clear.

Context Area: Administratively similar to zoning districts in conventional codes, except that they integrate form-based elements, including Building Type, building site placement, and off-street parking placement into the regulation.

Cornice Expression Line: An architectural feature on buildings that acts as an upper termination or capital for the overall composition of the building.

Cottage Retail Building Type: A Building Type that is a small- to medium-sized detached structure. It is intended to provide retail or service uses at the ground floor. This Type will typically have a residential mass, scale, and composition that allows it to integrate into adjacent residential areas.

D

DEFINITIONS "D"

Detached House Building Type: A Building Type that is a small- to medium-sized detached structure that incorporates one dwelling unit. It is typically located within a primarily single-family neighborhood in a walkable urban setting. This Type enables well-designed higher densities. It is an essential Building Type for providing a broad choice of housing types. Synonymous with single-family house.

Departure: A Minor or Major modification to selected Form Based Code requirements, refer to Section 2002, Tables 2002.03a and 2002.03b.

Dooryard Frontage: A frontage option where the facade of the building that faces the primary street is setback a small distance from the street, typically within a build-to-zone. The front property line is oftentimes defined by a low wall, fence, or hedge, creating a small dooryard. The dooryard shall not provide public circulation along the rights-of-way. The dooryard may be raised or at-grade and is most often intended for ground floor residential.

Drive-through Frontage: A frontage option that is identical to the Storefront Frontage, however it includes an automobile drive-through at the rear or non-street facing sides. The drive-through may include a covered structure at the service window location. This structure is designed to be a secondary element to the building and is consistent with the massing, scale, and design of the building. This frontage is typically associated with retail and mixed-use buildings and includes a storefront that is designed in a way that promotes an attractive and convenient shopping experience.

Drive-through Use: An auto-oriented accessory use that provides service or access for customers in automobiles. Drive-through uses may be accessory uses for fast food, banks, gas stations, dry cleaners, pharmacies, or similar instances. Drive-through uses are required to use the Drive-Through Frontage. Refer Section 2003.06.

Drive-through Zone: The area (or zone) in which a drive-through is permitted to be placed on a site. Drive-through zones are part of requirements of the Drive-Through Frontage.

Duplex Building Type: A Building Type that is a small- to medium-sized detached structure that consists of two side-by-side or stacked dwelling units, both facing the street and within a single building massing. This Type has the appearance of a medium-sized single-family house and is appropriately scaled to fit in single family neighborhoods. This Type enables well-designed higher densities. It is an essential Building Type for providing a broad choice of housing types. Synonymous with two-family house.

E

DEFINITIONS "E"

Eave: The projecting overhang along the sloped edge of a pitched roof.

Engaged Porch Frontage: A frontage option where the facade of the building that faces the primary and / or side streets is setback a medium distance from the primary and side streets, typically within a build-to-zone. The resulting yard is typically small and can be defined by a fence or hedge to spatially maintain the street edge. The engaged porch has two adjacent sides of the porch that are engaged to the building (connected to and enclosed by building walls) while the other two sides are open. Steps from the porch may be on the front or side of the porch and shall lead directly to the sidewalk.

F

DEFINITIONS "F"

Façade: Refer to Building Façade.

Fascia: Horizontal board that terminates an eave edge of a sloped or pitched roof.

Finish Ceiling: The ceiling surface, usually installed over building structure or hung from the structure, which provides the completed ceiling surface.

Finish Floor: The floor, usually laid over a subfloor, which provides the completed floor surface.

Flex Building Type: A Building Type that is a medium- to large-sized attached or detached structure, typically built on a large lot. It can be used to provide a vertical mix of uses with ground floor industrial, service, retail, or residential uses; or it may be a single-use building. This Type is a primary component in a variety of urban context areas that provide a mix of Building Types.

Floor Area: The gross floor area of the building. Used for parking calculations in Section 2007. Refer also to Usable Floor Area.

Forecourt Frontage: A frontage option where the facade of the building that faces the primary street is at or near the right-of-way line and a small percentage of the facade is set back, creating a small courtyard space. The courtyard area is not covered. Forecourts used in conjunction with Mixed-Use Building Types shall have a storefront where the forecourt and courtyard space shall be used as an additional shopping space or restaurant seating area.

Form-Based Code Area: The area on the Traverse City Zoning Map (located in Chapter 1326 of the City Zoning Ordinance) that is designated as a Form-Based Code District. Lots or parcels located in the Form-Based Code Area are regulated by the Traverse City Form-Based Code.

Frontage Type: The privately owned area between the frontage line and the building façade. Private frontages are applied to Building Types to ensure that the building adequately engages the street, sidewalk and public realm. Private frontages are specific to Building Types and are defined in subsections for each specific Building Type in Section 2006. Each Building Type has many options for frontage types and therefore the specific project requirements will determine what frontage may be used. Selection of frontages are at the discretion of the land owner or development team.

G

DEFINITIONS "G"

Glass, Clear: Glass having a Visual Light Transmittance (VLT) of seventy (70) percent minimum. Heavily tinted or reflective glass shall not be considered clear.

Ground Cover: Grass, vegetative cover, or other living landscape.

Ground Sign: A free-standing permanent sign that is mounted directly on the ground or ground level foundation and is often used to mark a place of significance or the entrance to a location.

H

DEFINITIONS "H"

Height, Building: The number of stories permitted by the Context Area (Section 2005), with the actual measurement of individual story height determined according to specific Building Types in Section 2006. Measurement of story height is the distance between the floor and ceiling of that story.

Horizontal Expression Band: An architectural element on buildings that acts as an upper termination for the storefront frontage. Horizontal Expression Lines extend the entire width of the building facade above a storefront and may contain signs. Synonymous with Sign Band.

I

DEFINITIONS "I"

Illuminated Sign: A sign that is illuminated by an internal or external light fixture.

Internally Illuminated Sign: A sign that is illuminated by an internal light fixture.

J

DEFINITIONS "J"

No definitions for this section.

K

DEFINITIONS "K"

No definitions for this section.

L

DEFINITIONS "L"

Large Multi-plex Building Type: A Building Type that is a medium- to large-sized structure that consists of 7 or more side-by-side and / or stacked dwelling units, typically with one shared entry. This Type is appropriately scaled to fit in medium-density neighborhoods and enables well-designed higher densities. It is an essential Building Type for providing a broad choice of housing types and promoting walkability. This Building Type is most closely related to apartment buildings or loft condominiums.

Lightwell: A component of the lightwell frontage that is recessed below the adjacent grade in order to provide a landing and access to the basement from the sidewalk. Typically used in association with a terrace. Refer to Terrace definition.

Lightwell Frontage: A frontage option where the facade of the building that faces the primary and / or side streets is setback a small distance from the primary and side streets, typically within a build-to-zone. This frontage has a combined elevated terrace and sunken lightwell between the building wall and property line. This frontage type buffers residential, retail, and service uses from urban sidewalks and removes the private yard from public encroachment.

Liner Building: A specialized building that is designed to conceal a parking structure or parking lot. The liner building may be an independent building or may be physically attached to a parking structure so that parking may be accessed directly from floor to floor between the building and structure.

Line of Curb: Face of curb.

Live / Work Building Type: A Building Type that is a small- to medium-sized attached structure that consists of one dwelling unit above and/or behind a flexible ground floor space that can be used for residential, service, or retail uses. Both the ground floor space and the dwelling unit are owned by one entity. This Type is especially appropriate for incubating retail and service uses and allowing neighborhood retail to expand as the market demands.

Lot Coverage: The percentage of the lot that is taken up by buildings.

M

DEFINITIONS "M"

Main Building: The primary building or structure on the parcel.

Mandatory: Refer to required.

Massing: The scale and proportions of a building or object.

Mixed Use Building Type: A Building Type that is a medium- to large-sized typically attached structure. It is intended to provide a vertical mix of uses with ground floor retail or service uses and upper floor service or residential uses. This Type makes up the primary component of a main street and downtown, and is a Building Type that can provide street vibrancy and enhanced walkability.

Multi-plex, Large: Refer to Large Multi-plex Building Type.

Multi-plex, Small: Refer to Small Multi-plex Building Type.

N

DEFINITIONS "N"

New Development: Development occurring on a vacant parcel of land.

Nonconforming sign:

1. A sign that is prohibited under the terms of this Article, but was erected lawfully and was in use on the date of enactment of this Article, or amendment thereto; or
2. A sign that does not conform to the requirements of this Article, but for which a variance has been granted.

O

DEFINITIONS "O"

Optional: A feature or element that is not required, but may be provided on the project at the applicant's discretion.

Outdoor Seating: Patio, terrace, walkway, sidewalk, lawn or garden or any other place (which is not enclosed) where seating is permitted, usually in association with a restaurant, bar or other related commercial uses.

P

DEFINITIONS "P"

Parapet: A part of the facade that extends above the roof, typically located on flat roof buildings. Parapet heights are measured from the roof line.

Pilaster: A required decorative or structural engaged column that is attached to the wall of a building and projects a short distance from the building wall. The projection helps to break up the horizontality of the building wall, giving it a human-scale. Pilasters may be round, in which case they are detailed exactly like a free-standing column. Square or rectangular pilasters may be detailed in a simpler manner that is consistent with the building wall. Pilasters are sometimes referred to as piers.

Porch: A slightly elevated partially enclosed area attached to a building and covered with a roof. A porch is typically wide and deep enough to accommodate some seating.

Porch, Engaged: A porch that has two adjacent sides that are engaged to the building (connected to and enclosed by building walls) while the other two sides are open. Steps from the porch may be on the front or side of the porch and shall lead directly to the sidewalk. Refer to Engaged Porch Frontage.

Porch, Projecting: A porch that is open on three sides and all habitable space of the building is located behind the rear edge of the porch. The porch is elevated above the sidewalk. Steps from the porch may be on the front or side of the porch and shall lead directly to the sidewalk. Refer to Projecting Porch Frontage.

Primary Street: The property lines of a parcel that are along the street of address for the parcel or building. Refer also to Side Street.

Projecting Porch Frontage: A frontage option where the facade of the building that faces the primary and / or side streets is setback a medium distance from the primary and side streets, typically within a build-to-zone. The resulting yard is typically small and can be defined by a fence or hedge to spatially maintain the street edge. The projecting porch is open on three sides and all habitable space of the building is located behind the rear edge of the porch. The porch is elevated above the sidewalk. Steps from the porch may be on the front or side of the porch and shall lead directly to the sidewalk.

Projecting Sign: A double faced sign that is attached to the face of a building and projects from the wall of the building at a ninety (90) degree angle. Projecting signs may include logos or creative art and graphics as part of the sign composition and may be fabricated of wood, metal, fabric, or other durable material.

Q

DEFINITIONS "Q"

No definitions for this section.

R

DEFINITIONS "R"

Rear alley: A dedicated right-of-way or easement providing access for service and parking at the rear of a parcel. Not intended for general traffic circulation.

Retail Building Type: A Building Type that is a medium-to large-sized typically attached structure. It is intended to provide a single story building with ground floor retail or service uses. This Type makes up the secondary component of a main street and is a Building Type that can provide street vibrancy and enhanced walkability.

Required: An element or feature that is required to be provided on the project. Synonymous with Mandatory.

SECTION 2009 DEFINITIONS

Right-of-Way (ROW): An area owned or maintained by a local, county, state or federal entity, a public utility, a railroad or a private concern for the placement of utilities or facilities for the passage of vehicles or pedestrians, including roads, streets, pedestrian walkways, utilities or railroads.

Right-of-Way Line: A line that forms the boundary of the right-of-way.

Roof Deck: The top of a flat roof adjacent to the required parapet. Used for measuring the height of the parapet and the height of the building.

Roof Surface: The average height of the roof surface surrounding adjacent elevators and stair enclosures that extend above the roof of a building. Used for measuring the height of elevators and stair enclosures

Rowhouse Building Type: A Building Type that is a small-to medium-sized attached structure that consists of 2 to 8 rowhouses placed side-by-side. This Type is typically located within medium-density neighborhoods or in a location that transitions from single-family to mixed-use. This Type enables well-designed higher densities. It is an essential Building Type for providing a broad choice of housing types and promoting walkability.

S

DEFINITIONS "S"

Scale: Refers to the size of the building, street fixture, sign or other built or constructed element.

Secondary Wing: A portion of the Small Multi-Plex building that is subservient to the main building in site placement, size, mass, scale and sometimes height. The secondary wing is attached to the main building and in the rear of the site, typically along the secondary street.

Setback: The minimum horizontal distance required by this Form-Based Code, measured from the front, side or rear lot line as applicable, to govern the location of buildings, structures or uses on the lot.

Side Street: The property lines of a parcel that are along any street other than the street of address for the parcel or building. Refer also to primary street.

Sign Band: An architectural element on buildings that acts as a horizontal upper termination for the Storefront Private Frontage. Sign Bands extend the entire width of the building facade above a storefront and may contain signs. Synonymous with Horizontal Expression Band.

Sign Band Sign: A sign that is painted on, incorporated in, or attached directly to the sign band or horizontal expression band above a storefront window or transom on buildings types with the following frontages: Storefront, Balcony, or Drive-through.

Site Placement: The placement or location of a building footprint on a lot or parcel.

Small Multi-plex Building Type: A Building Type is a medium-sized structure that consists of 3 to 6 side-by-side and / or stacked dwelling units, typically with one shared entry or individual entries along the front. This Type has the appearance of a large single-family house and is appropriately scaled to fit in single family neighborhoods. This Type enables well-designed higher densities. It is an essential Building Type for providing a broad choice of housing types and promoting walkability. This Building Type is most closely related to small apartment buildings.

Street of Address: The street that has the address of the building, lot, or parcel. Synonymous with Primary Street.

Stoop: A slightly elevated unenclosed area attached to a building and corresponding to a door. A stoop is always covered with a roof, except in instances where it is used as a frontage on the Rowhouse and Detached House Building Types, where it may be used without a roof.

Stoop Frontage: A frontage option where the facade of the building that faces the primary and / or side streets is setback a small distance from the primary and side streets, typically within a build-to-zone. The stoop is elevated above the sidewalk. Steps or a ramp from the stoop may lead directly to the sidewalk or may be side-loaded.

Storefront Frontage: A frontage option at the ground level floor of a Building Type along the primary and / or side streets. It is typically associated with retail and mixed use buildings. The storefront shall be designed in a way that promotes an attractive and convenient shopping experience and a transparent wall along the sidewalk. Storefronts are at grade with the sidewalk and are sometimes shaded by awnings.

Storefront Base: The knee wall located at the sidewalk that the storefront window sits on. Sometimes referred to as a bulkhead wall.

Story: The distance between any two adjacent floors or floor lines, measured as the distance between the finished floor and related finished ceiling in feet and inches. Actual story heights are regulated by Building Type (Section 2006). Number of stories are regulated by and Context Area (Section 2005).

Suspended Sign: A double faced sign that is hung from brackets attached to the face of a building and projects from the wall of the building at a ninety (90) degree angle; or a single or double faced sign that is hung above the opening to a door, arcade, or eave and is parallel to the building wall. Suspended signs may include logos or creative art and graphics as part of the sign composition and may be fabricated of wood, metal, fabric, or other durable material.

T

DEFINITIONS "T"

Terrace: A component of the lightwell frontage that is elevated above the adjacent grade in order to provide a landing and access to the first floor from the sidewalk. Typically used in association with a lightwell. Refer to Lightwell definition. Note that the term Terrace is also associated with its own frontage type (refer to definition for Terrace Frontage).

Terrace Frontage: A frontage option where the facade of the building that faces the primary street is set back from the right-of-way line to accommodate an elevated terrace. The terrace provides circulation along the facade. This Frontage Type can be used to provide at-grade access while accommodating a grade change. Frequent steps up to the terrace are necessary to avoid dead walls and maximize access. This frontage may also be used in historic industrial areas to mimic historic loading docks. This frontage type is conditionally permitted to be used when buildings are along a sloped grade that limits at grade access. When the frontage is used on Mixed-Use Building Types and Retail Building Types, it is required to have a storefront.

Terrace Leading Edge: The street side (side closest to street) of the Terrace Frontage wall on Mixed Use and Retail Building Types. This side of the wall is required to be placed at the property line (build-to-line).

Transom: A small horizontal window located above the storefront and entry door to allow light or air into the retail building.

Transparency: The ability to see through with clarity. An opening in a building wall allowing light and views between interior and exterior through the use of clear glass. Only clear or lightly tinted glass in windows, doors and display windows is considered clear. Heavily tinted glass or reflective glass shall not be considered clear. Interior display shelves and merchandise are not allowed to obstruct views into or out of any windows, doors or display areas that are considered part of the transparency calculation. Windows, doors and display areas provide clear views into and out of the building. Transparency is integral to the relationship of buildings and the street because of the permeable edge and dialogue that it creates between the interior and exterior of buildings. Refer to Glass, Clear.

U

DEFINITIONS "U"

Usable Floor Area: That area used for or intended to be used for the sale of merchandise or services, or for use to serve patrons, clients or customers and all that area devoted to employee workspace. Used for parking calculations in Section 2007. Refer also to Floor Area.

V

DEFINITIONS "V"

Vertically proportioned: Typically referring to the orientation of building windows, where the height of the window is taller than the width of the window.

W

DEFINITIONS "W"

Wall Sign: A sign that is painted on, incorporated in, or attached directly to a building wall, with the exposed face of the sign in place parallel to the building wall.

Waterway: A stream, river, lake, or similar body of water. In this Form-Based Code, waterways are treated similar to the primary street frontage for building placement and frontages to ensure that the waterway is included in the public realm. This treatment allows waterways to become active edges within the block structure.

Window Sign: Window Signs are any sign, picture, symbol or combination thereof that is designed to communicate information about activity, business, commodity, event, sale, or service that is placed on the interior of the window and which is intended to be seen by the public from the outside. Window signs include neon tube signs that indicate "open" for business and other neon tube signs as indicated in this subsection.

X

DEFINITIONS "X"

No definitions for this section.

Y

DEFINITIONS "Y"

Yard: The space on a lot which is unoccupied by buildings and unobstructed from the ground to the sky.

Z

DEFINITIONS "Z"

No definitions for this section.

End of Traverse City Form-Based Code



TRAVERSE CITY Form-Based Code